



**TOWN OF MELBOURNE BEACH**

**REGULAR TOWN COMMISSION MEETING**

**SEPTEMBER 21, 2022**

**AGENDA PACKET**

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# Town of Melbourne Beach

## REGULAR TOWN COMMISSION MEETING SEPTEMBER 21, 2022 at 6:00 p.m. COMMUNITY CENTER – 509 OCEAN AVENUE

### PUBLIC NOTICE

### AGENDA

**The Town Commission will conduct a Regular Town Commission Meeting on Wednesday, September 21, 2022, in the Community Center to address the items below**

**Commission Members:**

Mayor Wyatt Hoover  
Vice Mayor Joyce D. Barton  
Commissioner Sherrie Quarrie  
Commissioner Corey Runte  
Commissioner Marivi Walker

**Staff Members:**

Town Manager Elizabeth Mascaro  
Town Attorney Clifford Repperger  
Interim Town Clerk Amber Brown

Notice: Commission discussion and possible action may occur during any Commissioner Meeting. The following sections of the Agenda are always subject to such discussion and possible action without further motion by the Commission: Changes to the Agenda, Public Hearings, Old Business, and New Business.

The public is advised that members of the Town Commission may be in attendance and participate in proceedings of the board. Attorney General Opinions (AGO) AGO 91-95, AGO 98-14, AGO 2000-68.

PURSUANT TO SECTION 286.0105, FLORIDA STATUTES, THE TOWN HEREBY ADVISES THE PUBLIC THAT: In order to appeal any decision made at this meeting, you will need a verbatim transcript of the proceedings. It will be your responsibility to ensure such a record is made. Such person must provide a method for recording the proceedings verbatim as the Town does not do so.

In accordance with the Americans with Disability Act and Section 286.26, Florida Statutes, persons needing special accommodations for this meeting shall, at least 5 days prior to the meeting, contact the Office of the Town Clerk at (321) 724-5860 or Florida Relay System at 711.

**1. Call to Order – Led by Mayor Hoover**

**2. Roll Call**

**3. Pledge of Allegiance and Moment of Silence**

**4. Public Comments**

After being acknowledged by the Mayor, members of the public should state their name and address for the record. The Commission encourages citizens to prepare their comments in advance. Each individual will have three (3) minutes to address the Commission on any topic(s) related to Town business, not on the Agenda.

**5. Approval of the Agenda**

**6. Consent Agenda**

- A. Approval of the Regular Town Commission Meeting minutes for August 17, 2022
- B. Approval of the Town Commission Workshop minutes for July 6, 2022
- C. Appointment of Heidi Brewer as an Alternate to the Parks Board
- D. Approval of the site plan for 202 Second Ave
- E. Approval of the site plan for 400 Banyan Way

**7. Presentations**

- A. Discussion and approval for a children's business fair – Parks Board

**8. Old Business**

- A. Consideration of the Town Manager's Employment Agreement Terms
- B. Discussion and plan the next steps on the S.E.A Project

**9. New Business**

- A. Discussion and approval of the 2023 meeting calendar for Planning & Zoning, Commission, and Board of Adjustment
- B. Discussion and approval of an Eagle Scout project proposal
- C. Discussion and approval of a landscape/mowing plan
- D. Discussion on improvements to the 6<sup>th</sup> Avenue boat ramp
- E. Discussion and approval on donating ARP funds to the Property Appraiser's Office
- F. Discussion and approval of a new dock and boat lift for the Fire Department's Rescue boat
- G. Discussion and approval to add an additional Thai Chi class
- H. Discussion on live streaming Commission meetings

**10. Staff Reports**

- A. Town Attorney Report
- B. Town Manager Report
- C. Town Clerk Report
- D. Departmental Reports
  - 1. Building Department
  - 2. Public Works Department
  - 3. Code Enforcement
  - 4. Police Department

- 5. Fire Department
- 6. Finance Department

**11. Town Commission Comments**

- A. Review of Commission Action Items
- B. General Comments

**12. Adjournment**

**Town of Melbourne Beach**  
**REGULAR TOWN COMMISSION MEETING**  
**AUGUST 17, 2022 at 6:00 p.m.**  
**MASNY ROOM – 507 OCEAN AVENUE**

**MINUTES**

**Commission Members:**

Mayor Wyatt Hoover  
Vice Mayor Joyce Barton  
Commissioner Sherri Quarrie  
Commissioner Corey Runte  
Commissioner Marivi Walker

**Staff Members:**

Town Manager Elizabeth Mascaro  
Town Attorney Cliff Repperger  
Finance Manager Jennifer Kerr  
Building Official Robert Bitgood  
Fire Chief Gavin Brown  
Police Chief Melanie Griswold  
Public Works Director Tom Davis  
Town Clerk Amber Brown

## 1. Call to Order

Mayor Wyatt Hoover called the meeting to order at 6 p.m.

## 2. Roll Call

Town Clerk Amber Brown conducted roll call

### **Commission Members Present**

Mayor Wyatt Hoover  
Vice Mayor Joyce Barton  
Commissioner Sherri Quarrie  
Commissioner Corey Runte  
Commissioner Marivi Walker

### **Commission Members Absent**

None

### **Staff Members Present**

Town Manager Elizabeth Mascaro  
Town Attorney Clifford Repperger  
Finance Manager Jennifer Kerr  
Building Official Robert Bitgood  
Fire Chief Gavin Brown  
Police Chief Melanie Griswold  
Public Works Director Tom Davis  
Town Clerk Amber Brown

## 3. Pledge of Allegiance and Moment of Silence

Mayor Wyatt Hoover led the Pledge of Allegiance

## 4. Public Comments

After being acknowledged by the Mayor, members of the public should state their name and address for the record. The Commission encourages citizens to prepare their comments in advance. Each individual will have three (3) minutes to address the Commission on any topic(s) related to Town business, not on the Agenda.

***Steve Walters***  
***416 Sixth Ave***

*Steve Walters spoke about the excellent job Ms. Brown has done on this election cycle. The one issue is the separation of the election because he should be able to run against all of the candidates.*

***Djon Pepaj***  
***1505 S Mirimar***

*Djon Pepaj spoke about the improvements that the Town has made such as the new street signs which should be carried on. However, some of the codes need to be updated such as 2022-03 temporary requirement for outdoor seating which should be permanent, and regarding overflow parking because in this Town there is no space for it. Another way to increase parking spaces is the size of each space.*

**Ali Dennington**  
**413 Surf Rd**

*Ali Dennington spoke about the budget having money for fluff items, but not spending money on items that are statutorily required. She plans to sue in federal court and name everyone individually except a couple of people for violations the of first and fifth amendments. There is a pattern practice in this Town of not complying with public records laws. There is a giant backlog of public records requests and you need to hire a Deputy Clerk to get caught up.*

**Michelle Renz**  
**614 Hibiscus Trail**

*Michelle Renz spoke about the confusion about where residents can and cannot park with the Town's parking sticker. Possibly change the display at Ocean Park to remove the Town logo and make it clear that everyone has to pay at Ocean Park.*

## **5. Approval of the Agenda**

**Vice Mayor Joyce Barton made a motion to approve the Agenda; Commissioner Sherri Quarrie seconded; Motion carried 5-0.**

**Ali Dennington**  
**413 Surf Rd**

*Ali Dennington spoke about taking all of the contracts other than the pension one off of today's agenda because there are major problems in them.*

## **6. Consent Agenda**

A. Approval of Town Commission Workshop Meeting minutes for July 20, 2022

**Vice Mayor Joyce Barton moved to approve the Consent Agenda; Commissioner Marivi Walker seconded; Motion carried 5-0.**

**Ali Dennington**  
**413 Surf Rd**

*Ali Dennington spoke about Amber doing an amazing job on the minutes. The agendas could be a little better by adding more information. The minutes don't accurately reflect what happened and are one-sided, particularly Town Attorney Clifford Repperger. In the past, the minutes were not posted ahead of time, so there is no opportunity to comment on them. Strategic sections get left out of the minutes.*

Vice Mayor Joyce Barton spoke about minutes only needing to reflect decisions being made and can include some information on how the decision was made. If you need further details then you go to the recording.

## 7. Public Hearing

### A. Second reading of Ordinance 2022-02 Capital Threshold

Town Attorney Clifford Repperger, second reading adoption of Ordinance 2022-02 an ordinance of the Town of Melbourne Beach, Brevard County, Florida, relating to purchasing; making findings; amending section 15-10 capital outlay defined; amending section 15-22, town purchasing agent to increase the spending authority of the Town Manager to \$5,000.00; amending section 15-24, purchase orders; amending section 15-27, formal competitive bidding procedures; providing for severability; providing for repeal of conflicting ordinances and resolutions; providing an effective date; and providing an adoption schedule.

Town Attorney Clifford Repperger spoke about the only change since the first reading is section 15-27 on competitive bidding was added.

Mayor Wyatt Hoover spoke about this being done because of a suggestion from the Town's CPA and the Florida Government Finance Officers Association.

**Vice Mayor Joyce Barton made a motion to approve Ordinance 2022-02 second reading of the capital threshold; Commissioner Marivi Walker seconded; Motion carried 5-0.**

## 8. Old Business

### A. Discussion and approval of the Brewer Paving bid proposal for the Redwood and Cherry project

Town Manager Elizabeth Mascaro spoke about Brewer Paving being the only company that attended the pre-bid meeting and submitted a bid in the amount of \$424,295.00 with full completion in ninety days. This is the same company that did the project on Orange and this project would be very similar.

Mayor Wyatt Hoover spoke about the ribbon curbing being essential when there is any type of soil next to the road.

Further discussion ensued

Commissioner Sherri Quarrie spoke about the possibility of cutting the maintenance of traffic costs to save money like the project on Orange.

Public Works Director Tom Davis stated Orange was relatively simple with respect to intersections, however, this project has higher traffic and speed and is going to require digging the dip out.

Commissioner Corey Runte spoke about maintenance of traffic being required and without it, the Town is at risk for lawsuits.

**Vice Mayor Joyce Barton made a motion to accept the bid package from Brewer Paving for the Redwood and Cherry Project; Commissioner Sherri Quarrie seconded; Motion carried 5-0.**

B. Discussion on town sign replacement

Town Manager Elizabeth Mascaro spoke about getting a new quote from Fast Signs for non-dimensional signs. Next week is the SEA project workshop so we can get feedback then.

Further discussion ensued

Mayor Wyatt Hoover spoke about the background to the SEA project and the first workshop is on August 24, 2022 at 6:30pm in the Community Center.

***Ali Dennington  
413 Surf Rd***

*Ali Dennington spoke about the Commission wanting new microphones even though the current ones still work. The Commission wants new things that are not broken, but have a broken records management system for over twenty years. That is equivalent to everyone printing things and throwing them in a room. read Chapter 257. You are supposed to label everything in a specific way. Your system is broken, and you have a giant liability staring you in the face. Ali's very first records request is to inspect the historical records. Which was repeatedly denied because they needed to know what she wanted to inspect, so she had to do that.*

Further discussion ensued

**9. New Business**

A. Discussion and approval on tennis court resurface estimates

Public Works Director Tom Davis spoke about having concerns over the tennis courts due to two recent incidents where people fell. We were only able to get two proposals and they provide similar products. He proposes doing tennis courts as well as pickleball courts.

Further discussion ensued

Town Manager Elizabeth Mascaro spoke about this same thing being done in 2014 or 2015 and it has lasted this long. Doing this again will give us time to fund the full \$60,000 fix.

Commissioner Corey Runte spoke about good past experience with Sport Surfaces and since they have the lowest comparative bid to go with them and include the pickleball courts and windscreens.

Further discussion ensued



Mayor Wyatt Hoover summarized the discussion of going with Sport Surfaces with the pickleball courts, but not the windscreens for now.

**Commissioner Corey Runte made a motion to approve Sports Surfaces proposal in the amount of \$20,400.00 which includes the base contract amount of \$18,900.00 plus option 2 for the pickleball lines at \$750.00 multiplied by 2 for a total of \$20,400.00; Commissioner Marivi Walker seconded; Motion carried 5-0.**

- B. Discussion on having town emails for Town Attorney, Town Planner, and Town Engineer that would go through the Town server

Vice Mayor Joyce Barton spoke about this being put on the agenda for discussion at the request of a resident. Vice Mayor Joyce Barton reached out to other local municipalities and attorneys. It is not unusual for the Town Attorney to use the law firm's email address. However, bigger Cities might have an email address for the attorney, but they typically have a full-time in-house attorney. If the Town was the sole client it would be different, but since the Town is not it is not a valid request to expect them to do that.

Commissioner Corey Runte spoke about them being contractors not employees.

***Steve Walters***  
***416 Sixth Ave***

*Steve Walters spoke about the reason you have one person asking for hundreds or thousands of records is because we haven't kept track of them. He saw an email from the Town Attorney requesting hundreds of dollars at his rate for a public record. The Town Commission is not willing to compromise or mediate with anyone. The shed issue should have been settled two years ago.*

***Ali Dennington***  
***413 Surf Rd***

*Ali Dennington spoke about this not being a requirement, but there is an underlying assumption that there is good continuity and policies and procedures, and there is a system in place including how to label records. Chapter 257 of the State Statute says all records are public and they have a right to inspect them. The Commission says they are consultants, but they are agencies under the Town. If the Town is not going to get them emails at the bare minimum put it in his contract to label things a certain way so they can be searched and every couple of months he has to provide them to the Town.*

### **Item failed for lack of motion**

- C. Welcome Amber Brown as the new Town Clerk

Town Manager Elizabeth Mascaro spoke about the hiring of the new Town Clerk Amber Brown.

D. Appointment of Conflict Legal Counsel for Brevard Circuit Appeal Matter for the Town of Melbourne Beach 05-2022-AP-025737-XXXX-XX

Town Attorney Clifford Repperger spoke about the Town's appointed conflict counsel for a code enforcement case, Morris Richardson, who was recently appointed as the attorney for the Brevard County Board of County Commissioners has advised he can no longer represent the Town. Town Attorney Clifford Repperger contacted Elizabeth Harris who is a board-certified appellate attorney who is willing to serve in the capacity to handle the appeal.

**Steve Walters**  
**416 Sixth Rd**

*Steve Walters spoke about there being no end in sight for attorney fees. Where is the salary limit and what is the conflict.*

**Ali Dennington**  
**413 Surf Rd**

*Ali Dennington spoke about the second paragraph of this agenda item cover letter being false. Brad White of WhiteBird law firm represents Funoe on all property-related matters. She would like to strike the words "on other unrelated matters" as it is false. Compare the Harris contract to the Thomas contract. This contract doesn't even state who she represents. The Thomas contract has a page and a half on public records. She would like to know what the other item is that the Town Attorney would like to bring up on this agenda item.*

Further discussion ensued

**Commissioner Corey Runte made a motion to approve the appointment of Elizabeth Harris for item D under new business; Vice Mayor Joyce Barton seconded; Motion carried 5-0.**

Town Manager Elizabeth Mascaro spoke about an email she received from Funoe's attorney presenting a mediation document where Funoe is looking to mediate and there was a concern about the filing date where the appeal needed to be filed by September 5<sup>th</sup>. Since attorney Morris Richardson has left the Town and Town Attorney Clifford Repperger has a conflict the Town does not have an attorney to represent us, so the Town cannot agree to go to mediation. What can be done is allow Funoe and her attorney to get an extension on the filing and that would give the Town time to get the new attorney up to speed to represent the Town.

Further discussion ensued

**Ali Dennington**  
**413 Surf Rd**

*Ali Dennington spoke about agreeing to mediation has set timeframes. She waived the conflict for Town Attorney Clifford Repperger to allow him to answer the*

*current discussion. The forty-five days is the normal timeframe. It's standard to allow extensions when someone loses their attorney.*

Town Attorney Clifford Repperger spoke about there being two issues. The first being the motion for mediation and the other being the filing of the brief. The motion for mediation can wait for the new attorney, but he would recommend giving them the extension to provide their response. He recommends authorizing the Town Manager Elizabeth Mascaro to contact Funoe's counsel to tell her that the Town will stipulate an extension of time to file the initial brief until such time as the motion to mediation is resolved plus thirty days after.

Further discussion ensued

**Commissioner Corey Runte made a motion to extend the period of time for filing the initial brief until the motion to mediate has been disposed of plus thirty days; Vice Mayor Joyce Barton seconded; Motion carried 5-0.**

***Steve Walters***  
***416 Sixth Ave***

*Steve Walters spoke about it being his understanding that we are going to mediation on this shed deal. Is that going to be voted on tonight.*

Mayor Wyatt Hoover spoke about going to mediation is undetermined at this time and that there is no vote on it tonight.

- E. Discussion and approval of appointment for Glenn E. Thomas, Esq. of Lewis, Longman, & Walker, P.A for pension plan interpretations

Town Attorney Clifford Repperger spoke about an officer intending to retire and there being various interpretations of the pension plan. Town Attorney Clifford Repperger does not have the experience in that area to make the interpretations, and the labor attorney Lewis Wilson does not feel comfortable making those interpretations. The attorney who submitted this proposal dedicates almost all of his law firm to pension interpretation matters. This would be a short-term assignment to allow Town Manager Elizabeth Mascaro to consult with that attorney to determine pension benefits upon retirement.

Town Manager Elizabeth Mascaro spoke about this taking about three to five hours.

***Steve Walters***  
***416 Sixth Ave***

*Steve Walters spoke about being part of the pension for thirty-five years and the pension having its own attorney and an actuarial that makes the parameters of the benefits. Why does another attorney need to be hired.*

Town Manager Elizabeth Mascaro spoke about reaching out to the actuarial and they were not willing to answer the questions.

**Ali Dennington**  
**413 Surf Rd**

*Ali Dennington spoke about this being a good detailed contract. She asked who is retiring.*

**Commissioner Corey Runte made a motion to approve the appointment of Glenn Thomas of Lewis, Longman, & Walker for the pension plan interpretations with the hourly limit of four hours not to exceed; Commissioner Marivi Walker seconded; Motion carried 5-0.**

F. Consider Town Manager Employment Agreement Terms

Mayor Wyatt Hoover stated he does not feel they are adequately prepared for this discussion. There is other information he would like to have moving forward. There is the issue of the deadline of the contract expiring prior to the next meeting the Commission could have a special meeting or extend the contract by a week to put it on the next regular meeting.

Further discussion ensued

**Vice Mayor Joyce Barton moved to extend the Town Manager's employment contract for one additional week in order to discuss the agenda item at the next Regular Town Commission Meeting; Commissioner Marivi Walker seconded; Motion carried 5-0.**

**Ali Dennington**  
**413 Surf Rd**

*Ali Dennington spoke about having a workshop is a good idea because the public has some opinions. There's a lot of stuff that has happened and that would allow people to feel like they were heard. She does a good job in a lot of ways, but there is a small percentage of things she has not done well but those things are fixable.*

**Steve Walters**  
**416 Sixth Ave**

*Steve Walters spoke about is the extension going to lead into a special meeting at 5 pm on a Friday when no one else can attend. She has made dozens of mistakes.*

Mayor Wyatt Hoover spoke about the extension is to allow this agenda item to be put on the next Regular Town Commission Meeting, not on a Workshop or Special Meeting.

G. Discussion and approval of new sound system in the Community Center

Town Clerk Amber Brown spoke about the different quotes presented which include a high, medium, and low end for the microphones, and two different soundboards.

Recommends purchasing the low-end microphones and the Behringer soundboard. Which would allow the whole system to be wireless, have an internal recorder, and a microphone per person.

***Ali Dennington***  
***413 Surf Rd***

*Ali Dennington spoke about not being opposed to new microphones but is nervous about the wireless with batteries. Keep the old system as well in case something happens to the new system. Spend money on the television and recording system, not on signs. Check chapter 257 because this equipment will create a public record and that chapter has rules that the equipment needs to comply with.*

***Steve Walters***  
***416 Sixth Ave***

*Steve Walters spoke about this being a long-time request and recommends wireless lapel microphones. That way you don't need to worry about speaking directly into the microphone.*

Mayor Wyatt Hoover spoke about keeping the old system for a few meetings while we get used to the new system, test how long the microphones last, and verify the equipment complies with chapter 257.

**Commissioner Corey Runte made a motion to approve the purchasing of the Voco Pro UHF wireless microphone system in combination with the Behringer X32 compact digital mixer for an upgraded speaker and sound system as presented by Town Clerk subject it complies to public records laws; Vice Mayor Joyce Barton seconded; Motion carried 5-0.**

H. Discussion and approval to add an additional yoga class

Town Manager Elizabeth Mascaro spoke about Parks Board asking if the Commission would agree to an additional yoga class. The current class is very popular so they would like an additional night.

Further discussion ensued

***Lisa Kishegyi***  
***221 Surf Rd***

*Lisa Kishegyi is on the Parks Board and was approached by the yoga instructor about adding an additional class because each class is quite large and about doing a different level of class. Would love to have more advertisement for the classes.*

**Commissioner Corey Runte made a motion to approve the additional yoga class on Thursdays as presented by the Parks Board; Commissioner Marivi Walker seconded; Motion carried 5-0.**

## 10. Staff Reports

### A. Town Attorney Report

Town Attorney Clifford Repperger spoke about a topic that was brought up in tonight's meeting being the election qualifying. The issue of vacancies is under 2.04 of the Charter. Previously he has had vacancies be treated separately from the terms that were naturally expiring, so there would be two groupings. The current situation is not covered in the Town Charter, so it is open to interpretation. He recommends there being two races, one for naturally expiring terms and the other for the term with two years remaining.

Mayor Wyatt Hoover spoke about it making sense to separate the races, but also reach out to the Division of Elections

Town Clerk Amber Brown read part of the Notice that was published in Florida Today and posted on the Town's bulletin boards which states "candidates will select whether they are running for a full term or the balance of the previously vacated term at the time of qualifying."

Further discussion ensued

Town Attorney Clifford Repperger spoke about there being nothing in the Charter that says you cannot group the terms in separate elections. The only place in the Town Charter it deals with the staggering of votes is with regards to vacancies during a special election.

Mayor Wyatt Hoover called a 5 minutes recess

Town Clerk Amber Brown conducted roll call

#### **Commission Members Present**

Mayor Wyatt Hoover  
Vice Mayor Joyce Barton  
Commissioner Sherri Quarrie  
Commissioner Corey Runte  
Commissioner Marivi Walker

#### **Commission Members Absent**

None

#### **Staff Members Present**

Town Manager Elizabeth Mascaro  
Town Attorney Clifford Repperger  
Finance Manager Jennifer Kerr  
Building Official Robert Bitgood  
Fire Chief Gavin Brown  
Police Chief Melanie Griswold  
Public Works Director Tom Davis  
Town Clerk Amber Brown

***Ali Dennington***  
***413 Surf Rd***

*Ali Dennington spoke about fairness and transparency. There was mention of the possibility of some ambiguity in the Charter. Have the Town Attorney write up a memo to provide the history of similar situations. Then at least this would be fair.*

**Steve Walters**  
**416 Sixth Ave**

*Steve Walters spoke about the past precedence going back thirty years. Whoever gets the most votes gets the longest term. This Town Attorney comes along and makes his opinion and now Steve Walters cannot run against all three of the candidates. He has to choose which term to run for. He objects to it and needs to know if he will not get qualified.*

*Further discussion ensued*

**B. Town Manager Report**

Town Manager Elizabeth Mascaro spoke about not getting the grant, but the artists still being interested in doing something. She spoke with Debbie Mayfield's office regarding the Town's process for vacation rentals.

Further discussion ensued

**C. Town Clerk Report**

No Report

**D. Departmental Reports**

**1. Building Department**

Building Official Robert Bitgood spoke about a significant amount of stop-work orders being issued to places that are being renovated for vacation rentals.

**2. Public Works Department**

Public Works Director Tom Davis spoke about the newly installed lights in Ryckman Park, Bicentennial Park is ongoing, regarding the soil enrichment Nano K products he got really positive feedback from Dr. King at UF and Leesa Souto at MRC who is going to recommend the products. The City of Melbourne asked to install a solar monitor for water in Triangle Park, and he asked for a water outlet.

**3. Code Enforcement**

Town Attorney Clifford Repperger spoke about having two new cases going in front of the Special Magistrate in September.

**4. Police Department**

Police Chief Melanie Griswold spoke about the new School Resource Officer completing his training. Four residents have signed up for the low-speed vehicle ordinance. Hired a new officer named Madison.

#### 5. Fire Department

Fire Chief Gavin Brown spoke about a couple of multi-agency trainings on extrication equipment the department got with a grant, an active shooter training with police and fire, and a house that was donated by a resident for the department to train in. Taught a group of Boy Scouts for a merit badge, the Volunteer Firefighters Association held its 4<sup>th</sup> of July celebration,

#### 6. Finance Department

Finance Manager Jennifer Kerr spoke about the finance memo having a typo in the second sentence it should say July instead of June. The Town held a couple of in-house trainings for the Town employees.

**Vice Mayor Joyce Barton moved to approve the Finance Report as presented; Commissioner Sherri Quarrie seconded; Motion carried 5-0.**

### 11. Town Commission Comments

#### A. Review of Commission Action Item List

#### **Updated**

- **List and Evaluate Sections of the Road:** Public Works Director Tom Davis spoke about conducting the evaluation and the specific location that was brought up is an excellent patch job - September

Further discussion ensued

**NEW ACTION ITEM** – Contact the City of Melbourne and Brevard County regarding the coordination of utility projects within Town limits - September

- **Permanent Tree Lighting:** Sign survey for the north side of the road and intersection at Pine - September
- **Multi-generational:** The proposed language needs to go to Planning and Zoning Board then will come back to the Commission - October
- **Charging Stations:** Town Manager Elizabeth Mascaro is having a very hard time getting companies to come out – October
- **Grant Funding:** Town Manager Elizabeth Mascaro spoke about the Town not being eligible for several grants, or not being able to meet the deadlines in time because there are no projects planned.

**NEW ACTION ITEM** – Sixth Ave boat ramp improvements – what is the parking issue that prevents the Town from getting grant money - September



**Closed**

- **Community Center Audio:** Approved which products to purchase - Closed

## B. General Comments

Vice Mayor Joyce Barton spoke about attending the Florida League of Cities annual conference and would encourage other commissioners to attend.

**12. Adjournment**

**Vice Mayor Joyce Barton moved to adjourn; Commissioner Corey Runte seconded; Motion carried 5-0.**

Meeting adjourned at 9:52 p.m.

**ATTEST:**

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**Wyatt Hoover, Mayor**

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**Amber Brown, Interim Town Clerk**

**Town of Melbourne Beach**  
**TOWN COMMISSION WORKSHOP**  
**JULY 6, 2022 at 6:00 p.m.**  
**COMMUNITY CENTER – 509 OCEAN AVENUE**

**MINUTES**

**Commission Members:**

Mayor Wyatt Hoover  
Vice Mayor Joyce Barton  
Commissioner Sherri Quarrie  
Commissioner Corey Runte  
Commissioner Marivi Walker

**Staff Members:**

Town Manager Elizabeth Mascaro  
Finance Manager Jennifer Kerr  
Interim Town Clerk Amber Brown

## 1. Call to Order

Vice Mayor Joyce Barton called the meeting to order at 6 p.m.

## 2. Roll Call

Interim Town Clerk Amber Brown conducted roll call

### **Commission Members Present**

Vice Mayor Joyce Barton  
Commissioner Sherri Quarrie  
Commissioner Corey Runte  
Commissioner Marivi Walker

### **Staff Members Present**

Town Manager Elizabeth Mascaro  
Finance Manager Jennifer Kerr  
Interim Town Clerk Amber Brown

### **Commission Members Absent**

Mayor Wyatt Hoover

## 3. Pledge of Allegiance and Moment of Silence

Vice Mayor Joyce Barton led the Pledge of Allegiance

## 4. Public Comments

After being acknowledged by the Vice Mayor, members of the public should state their name and address for the record. The Commission encourages citizens to prepare their comments in advance. Each individual will have three (3) minutes to address the Commission on any topic(s) related to Town business, not on the Agenda.

***Dan Brunger***  
***400 Sixth***

*Dan Brunger spoke about his appreciation for the 4<sup>th</sup> of July event. For a while dating back to March 2020 the minutes were not being posted in a timely manner specifically the ones addressing the emergency order. Anything that affects the Town needs to be published in the minutes. He also cannot find anything on the website about the Low-Speed Vehicle Ordinance.*

Interim Town Clerk Amber Brown spoke about the Low-Speed Vehicle Ordinance not being finalized yet, so the only place on the website to find it would be in the agenda packet from last month's Regular Town Commission meeting.

## 5. New Business

A. Open Discussion

Vice Mayor Joyce Barton spoke about attending the Florida League of Cities training event last month. One item that was discussed was how an agenda item especially at workshops can be “open discussion” in order to bring up any topic for discussion.

Commissioner Marivi Walker spoke about the possibility of meeting with citizens who have ongoing concerns or issues to try to fix anything.

Vice Mayor Joyce Barton spoke about Commissioners who can choose to individually sit down with residents, but they wouldn’t do it together.

Town Manager Elizabeth Mascaro spoke about the recent suit that was filed was just to request an extension.

Further discussion ensued

Commissioner Sherrie Quarrie spoke about posting more items on the Town’s website for the public to be able to access it.

Interim Town Clerk Amber Brown spoke about one issue with the Town’s website is that things are posted because you might have the same document in three different places so if it gets updated you need to find all three places to update it. A company she recently met with would allow us to post a link on our website where we would be able to scan and upload all of our documents in one place. That same company would be able to scan all of our old documents that are damaged or degrading so we have an electronic copy of all of the historical records.

Further discussion ensued

Commissioner Sherri Quarrie brought up the ongoing issue with the dog park. The people that might be for it will not speak out due to the concern of backlash from others. Any ideas to help sort this issue out?

Further discussion ensued

Commissioners Corey Runte spoke about sending out a survey similar to what was done for paid parking.

## B. Discussion regarding the FY 2022-2023 Budget

Town Manager Elizabeth Mascaro presented the updates to the proposed budget. She spoke about the different bonds. Everything in yellow represents the updates.

- Page three reflects the actual numbers for the ad valorem.
- Page four also reflects the change in ad valorem.
- Page five reflects the increases in utilities and gas.
- Page eight reflects the addition of the new records management software and the scanning of historical documents.
- Page eleven reflects the increase in dues & subscriptions to add FCCMA membership fee for the Town Manager.
- Page fifteen reflects the increase in code enforcement attorney fees.

- Page sixteen is not correct because it does not show the increase from the page the previous page on code enforcement attorney fees.
- Page seventeen is the general fund and reflects the increased expenses such as electricity and water, added funds for adopt an area, and the line item transfer out long term capital is for accounting purposes when money is transferred from the general fund to long term capital.
- Pages eighteen and nineteen are the details of the changes listed on page seventeen.
- Page Twenty is for the police department and reflects the increases in gas and oil, dues for the police chief's association, and licenses and fees for the sonic security wall.
- Page twenty-three is for the fire department and reflects the increases in gas and oil, equipment maintenance, and dispatch services.
- Page twenty-six has a placeholder amount for financing a fire truck.

Town Manager Elizabeth Mascaro spoke about an ongoing issue with the lights in Town Hall overheating and melting or catching on fire. It has happened to three different lights now and the manufacturer advised the current ones are unsafe and the Town either needs to take out all of the ballast and buy all new light bulbs or replace all of the fixtures. Florida Bulb and Ballast who has done other projects and had the lowest quote came out to provide a quote to replace the fixtures with LEDs. Since this is a safety hazard Town Manager Elizabeth Mascaro asked to be able to prepay to get all of the fixtures replaced right away.

- Page twenty-nine is for public works and reflects the increases in electrical services and gas and oil.
- Page thirty-four reflects the new line item professional services to have a company come in and do landscaping, the line item transfer out is to transfer money to the Ocean Ave beautification project.

Commissioner Corey Runte spoke about the condition of the Town signs and adding \$15,000 or \$20,000 to fix or replace all of the Town signs.

Further discussion ensued

Town Manager Elizabeth Mascaro spoke about other updates to the proposed budget. The Town is still looking into splash pads, but so far other municipalities have stated they are a lot of work and are very expensive. She mentioned the idea of misters.

- Page thirty-four reflects the tennis court resurfacing and basketball court resurfacing.
- Page thirty-six reflects the increase in compost and gas for the composting truck.

Further discussion ensued

The Commission decided further information and discussion is needed regarding the \$12,000 for compost.

Town Manager Elizabeth Mascaro spoke about the different funds.

- Page forty is for the building department and reflects an increase in capital expenses to purchase a large scanner to scan large documents and plans. We currently drive to Melbourne to do the scanning.
- Page forty-four is the American Rescue Fund.
- Page forty-six reflects Ocean Park expenses and an increase in electricity, added funds for an elevated boardwalk from the Ocean Park crossover to the south end of Ocean Park.

Further discussion ensued

Town Manager Elizabeth Mascaro stated the Citizen of the year can go on the September meeting agenda.

## **6. Adjournment**

**Commissioner Corey Runte moved to adjourn; Commissioner Marivi Walker seconded; Motion carried 4-0.**

Meeting adjourned at 8:00 p.m.

**ATTEST:**

---

**Wyatt Hoover, Mayor**

---

**Amber Brown, Interim Town Clerk**

**TOWN BOARD VOLUNTEER APPLICATION**  
**Town of Melbourne Beach**  
**507 Ocean Avenue**  
**Melbourne Beach, Florida 32951**  
**Phone: (321) 724-5860 Fax: (321) 984-8994**

1. Name: Heidi Brewer Home Phone: \_\_\_\_\_
2. Home Address: 414 Avenue A, Melbourne Beach, FL 32951
3. Mobile Phone: (973) 879-1339 E-mail address: heidinaylorbrewer@gmail.com
4. Business Name: Heidi Brewer, LMFT Business Phone: \_\_\_\_\_
5. Resume or Education & Experience: See Attached  
 (Use additional sheets if necessary or submit resume)
6. Date of birth: 3/30/1989 (to verify voter registration)  
 (optional)
7. Are you a qualified elector of the town? ☒ YES ☐ NO
8. Are you a resident of the town? ☒ YES ☐ NO
9. Do you reside in the town for at least ten (10) months of each calendar year? ☒ YES ☐ NO
10. Do you hold a public office? ☐ YES ☒ NO
11. Do you currently serve on a Town board? ☐ YES ☒ NO  
 If yes, which board? \_\_\_\_\_
12. Please check the board(s) you are interested in serving on:
 

<input type="checkbox"/> Audit Committee	<input type="checkbox"/> History Center Board
<input type="checkbox"/> Board of Adjustment	<input type="checkbox"/> History Preservation and Awareness
<input type="checkbox"/> Civil Service Board	<input checked="" type="checkbox"/> Parks Board
<input type="checkbox"/> Code Enforcement Board	<input type="checkbox"/> Planning and Zoning Board
<input type="checkbox"/> Environmental Advisory Board	<input type="checkbox"/> Police Pension Fund Board of Trustees
13. Why do you think you are qualified to serve on this board? As a Marriage and Family Therapist, I understand the importance outdoor spaces have on our wellbeing and mental health as a community. I also work well on teams, enjoy engaging in problem-solving, and prioritize being clear and kind when communicating. I have a great love and respect for the outdoors and frequent Ryckman Park and Ocean Park with my son - usually on a daily basis!

14. Would you consider serving on another board other than the one(s) you have selected above?

☒ YES ☐ NO

Note: Persons appointed to certain town boards must file a financial disclosure form with the Brevard County Supervisor of Elections and Florida Commission on Ethics. If you have any questions, please call the Town Clerk's office at 724-5860.

Signature: Heidi Brewer

Date: 9/1/22



# Heidi N. Brewer

*Licensed Marriage and Family Therapist*

heidinaylorbrewer@gmail.com » 973.879.1339

## EMPLOYMENT

### Owner

#### **Heidi Brewer Photography » May 2011 - present**

- Create unique imagery for families and couples
- Provide freelance photography services for various events
- Facilitate portrait shoots by engaging children and encouraging family interaction

### New Hope Counseling Center

#### **Licensed Marriage and Family Therapist » June 2020 - January 2022**

- Worked with individuals, couples, and families to increase well-being and establish systemic change
- Conducted evaluations, assessment, and treatment consistent with specific client needs
- Maintained professional communication with clients related to treatment goals and scheduling

### Outreach Specialist

#### **Circles of Care contracted at AMIKids, Melbourne, FL » January 2019 - March 2020**

- Worked with students to identify personal and professional goals, in addition to barriers to success
- Provided monthly family therapy sessions to help students foster connection and communication with family
- Completed intakes, comprehensive assessments, treatment plans and monthly reviews
- Facilitated Substance Abuse Skills Training, 7 Challenges, and Aggression Replacement Training groups

### Personal Counselor

#### **Christopher Newport University, Newport News, VA » January 2018 - October 2018**

- Assisted students in overcoming personal, educational or behavioral barriers inhibiting their well-being and success
- Conducted intake interviews to determine student clinical needs and establish goals for treatment
- Provided ongoing psychoeducation about self-care, conflict management and emotional regulation
- Completed all necessary clinical documentation in a timely, efficient, and accurate manner

---

## EDUCATION

### **Master of Arts in Marriage and Family Therapy, August 2015**

Alliance Graduate School of Counseling, Nyack, NY

### **Bachelor of Arts in English, May 2011**

Writing, Leadership Studies

Christopher Newport University, Newport News, VA



# TOWN OF MELBOURNE BEACH

BREVARD COUNTY'S OLDEST BEACH COMMUNITY ESTABLISHED 1883

## Site Plan Review

### Applicable Codes

Town of Melbourne Beach Land Development Code  
2020 Florida Building Code

**Date:** August 24, 2022  
**Owner:** ESTRUGO, ROLANDO; ESTRUGO, ELLEN  
**Owner Address:** 128 CANARY AVE MCALLEN TX  
**Site Address:** 202 SECOND AVE MELBOURNE BEACH FL  
**Parcel ID:** 28-38-08-FY-7-13  
**Zoning:** 3RS

**Proposed Project:** New Single Family Dwelling. Drainage will be reviewed by Town Engineer.

**References:** Town of Melbourne Beach Code of Ordinances: 7A-33, Ordinance 2019-06

**Request:** Approval by Planning and Zoning Board, Town Commission for construction of a new single-family dwelling.

**Staff Review:** The property lies in Zoning District 3RS

- 1). Project is a single-family dwelling as a principle use. The current lot has a building that is non-conforming and will be demolished. The Building Official will work with the owner and contractor to make sure the landscape will meet or exceed Town Code and provide pre-inspection to any demolition permits to minimize tree removal.
- 2). The Building Lot Zoning District requirements of min. lot area, width and depth.  
Lot area is 13,570 sq. ft. min. 10,000 sq. ft.  
Lot width is 90 ft. min. 90 ft.  
Lot depth is 149 ft. min. 100 ft.
- 3). Lot coverage has a maximum of 30% for principle structure.  
Lot coverage per plan is 29.7 % Footprint of Primary Structure is 4,033 sq. ft.  
Max allowed for Primary Structure is 4,071 sq. ft. for Lot Area of 13,570 sq. ft.  
Minimum pervious area per lot is 30%. Pervious area is 48.8%
- 4). Structure maximum height for zoning district is 28 ft.  
The proposed height provided is 24.58'.  
Flood Zone X

**5). Zoning District Setback requirements**

**Proposed Primary Structure Front Setback 25.2 ft. (min. 25 ft.)**

**Proposed Primary Structure West Side Setback 15.2 ft. (min. 15 ft.)**

**Proposed Primary Structure East Side Setback 15.5 ft. (min. 15 ft.)**

**Proposed Primary Structure Rear Setback 34.77 ft. (min. 25 ft.)**

**6). Sediment and Erosion control measures shall be met and approved by the Building Official in accordance with the Town of Melbourne Beach Code of Ordinances (27-28) and Florida Building Code (3307.1).**

**7). On-site Storm water Retention Control measures shall be met and approved by the Building Official in accordance with the Town of Melbourne Beach Code of Ordinances (27-28) and the Florida Building Code (3307.1). Town Engineer will submit a review of drainage per Ordinance 2019-06. Town Engineer will be required for final inspection before a Certificate of Occupancy may be issued as per Ordinance 2019-06. Minimum Landscaping Standards shall be met.**

**Based on the above review, I find the proposed site plan for the referenced property is in compliance with The Town of Melbourne Beach Code of Ordinances.**



**Robert Bitgood  
Building Official**

**202 Second**

<b>IMPERVIOUS</b>		<b>PERVIOUS</b>	
Primary Structure	4033	Shed space	
Pool	932	Open areas	
Decks		Other	
Driveway	1842		
Accessory Bldg			
Concrete areas	146	<b>TOTAL PERVIOUS</b>	<b>6617</b>
Pavers areas			
Other			
<b>TOTAL IMPERVIOUS</b>	<b>6953</b>		
		<b>Lot Total Sq Footage</b>	<b>13570</b>
		<b>TOTAL % PERVIOUS</b>	<b>0.48762</b>

**From:** Scott Glaubitz <SGlaubitz@bseconsult.com>  
**Sent:** Wednesday, August 24, 2022 11:04 AM  
**To:** Melbourne Beach Building Department <building@melbournebeachfl.org>; Kasey Day <kday@bseconsult.com>  
**Cc:** Melbourne Beach Building Official <BuildingOfficial@melbournebeachfl.org>; BSE-File <BSE-File@bseconsult.com>  
**Subject:** RE: 202 Second Ave, Melbourne Beach - Lot Drainage Submittal BSE File #11440

All;

We just reviewed the submittal, including plans, drainage report and geotechnical report. Another good job completed by Bennett Engineering. The report was straight forward and the plan was complete. We find that the submittal meets Town requirements and we recommend approval of the drainage plan as submitted.

Thank you.

Scott Glaubitz PE; PLS  
BSE Consultants, Inc.  
312 So. Harbor City Blvd.  
Melbourne, FL 32901  
Cell 321-403-1436  
Office 321-725-3674  
[sglaubitz@bseconsult.com](mailto:sglaubitz@bseconsult.com)



---

*State of Florida "Home Builder of the Year"*

TO: Town of Melbourne Beach

FROM: Jeff Joseph  
Joyal Construction – CRC056965  
(321) 254-0997  
jeff@joyal-homes.com

RE: Estrugo Site Plan Review

DATE: August 9, 2022

### Narrative of Proposed Improvements

Joyal Construction proposes to demolish the existing Single Family Residence and rebuild a New Single Family Residence for Rolando and Ellen Estrugo at 202 Second Avenue, Melbourne Beach, Florida



## TOWN OF MELBOURNE BEACH DEVELOPMENT APPLICATION

### I. SUBMITTAL REQUIREMENTS:

1. Fees per current schedule. \$500.00
2. Deed to property.
3. Pre-Application meeting is mandatory. Contact the Building Official or Building Clerk to submit information required and to schedule a pre-application meeting.
4. Application deadlines are determined annually by the Boards and will be provided at the pre-application meeting.
5. All applicants must complete pages 1-3 and the section(s) as applicable to the request (refer to section II. below). All materials listed in the applicable sections must be provided, and fees paid.

### II. REQUEST:

- |  |  |
|--|--|
| <input type="checkbox"/> Land Use Plan Amendment                                   | <input type="checkbox"/> Rezoning  |
| <input type="checkbox"/> Special Exception   | <input type="checkbox"/> Coastal Construction Variance                     |
| <input type="checkbox"/> Variance  | <input type="checkbox"/> Appeal (Application must be filed within 30 days) |
| <input checked="" type="checkbox"/> Site Plan Review Single Family (1RS, 2RS, 3RS) | <input type="checkbox"/> Site Plan Review Multifamily (4RM, 5RMO)          |
| <input type="checkbox"/> Site Plan Review Commercial (6B, 7C, 8B, 9I)              | <input type="checkbox"/> Amendment to the Land Development Code            |
|  | <input type="checkbox"/> Other (specify) _____                             |

### III. PROPERTY INFORMATION:

General Location: Lot 13  $\frac{1}{2}$  of Lot 14, Block 7 Wilcox Melbourne Bch

Address: 202 Second Avenue

Parcel Number(s): 28-38-08-FY-7-13

Area (in acreage): 0.31

Area (in square feet): \_\_\_\_\_

Current Zoning: 0110 SFR

Proposed Zoning: 0110 Single Family Residence

Current Future Land Use: SFR

Proposed Future Land Use: SFR

Brief Description of Application: Demolish existing SFR, Rebuild

New Single Family Residence: need Site Plan Approved

Date of Mandatory Pre-Application Meeting (attach meeting minutes if applicable): \_\_\_\_\_

IV. APPLICANT INFORMATION:

Property Owner

Name: Rolando<sup>1</sup>, Ellen EstrugoPhone: 305-778-9311Address: 12B Canary Avenue

Fax: \_\_\_\_\_

McAllen, Texas 78504Email: eestrugo@hotmail.com

Applicant (if other than property owner)

Name: JOYAL CONSTRUCTIONPhone: (321) 254-0997Address: 2800 Aurora Rd #AFax: (321) 259-7434Melbourne, FL 32935Email: lori@joyal-homes.comV. OWNER AUTHORIZATION:\*

The undersigned hereby affirms the following:

1. That I/we are the fee simple title owner/contract purchaser (circle one) of the property described in this application.
2. That I/we have read and understands the entire application and concurs with the request.
3. That I/we have appointed the Applicant to represent the application, and empowers the Applicant to accept any and all conditions of approval imposed by the Town of Melbourne Beach.

Signature: [Signature]Date: 6/14/22Print Name: Rolando EstrugoTitle: MR.

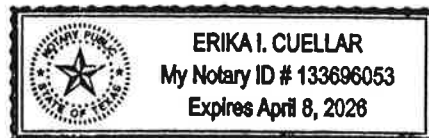
\*Must sign in front of notary.

State of ~~Florida~~ TexasCounty of ~~Brevard~~ Hidalgo

The foregoing application is acknowledged before me

this 14 day of June, 2022 by Rolando Estrugowho is/are personally known to me, or who has/have produced Rolando Estrugo as identification.Erika I Cuellar

Signature of Notary Public, State of Florida





# VI. APPLICANT CERTIFICATION:\*

I/we affirm and certify that I/we understand and will comply with the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the application and support documents are fully complete and comply with the requirements of the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the statements and/or diagrams made on any paper or plans submitted here with are true to the best of my/our knowledge and belief that this application, attachments and application filing fees become part of the official public record of the Town of Melbourne Beach, Florida and are not returnable or refundable.

Under penalties of perjury, I/we declare that I/we have read the foregoing application and that to the best of my/our knowledge and belief the facts stated in the application are true.

Signature: Thomas W. Hull Jr.

Date: 8-1-2022

Print Name: Thomas W. Hull Jr.

Title: Joyal Construction  
Vice President

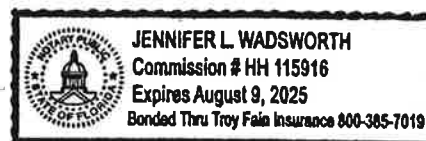
\*Must sign in front of notary.

State of Florida  
County of Brevard.

The foregoing application is acknowledged before me  
this 1<sup>st</sup> day of August, 2022, by Thomas W. Hull Jr.  
who is/are personally known to me, or who has/have produced pers. known  
as identification.

Jennifer L. Wadsworth  
Signature of Notary Public, State of Florida

NOTARY SEAL



# VII. PROJECT DESCRIPTION:

Describe Application: Demolish Existing SFR; Rebuild New  
Single Family Residence, Site Plan Approval Needed

Provide attachment if more space is needed.

Describe Existing Conditions: lot with SFR to be demolished;  
Existing Water and Sewer

Provide attachment if more space is needed.

# **SURFACE WATER MANAGEMENT REPORT**

TO

**TOWN OF MELBOURNE BEACH**

FOR

**202 Second Ave  
MELBOURNE BEACH, FL 32951**

OWNERS:

**Rolando & Ellen Estrugo**

128 Canary Ave  
McAllen, TX 78504

PREPARED BY:

**Bennett Engineering & Consulting, LLC.**

4940 Ranchland Road  
Melbourne, Florida 32934  
Tel/Fax (321) 622-4462  
CA # 28236

BEC No. 22.350

August 2, 2022

## 202 Second Ave, Melbourne Beach

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<b>IV. STORMWATER MANAGEMENT SYSTEM MAINTENANCE PLAN</b>	3
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C. Soils Report prepared by KSM Engineering and Testing <i>(Provided for information only and not included in the Engineer's certification of this report)</i>	11-17

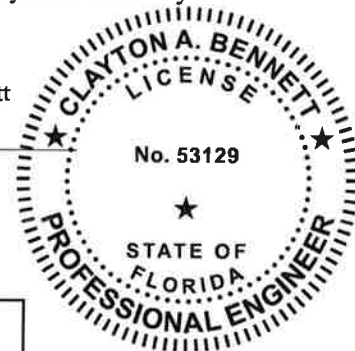
#### ENGINEER'S CERTIFICATION

The following drainage calculations for the 202 Second Ave, Melbourne Beach were prepared by me or under my direct supervision.

Digitally signed by Clayton A Bennett  
Date: 2022.08.02 17:10:35 -04'00'

Clayton A. Bennett, P.E.  
Fla. Reg. 53129

Date: \_\_\_\_\_



This item has been digitally signed and sealed by Clayton A. Bennett, PE on the date adjacent to the seal.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

## I. PROJECT OVERVIEW

### A. Existing Conditions

The proposed project is located at 202 Second Ave in the Town of Melbourne Beach, Florida. The overall site boundary contains  $\pm 0.31$  acres, more or less. The site is currently developed.

### B. Proposed Conditions

The proposed project consists of the demolition of the existing improvements and the construction of a new single-family residence and associated improvements. A stormwater management system has been proposed to retain the runoff from the 10-year/24-hour storm event, consisting of 8-inches of rainfall, from the site in accordance with the Town Criteria (Section 3A-30). The proposed improvements fall below the permit requirement thresholds of the SJRWMD Applicants Handbook Sec. 3.2.2 (a).

## II. SOILS INFORMATION

KSM Engineering and Testing prepared a soils report (KSM Project No. 2206252-p) for the subject site. A copy of the said report has been included in Appendix C for informational purposes only.

The said soils report provided the following horizontal and vertical permeability rate at the boring locations:

Table 2 – Constant Head Permeability			
Test Location (See Location Plan)	Measured Horizontal Flow Rate (in/hr)	Measured Vertical Flow Rate (in/hr)	Encountered Stratum Depth Range (in)
P-1	29.3	26.8	0-12
	36.4	34.9	12-192
P-2	23.5	21.1	0-14
	33.5	30.4	14-28
	33.9	30.5	28-192

The vertical permeability of the upper soil layer which has the lowest permeability, was selected as the bottom of the retention swale will not cut through the said layer of soil. A factor of factor of safety of 2 was applied to the average vertical permeability rate of of the upper soil layer to obtain the design permeability rate of 12 in/hr.

The KSM soils report provided the following groundwater data:

<b>Table 3 - Water Table</b>			
<b>Test Location (See Location Plan)</b>	<b>Observed Water Table</b>	<b>Estimated Wet Season Water Table</b>	<b>Estimated Dry Season Water Table</b>
P-1, PB-1	9.6' Below Grade	6.0' Below Grade	9.6' Below Grade
P-2, PB-2	9.4' Below Grade	6.0' Below Grade	9.4' Below Grade

The seasonal high groundwater was estimated to be approximately 6 feet below existing grade. The existing grade was estimated at elevation 14-feet and the estimated seasonal high-water table was set at elevation 8'.

### **III. STORMWATER MANAGEMENT PLAN**

#### **A. Existing Conditions**

The rate of runoff was not computed as the Town requires the retention of the 10-year/24-hour storm event.

#### **B. Proposed Conditions**

A normally dry perimeter swale is proposed to retain the runoff from the 10-year/24-hour storm event consisting of 8-inches of rainfall.

##### **1. Area information**

Basin 1: Drainage Basin Area = 13,570 sf

##### **2. Stormwater Attenuation**

The proposed stormwater management system is designed to retain the runoff from the 10-yr/24-hr storm event site area using the computer model HydroCAD. The results of the HydroCAD model are provided in Appendix B. The following summarizes the results of the HydroCAD analysis for the 10-yr/-24hr storm event:

<u><b>Basin</b></u>	<u><b>Peak Stage</b></u>	<u><b>Top of Swale El.</b></u>	<u><b>Pre-Dev. Discharge</b></u>	<u><b>Post Dev. Discharge</b></u>
Basin 1	13.78 ft	14.0 ft	N/A	0.0

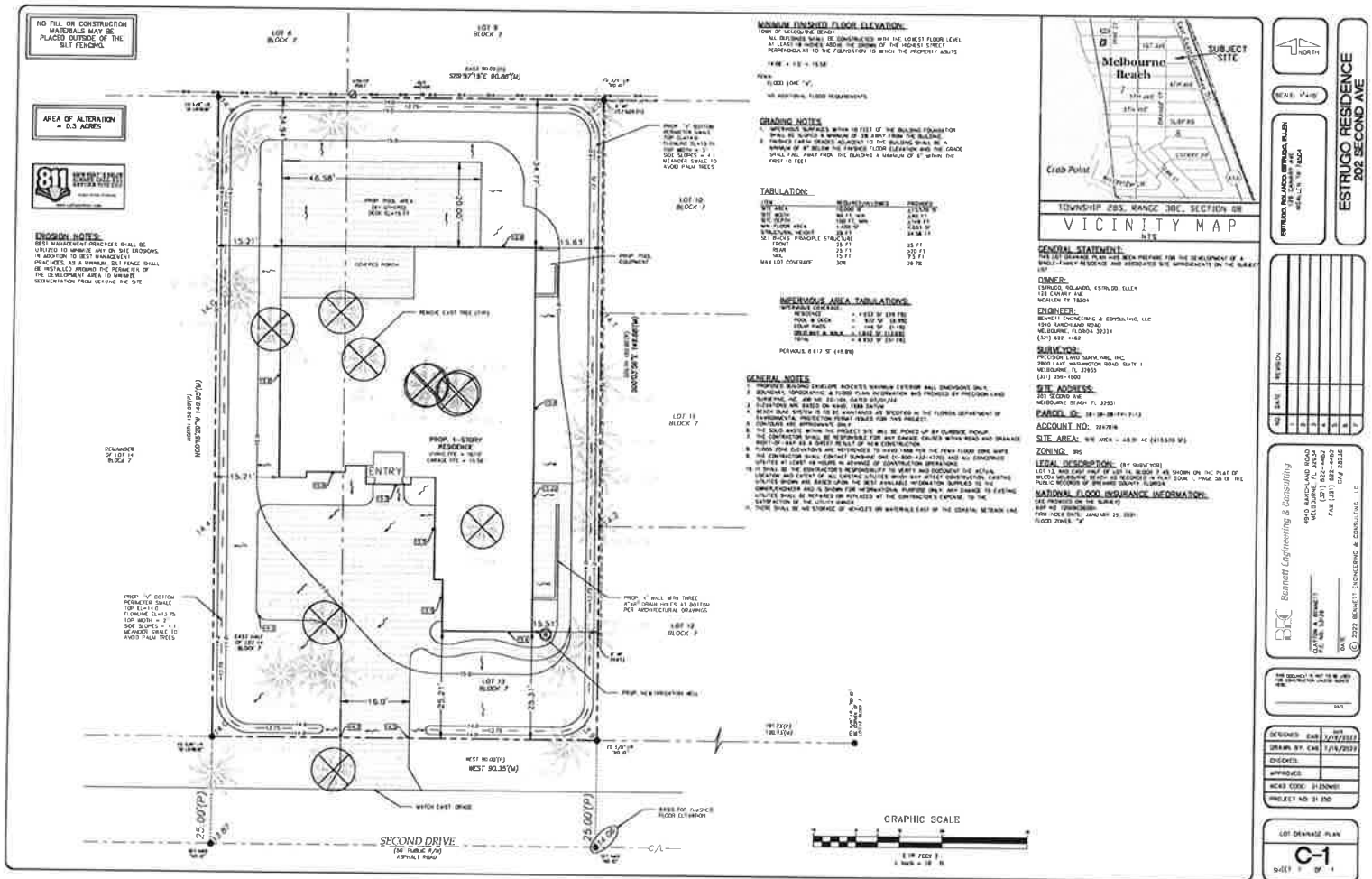
#### **IV. STORMWATER MANAGEMENT SYSTEM MAINTENANCE PLAN**

The stormwater management system for this project consists of normally dry retention basin(s). This system has been designed within the restrictions of the site and with the intent of satisfying the stormwater treatment requirements of the Town of Melbourne Beach stormwater management code. In order for the system to function properly, it must be maintained. The following maintenance and monitoring program shall be followed:

- Storm water retention basins shall be maintained and free of sand build up and debris, which could cause clogging and a reduction of storage volume.
- Grassed areas are to be maintained to avoid bare earth conditions where erosion could occur.
- Grass clippings are to be bagged and properly disposed of.

# **APPENDIX A**

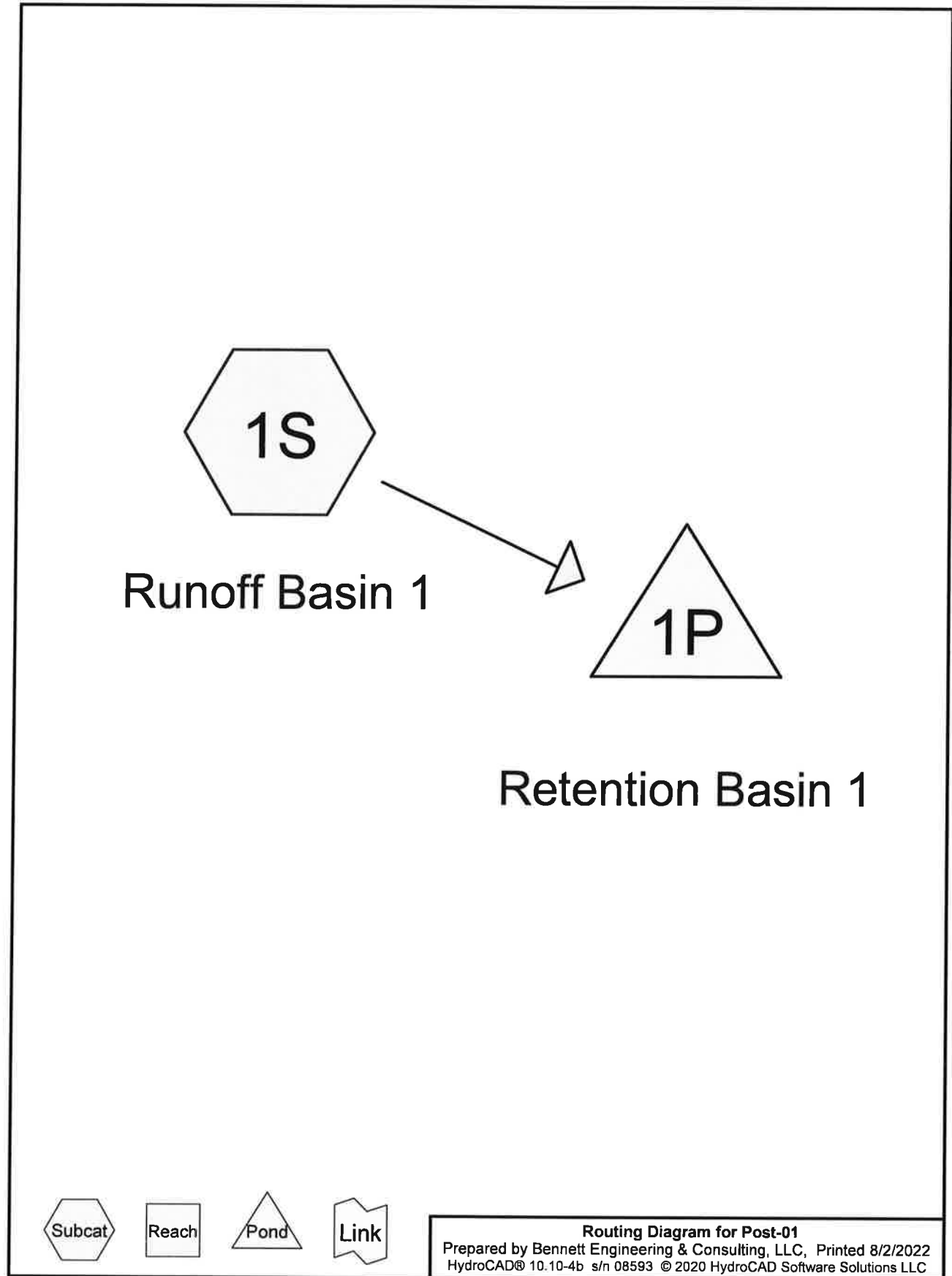
## **STORMWATER MANAGEMENT PLAN**





# **APPENDIX B**

## **POST DEVELOPMENT STORMWATER CALCULATIONS**



**Post-01**

Prepared by Bennett Engineering & Consulting, LLC  
 HydroCAD® 10.10-4b s/n 08593 © 2020 HydroCAD Software Solutions LLC

Printed 8/2/2022

Page 2

### Rainfall Events Listing (selected events)

Event#	Event Name	Storm Type	Curve	Mode	Duration (hours)	B/B	Depth (inches)	AMC
1	10y-24h	Type II FL 24-hr		Default	24.00	1	8.00	2

**Post-01**

Prepared by Bennett Engineering & Consulting, LLC  
 HydroCAD® 10.10-4b s/n 08593 © 2020 HydroCAD Software Solutions LLC

Type II FL 24-hr 10y-24h Rainfall=8.00"

Printed 8/2/2022

Page 3

### Summary for Subcatchment 1S: Runoff Basin 1

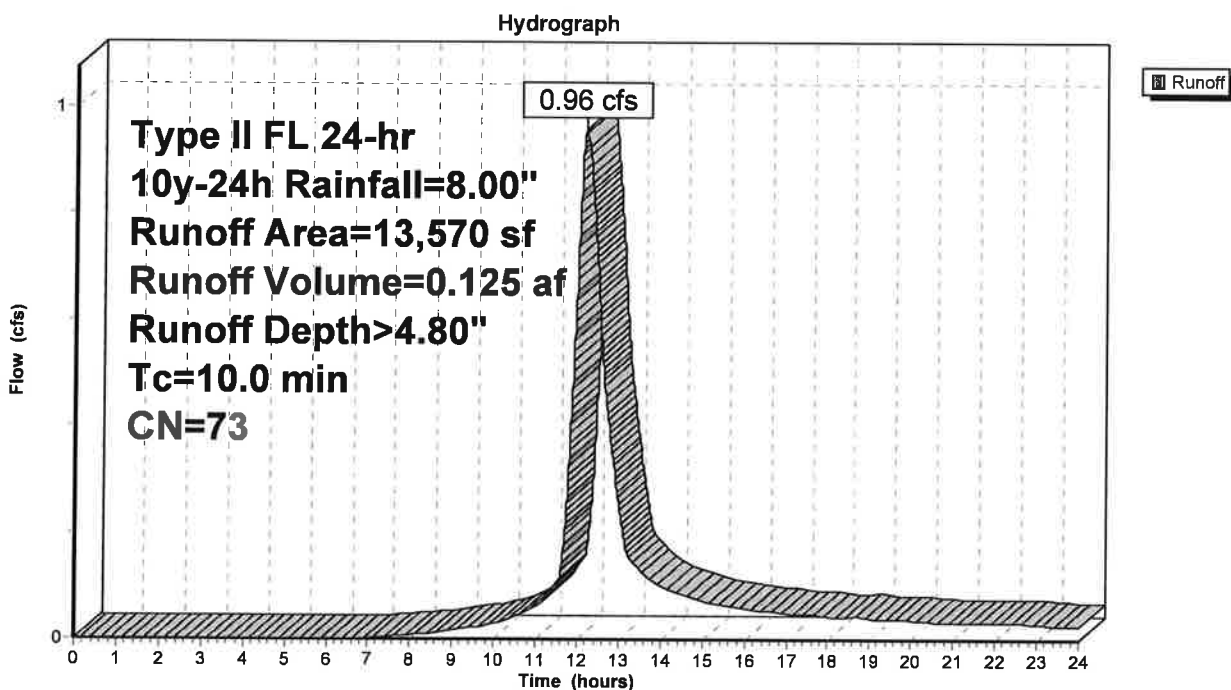
Runoff = 0.96 cfs @ 12.19 hrs, Volume= 0.125 af, Depth> 4.80"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs  
 Type II FL 24-hr 10y-24h Rainfall=8.00"

Area (sf)	CN	Description
* 857	100	Retention Swale
* 6,953	98	Roof, Paved parking, HSG A
5,760	39	>75% Grass cover, Good, HSG A
13,570	73	Weighted Average
5,760		42.45% Pervious Area
7,810		57.55% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,

### Subcatchment 1S: Runoff Basin 1



**Post-01**

Prepared by Bennett Engineering & Consulting, LLC  
 HydroCAD® 10.10-4b s/n 08593 © 2020 HydroCAD Software Solutions LLC

Type II FL 24-hr 10y-24h Rainfall=8.00"

Printed 8/2/2022

Page 4

### Summary for Pond 1P: Retention Basin 1

Inflow Area = 0.312 ac, 57.55% Impervious, Inflow Depth > 4.80" for 10y-24h event  
 Inflow = 0.96 cfs @ 12.19 hrs, Volume= 0.125 af  
 Outflow = 0.96 cfs @ 12.19 hrs, Volume= 0.125 af, Atten= 0%, Lag= 0.0 min  
 Discarded = 0.96 cfs @ 12.19 hrs, Volume= 0.125 af

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs  
 Peak Elev= 13.78' @ 12.19 hrs Surf.Area= 11 sf Storage= 0 cf

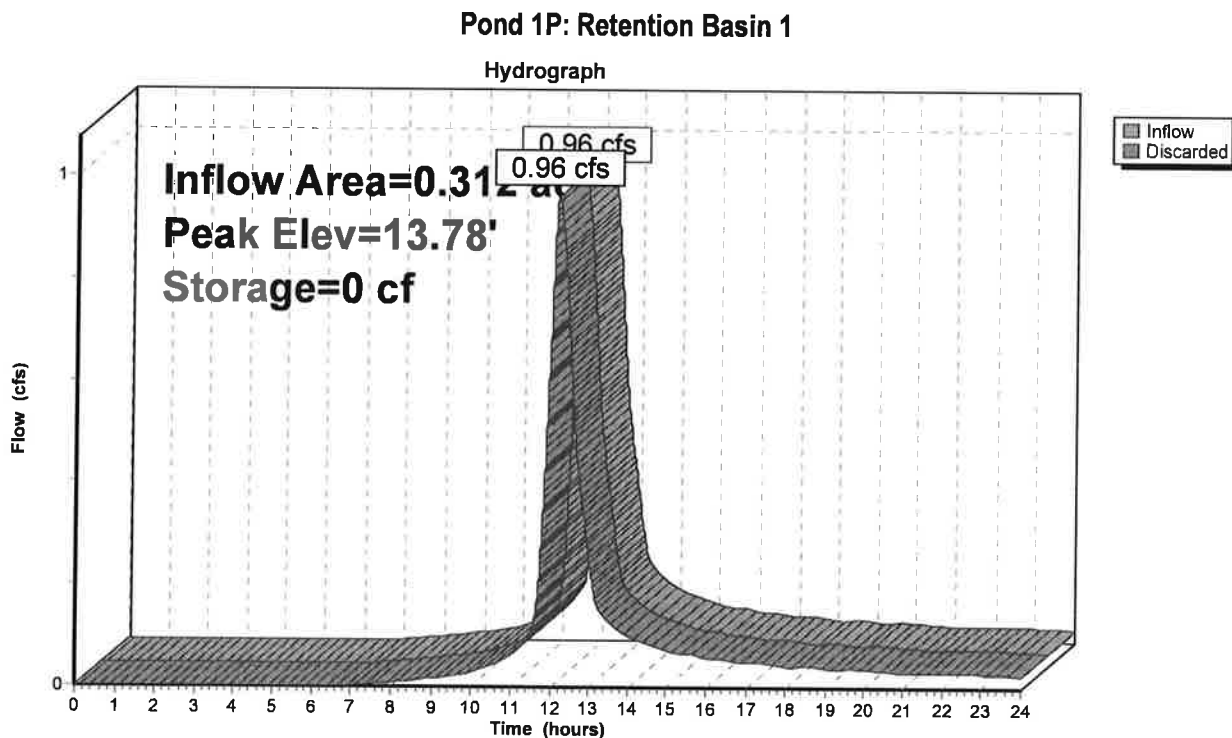
Plug-Flow detention time= (not calculated: outflow precedes inflow)  
 Center-of-Mass det. time= 0.0 min ( 835.7 - 835.7 )

Volume	Invert	Avail.Storage	Storage Description
#1	13.75'	71 cf	<b>Custom Stage Data (Irregular) Listed below (Recalc)</b>

Elevation (feet)	Surf.Area (sq-ft)	Perim. (feet)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)	Wet.Area (sq-ft)
13.75	0	427.0	0	0	0
14.00	857	860.0	71	71	44,347

Device	Routing	Invert	Outlet Devices
#1	Discarded	13.75'	<b>12.000 in/hr Exfiltration over Wetted area</b> Conductivity to Groundwater Elevation = 8.00'

**Discarded OutFlow** Max=0.96 cfs @ 12.19 hrs HW=13.78' (Free Discharge)  
 1=Exfiltration ( Controls 0.96 cfs)



# APPENDIX C

## Soils Report

Prepared by KSM Engineering and Testing  
KSM #: 2206252-p  
Dated July 18, 2022

*Soils report included for informational purposes only and  
Not part of the Engineer's Certification*

Joyal Homes ATTN: Jeff Joseph  
2800 Aurora Road, Suite A  
Melbourne, FL 32935

July 18, 2022

**Re: 202 2<sup>nd</sup> Ave  
Melbourne Beach, Florida  
KSM Project #: 2206252- p**

To Mr. Joseph:

As requested, KSM performed a site investigation at the proposed site. The tests and observations noted in this report were performed to evaluate the drainage characteristics of the soils discovered in the test location.

Usual Open-Hole Test (in-field) – At the test location, an in-field permeability test was performed in general conformance with the South Florida Water Management District described procedures for the 'Usual Open-Hole Test' method. The measured results of the in-field test can be found in Table 1:

<b>Table 1 - Usual Open-Hole Test</b>	
<b>Test Location (See Location Plan)</b>	<b>Measured Hydraulic Conductivity (CFS/SF- Ft Head)</b>
P-1	$7.9 \times 10^{-4}$
P-2	$6.6 \times 10^{-4}$

Constant Head Permeability (in-lab) – Laboratory constant head permeability tests were performed on samples obtained at the location of PB-1 in general accordance with ASTM D-2434. Table 5 indicates the measured saturated horizontal and vertical flow rates for each encountered stratum. No tests were performed on the encountered pavement section.

<b>Table 2 – Constant Head Permeability</b>			
<b>Test Location (See Location Plan)</b>	<b>Measured Horizontal Flow Rate (in/hr)</b>	<b>Measured Vertical Flow Rate (in/hr)</b>	<b>Encountered Stratum Depth Range (in)</b>
P-1	29.3	26.8	0-12
	36.4	34.9	12-192
P-2	23.5	21.1	0-14
	33.5	30.4	14-28
	33.9	30.5	28-192

Estimated Normal Wet Season & Dry Season Water Table – Table 3 indicates the observed water table and our estimated normal wet season water table and normal dry

season water table for the test location. This estimate is based upon our interpretation of existing site conditions and a review of the USDA Soil Survey for Brevard County, Florida. The site soils are mapped as 25—Canaveral-Palm Beach- Urban Land Complex and 42—Palm Beach Sand according to the Soil Survey Map of Brevard County, Florida.

<b>Table 3 - Water Table</b>			
<b>Test Location (See Location Plan)</b>	<b>Observed Water Table</b>	<b>Estimated Wet Season Water Table</b>	<b>Estimated Dry Season Water Table</b>
P-1, PB-1	9.6' Below Grade	6.0' Below Grade	9.6' Below Grade
P-2, PB-2	9.4' Below Grade	6.0' Below Grade	9.4' Below Grade

Hydrologic Soil Group – The soils in the test location can be classified in accordance with Chapter 7, Part 630 of the USDA National Engineering Handbook as follows:

<b>Table 4 – Hydrologic Soil Group Classification</b>	
<b>Test Location (See Location Plan)</b>	<b>Hydrologic Soil Group</b>
P-1	A
P-2	A

Porosity – The material we encountered in the field generally consisted of fine grained sand which was loose in density, therefore a value of 0.37 can be used as an estimated porosity value for design purposes.

This estimate is based upon our interpretation of existing site conditions and our experience with the porosity of similar materials. If the in-situ field porosity of any layer is required, please contact our office for further investigation.

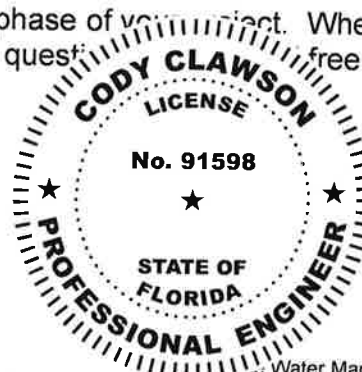
This report has been prepared in accordance with generally accepted soil engineering practices based on the results of the test borings and the proposed improvements. Procedural standards noted in this report are in reference to methodology in general. In some cases, variations to methods were applied because of local practice or professional judgement. No warranties, either expressed or implied, are intended or made. This report does not reflect any variations which may occur between the borings. If variations appear evident during the course of construction, it would be necessary to re-evaluate the recommendations of this project.

Environmental conditions, wetland delineation, karst activity, water quality, and municipal requirements are not a part of this report.

We are pleased to be of assistance to you on this phase of your project. When we may be of further service to you or should you have any questions, please feel free to contact the office.

Respectfully,

Cody C. Clawson, P.E.  
Geotechnical Engineer  
Florida Lic. No. 91598  
E-mail to: jeff@joyal-homes.com







**KSM Engineering & Testing**  
P.O. Box 78-1377  
Sebastian, FL 32978  
Tel: (772)-589-0712  
Fax: (772)-589-6469

**BORING NUMBER PB-1**

PAGE 1 OF 1

**CLIENT** Joyal Construction

**PROJECT NAME** 202 2nd Avenue

PROJECT NUMBER 2206252

**PROJECT LOCATION** Melbourne Beach, Florida

DATE STARTED 7/6/22

**COMPLETED 7/6/22**

### GROUND ELEVATION

**HOLE SIZE**    inches

**DRILLING CONTRACTOR**

**GROUND WATER LEVELS:**

DRILLING METHOD Geoprobe

**▽ AT TIME OF DRILLING 9.6 ft**

LOGGED BY PM, EK

**CHECKED BY** CCC

AT END OF DRILLING ---

**NOTES** See Attached Location Plan

### AFTER DRILLING --

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY % (RQD)	BLOW COUNTS (N VALUE)	PENETROMETER	DRY UNIT WT. (pcf)	▲ SPT N VALUE ▲
								20 40 60 80
								PL MC LL
0								20 40 60 80
		Light Brown Sand with Traces of Shell Fragments and Roots						PL MC LL
		Light Brown Sand with Traces of Shell Fragments						20 40 60 80
								□ FINES CONTENT (%) □
								20 40 60 80
5								
10								
15								

Bottom of borehole at 16.0 feet.

**KSM**

KSM Engineering & Testing  
P.O. Box 78-1377  
Sebastian, FL 32978  
Tel: (772)-589-0712  
Fax: (772)-589-6469

**BORING NUMBER PB-2**

PAGE 1 OF 1

CLIENT Joyal ConstructionPROJECT NAME 202 2nd AvenuePROJECT NUMBER 2206252PROJECT LOCATION Melbourne Beach, FloridaDATE STARTED 7/6/22COMPLETED 7/6/22

GROUND ELEVATION \_\_\_\_\_ HOLE SIZE \_\_\_\_\_ inches

DRILLING CONTRACTOR \_\_\_\_\_

GROUND WATER LEVELS:

DRILLING METHOD Geoprobe▽ AT TIME OF DRILLING 9.4 ftLOGGED BY PM, EKCHECKED BY CCCAT END OF DRILLING --NOTES See Attached Location PlanAFTER DRILLING --

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY % (RQD)	BLOW COUNTS (N VALUE)	PENETROMETER	DRY UNIT WT. (pcf)	▲ SPT N VALUE ▲			
								20	40	60	80
								PL	MC	LL	
								20	40	60	80
								□ FINES CONTENT (%) □			
								20	40	60	80
0		Brown Sand with Traces of Shell Fragments and Roots									
		Yellowish Brown Sand									
		Light Brown Sand with Traces of Shell Fragments									
5											
10											
15											

Bottom of borehole at 16.0 feet.

GEOTECH BH PLOTS - GINT STD US LAB.GDT - 7/8/22 12:47 - K:\KSM FILES\22 DOCS (KSM-SERVER)\2206252\SOIL INVESTIGATION\2206252-P.GPJ



## LOCATION OF SOIL TESTING

PROJECT: 202 Second Avenue, Melbourne Beach, Florida

SHEET 1 OF 2

PERMIT #:

PROJECT #: 2206252-p

Bennett Engineering & Consulting, LLC

BEC No. 22.350

**KSM ENGINEERING  
AND TESTING**

202 Second Ave  
Melbourne Beach, FL 32951

DRAWN BY: C.V.

DESIGNED BY: C.C.C.

DATE: 20220712

SCALE: NOT TO SCALE

Page 16 of 17



## **USDA SOILS SURVEY**

**25—Canaveral-Palm Beach-Urban land complex**

**42—Palm Beach sand**

**PROJECT:** 202 Second Avenue, Melbourne Beach, Florida

**SHEET 2 OF 2**

**PERMIT #:**

**PROJECT #:** 2206252-soils

Bennett Engineering & Consulting, LLC

BEC No. 22.350

**KSM ENGINEERING  
AND TESTING**

202 Second Ave  
Melbourne Beach, FL 32951

**DRAWN BY:** C.V.

**DESIGNED BY:** C.C.C.

**DATE:** 20220712

**SCALE:** NOT TO SCALE

Page 17 of 17

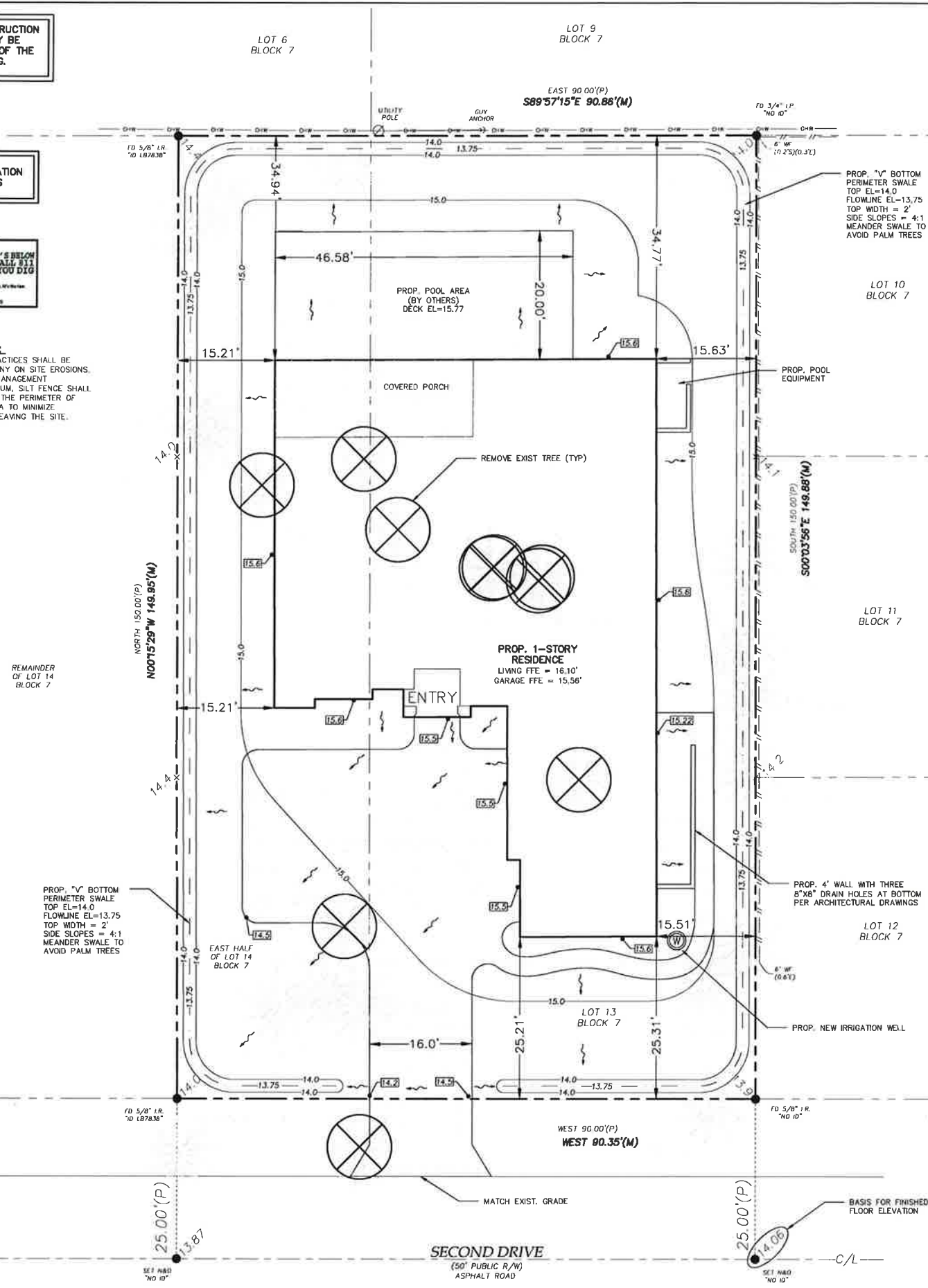
NO FILL OR CONSTRUCTION MATERIALS MAY BE PLACED OUTSIDE OF THE SILT FENCING.

AREA OF ALTERATION = 0.3 ACRES



**EROSION NOTES:**  
BEST MANAGEMENT PRACTICES SHALL BE UTILIZED TO MINIMIZE ANY ON SITE EROSIONS. IN ADDITION TO BEST MANAGEMENT PRACTICES, AS A MINIMUM, SILT FENCE SHALL BE INSTALLED AROUND THE PERIMETER OF THE DEVELOPMENT AREA TO MINIMIZE SEDIMENTATION FROM LEAVING THE SITE.

REMAINDER OF LOT 14 BLOCK 7



**MINIMUM FINISHED FLOOR ELEVATION:**  
TOWN OF MELBOURNE BEACH  
ALL BUILDINGS SHALL BE CONSTRUCTED WITH THE LOWEST FLOOR LEVEL AT LEAST 18 INCHES ABOVE THE CROWN OF THE HIGHEST STREET PERPENDICULAR TO THE FOUNDATION TO WHICH THE PROPERTY ABUTS.  
14.06' + 1.5' = 15.56'  
FEMA: FLOOD ZONE "X"  
NO ADDITIONAL FLOOD REQUIREMENTS

**GRADING NOTES:**  
1. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.  
2. FINISHED EARTH GRADES ADJACENT TO THE BUILDING SHALL BE A MINIMUM OF 6" BELOW THE FINISHED FLOOR ELEVATION AND THE GRADE SHALL FALL AWAY FROM THE BUILDING A MINIMUM OF 6' WITHIN THE FIRST 10 FEET.

**TABULATION:**

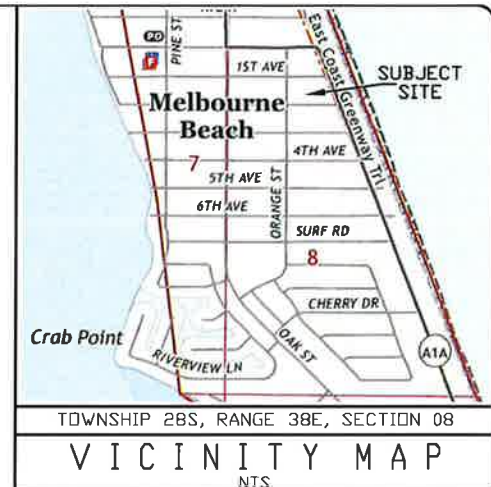
ITEM	REQUIRED/ALLOWED	PROVIDED
SITE AREA	10,000 SF	±13,570 SF
SITE WIDTH	90 FT. MIN.	130 FT.
SITE DEPTH	100 FT. MIN.	149 FT.
MIN. FLOOR AREA	1,400 SF	4,033 SF
STRUCTURAL HEIGHT	28 FT	24.58 FT
SET BACKS: PRINCIPLE STRUCTURE		
FRONT	25 FT	25 FT
REAR	25 FT	>20 FT
SIDE	15 FT	7.5 FT
MAX LOT COVERAGE	30%	29.7%

**IMPERVIOUS AREA TABULATIONS:**

IMPERVIOUS COVERAGE:	
RESIDENCE	= 4,033 SF (29.7%)
POOL & DECK	= 932 SF (6.8%)
EQUIP PADS	= 146 SF (1.1%)
DRIVEWAY & WALK	= 1,842 SF (13.6%)
TOTAL	= 6,953 SF (51.2%)

PERVIOUS: 6,617 SF (48.8%)

- GENERAL NOTES**
- PROPOSED BUILDING ENVELOPE INDICATES MAXIMUM EXTERIOR WALL DIMENSIONS ONLY.
  - BOUNDARY, TOPOGRAPHIC, & FLOOD PLAN INFORMATION WAS PROVIDED BY PRECISION LAND SURVEYING, INC. JOB NO. 22-104, DATED 07/01/22.
  - ELEVATIONS ARE BASED ON NAVD, 1988 DATUM.
  - BEACH DUNE SYSTEM IS TO BE MAINTAINED AS SPECIFIED IN THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION PERMIT ISSUED FOR THIS PROJECT.
  - CONTOURS ARE APPROXIMATE ONLY.
  - THE SOLID WASTE WITHIN THE PROJECT SITE WILL BE PICKED UP BY CURBSIDE PICKUP.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED WITHIN ROAD AND DRAINAGE RIGHT-OF-WAY AS A DIRECT RESULT OF NEW CONSTRUCTION.
  - FLOOD ZONE ELEVATIONS ARE REFERENCED TO NAVD 1988 PER THE FEMA FLOOD ZONE MAPS.
  - THE CONTRACTOR SHALL CONTACT SUNSHINE ONE (1-800-432-4770) AND ALL CONCERNED UTILITIES AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION OPERATIONS.
  - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND DOCUMENT THE ACTUAL LOCATION AND EXTENT OF ALL EXISTING UTILITIES WHICH MAY AFFECT CONSTRUCTION. EXISTING UTILITIES SHOWN ARE BASED UPON THE BEST AVAILABLE INFORMATION SUPPLIED TO THE OWNER/ENGINEER AND IS SHOWN FOR INFORMATIONAL PURPOSE ONLY. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE, TO THE SATISFACTION OF THE UTILITY OWNER.
  - THERE SHALL BE NO STORAGE OF VEHICLES OR MATERIALS EAST OF THE COASTAL SETBACK LINE.



**GENERAL STATEMENT:**  
THIS LOT DRAINAGE PLAN HAS BEEN PREPARED FOR THE DEVELOPMENT OF A SINGLE-FAMILY RESIDENCE AND ASSOCIATED SITE IMPROVEMENTS ON THE SUBJECT LOT.

**OWNER:**  
ESTRUGO, ROLANDO; ESTRUGO, ELLEN  
128 CANARY AVE  
MCALLEN TX 78504

**ENGINEER:**  
BENNETT ENGINEERING & CONSULTING, LLC  
4940 RANCHLAND ROAD  
MELBOURNE, FLORIDA 32934  
(321) 622-4462

**SURVEYOR:**  
PRECISION LAND SURVEYING, INC.  
2900 LAKE WASHINGTON ROAD, SUITE 1  
MELBOURNE, FL 32935  
(321) 259-4600

**SITE ADDRESS:**  
202 SECOND AVE  
MELBOURNE BEACH, FL 32951

**PARCEL ID:** 28-38-08-FY-7-13

**ACCOUNT NO:** 2847816

**SITE AREA:** SITE AREA = ±0.31 AC (±13,570 SF)

**ZONING:** JRS

**LEGAL DESCRIPTION:** (BY SURVEYOR)  
LOT 13, AND EAST HALF OF LOT 14, BLOCK 7 AS SHOWN ON THE PLAT OF WILCOX MELBOURNE BEACH AS RECORDED IN PLAT BOOK 1, PAGE 58 OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.

**NATIONAL FLOOD INSURANCE INFORMATION:**  
(AS PROVIDED ON THE SURVEY)  
MAP NO. 12009C0608H  
FIRM INDEX DATE: JANUARY 29, 2021  
FLOOD ZONES: "X"



Digitally signed by Clayton A Bennett  
Date: 2022.08.02 17:06:17 -04'00'

This item has been digitally signed and sealed by Clayton A. Bennett, PE on the date adjacent to the seal.  
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

**ESTRUGO RESIDENCE**  
202 SECOND AVE

SCALE: 1"=10'

ESTRUGO, ROLANDO; ESTRUGO, ELLEN  
128 CANARY AVE  
MCALLEN TX 78504

NO.	DATE	REVISION
1		
2		
3		
4		
5		
6		
7		

**Bennett Engineering & Consulting**  
4940 RANCHLAND ROAD  
MELBOURNE, FL 32934  
(321) 622-4462  
FAX (321) 622-4462  
CA# 28236

THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED HERE:  
\_\_\_\_\_  
DATE

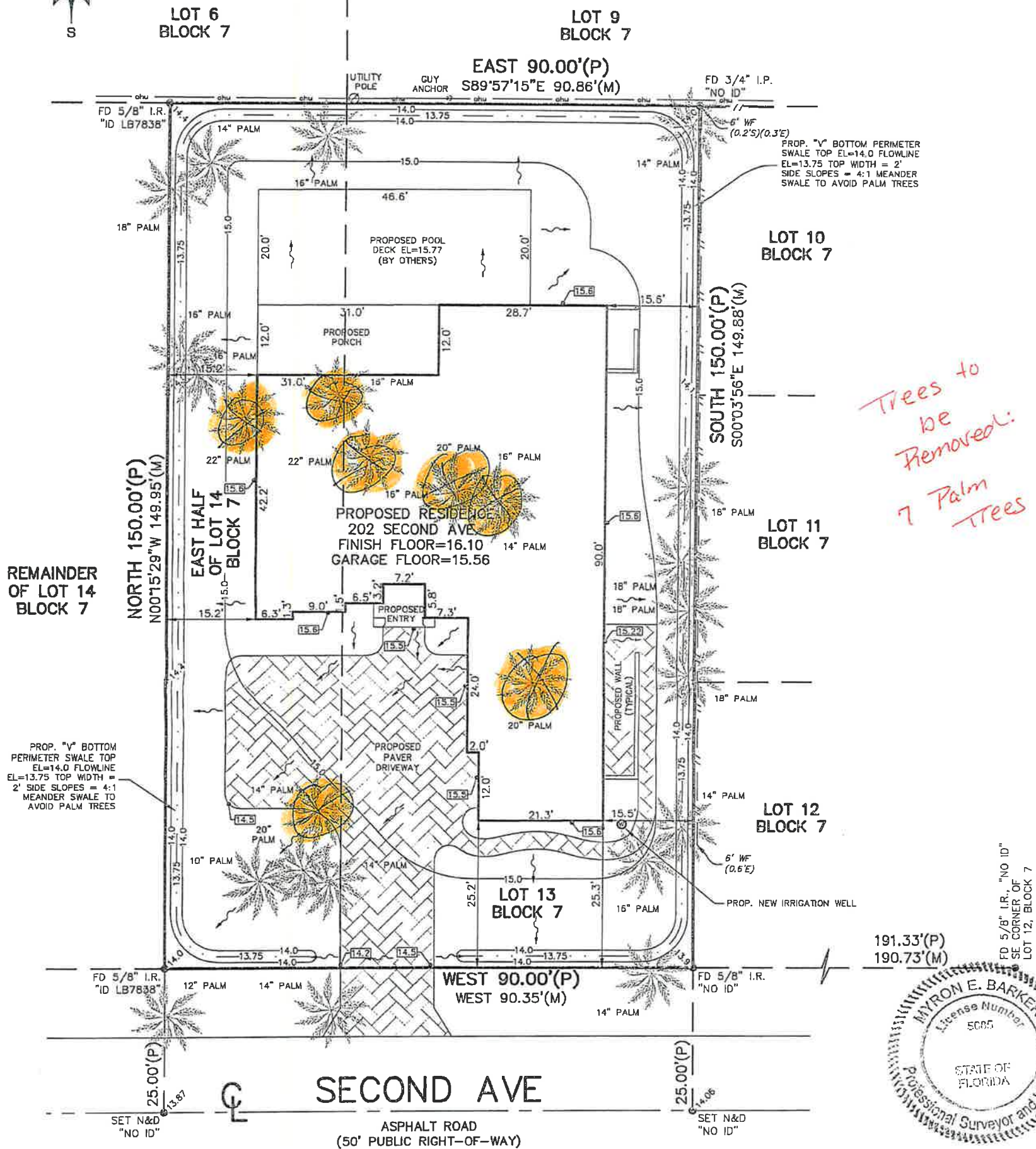
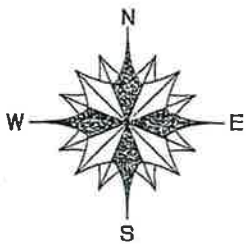
DESIGNED: CAB	DATE: 7/19/2022
DRAWN BY: CAB	DATE: 7/19/2022
CHECKED:	
APPROVED:	
ACAD CODE: 21350M01	
PROJECT NO: 21.350	

LOT DRAINAGE PLAN  
**C-1**  
SHEET 1 OF 1



BOUNDARY SURVEY OF:

LOT 13, AND EAST HALF OF LOT 14, BLOCK 7 AS SHOWN ON THE PLAT OF WILCOX MELBOURNE BEACH  
AS RECORDED IN PLAT BOOK 1, PAGE 58 OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.



**NOTE**  
ELEVATIONS BASED ON NAVD88  
PROPOSED DRAINAGE, ELEVATION AND  
BERMS DESIGNED BY OTHERS

# LEGEND

(AKA)	= ALSO KNOWN AS
BM	= BENCHMARK
C	= CENTERLINE
CBS	= CONCRETE BLOCK STRUCTURE
CLF	= CHAIN LINK FENCE
CH	= CHORD
CM	= CONCRETE MONUMENT
CONC.	= CONCRETE
COR.	= CORNER
(D)	= DEEDED
DEL	= DELTA
FD	= FOUND
ID	= IDENTIFICATION
I.P.	= IRON PIPE
I.R.	= IRON ROD
L	= LENGTH
LB	= LICENSE BUSINESS
LS	= LICENSE SURVEYOR
(M)	= MEASURED
N&D	= NAIL & DISK
(P)	= PLATTED
PC	= POINT OF CURVATURE
PT	= POINT OF TANGENCY
PL	= PROPERTY LINE
P.S.M.	= PROFESSIONAL SURVEYOR & MAPPER
P.R.C.	= POINT OF REVERSE CURVE
P.U.&D.	= PUBLIC UTILITY & DRAINAGE
R	= RADIUS
R/W	= RIGHT-OF-WAY
(TYP.)	= TYPICAL
WF	= WOOD FENCE

SURVEYOR'S NOTES:

- 1) THE BEARING SYSTEM SHOWN HEREON IS BASED ON A ASSUMED BEARING OF WEST, ALONG THE NORTH RIGHT-OF-WAY LINE OF SECOND AVE.
- 2) AS PER FLOOD INSURANCE RATE MAP NO.12009C 060B H, INDEX DATED 01-29-2021, THE ABOVE DESCRIBED PROPERTY LIES IN ZONE X.
- 3) THIS SURVEY WAS PREPARED FROM TITLE INFORMATION PROVIDED TO THE SURVEYOR. THERE MAY BE ADDITIONAL RESTRICTIONS OR EASEMENTS THAT AFFECT THE PROPERTY.
- 4) UNDERGROUND UTILITIES AND FOUNDATIONS HAVE NOT BEEN SHOWN.
- 5) LANDS SHOWN HERON WERE NOT ABSTRACTED FOR RIGHT-OF-WAY, RESERVATION, AGREEMENT AND/OR EASEMENTS OF RECORD, SUCH INFORMATION IF DESIRED, SHOULD BE OBTAINED AND CONFIRMED BY OTHER THROUGH APPROPRIATE TITLE VERIFICATION.
- 6) NOT VALID WITHOUT A SIGNATURE AND THE ORIGINAL SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

***PRECISION***  
***LAND SURVEYING, INC.***  
2900 LAKE WASHINGTON ROAD, SUITE 1  
MELBOURNE, FLORIDA 32935  
PHONE: 321-259-4600  
MAIL: PRECISIONSURVEYING1993@GMAIL.COM

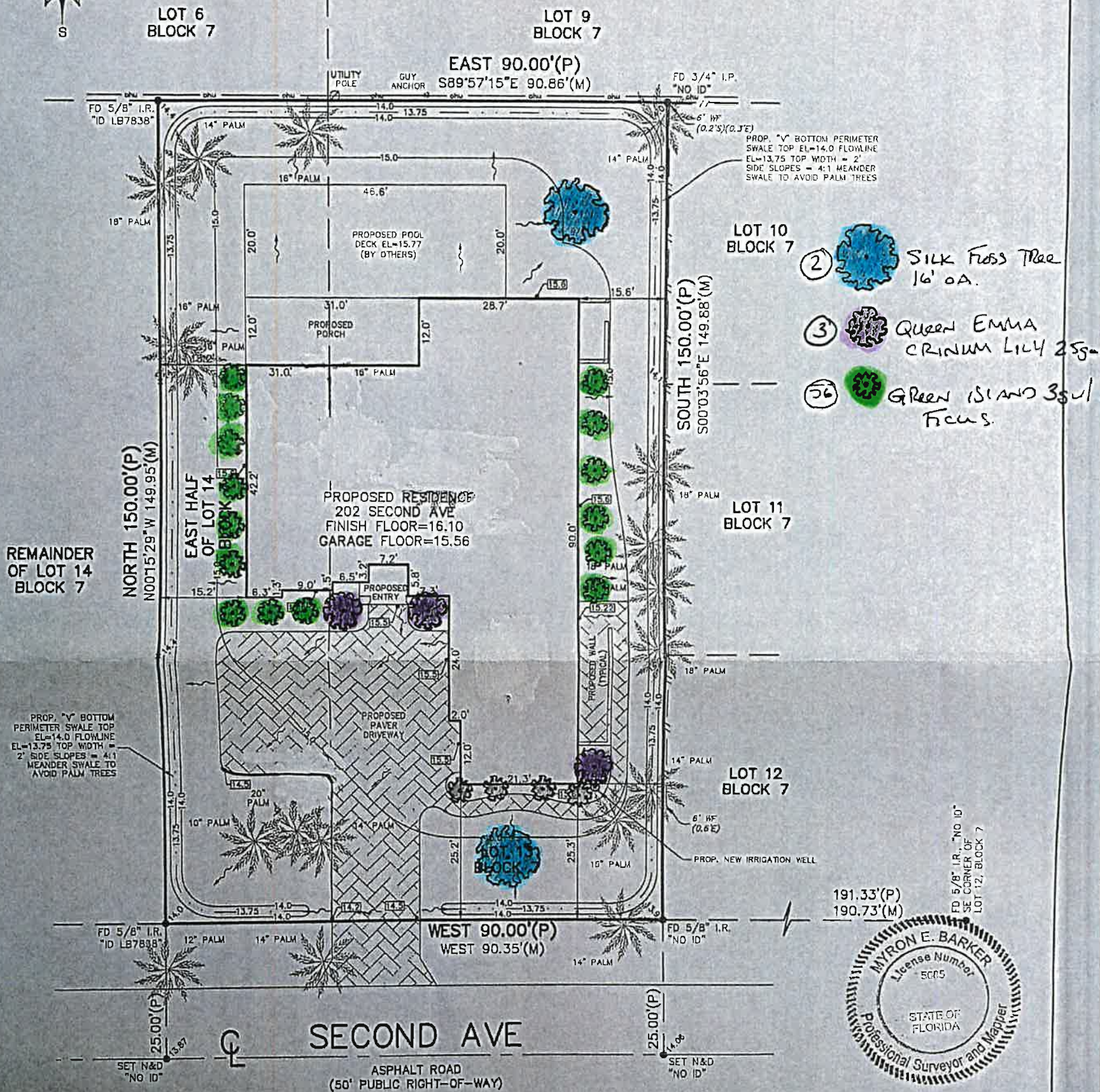
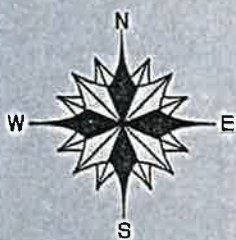
TYPE OF SURVEY:  
BOUNDARY SURVEY

PROJECT: **22-1904**  
SCALE: 1" = 20'  
DATE: 07/01/2022  
CAD FILE: 22-1904.DWG  
F.B. NUMBER:  
REVISION:  
08/03/22-PLOT PLAN

CERTIFIED TO:  
ROLANDO AND ELLEN ESTRUGO  
US BANK N.A.  
CHICAGO TITLE INSURANCE COMPANY  
AURORA TITLE  
JOYAL ENTERPRISES, INC.



BOUNDARY SURVEY OF:  
LOT 13, AND EAST HALF OF LOT 14, BLOCK 7 AS SHOWN ON THE PLAT OF WILCOX MELBOURNE BEACH  
AS RECORDED IN PLAT BOOK 1, PAGE 58 OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.



- ② Silk Floss Tree 16' o.a.
- ③ Queen Emma CRINUM Lily 25'
- ④ Green Island 35' / Ficus



NOTE  
ELEVATIONS BASED ON NAVD83  
PROPOSED DRAINAGE ELEVATION AND  
BERMS DESIGNED BY OTHERS

LEGEND	
(AKA)	ALSO KNOWN AS
BM	BENCHMARK
C	CENTERLINE
CBS	CONCRETE BLOCK STRUCTURE
CLF	CHAIN LINK FENCE
CH	CHORD
CM	CONCRETE MONUMENT
CONC.	CONCRETE
COR.	CORNER
(D)	DEEDED
DEL	DELTA
ID	IDENTIFICATION
I.P.	IRON PIPE
I.R.	IRON ROD
L	LENGTH
LB	LICENSE BUSINESS
LS	LICENSE SURVEYOR
(M)	MEASURED
N&D	NAIL & DISK
PD	PLATED
PC	POINT OF CURVATURE
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PL	PROPERTY LINE
P.S.M.	PROFESSIONAL SURVEYOR & MAPPER
PRC	POINT OF REVERSE CURVE
P.U.&D.	PUBLIC UTILITY & DRAINAGE
R	RADIUS
R/W	RIGHT-OF-WAY
(TYP.)	TYPICAL
WF	WOOD FENCE

SURVEYOR'S NOTES:

- 1) THE BEARING SYSTEM SHOWN HEREON IS BASED ON A ASSUMED BEARING OF WEST, ALONG THE NORTH RIGHT-OF-WAY LINE OF SECOND AVE.
- 2) AS PER FLOOD INSURANCE RATE MAP NO.12009C 0508 H, INDEX DATED 01-29-2021, THE ABOVE DESCRIBED PROPERTY LIES IN ZONE X.
- 3) THIS SURVEY WAS PREPARED FROM TITLE INFORMATION PROVIDED TO THE SURVEYOR. THERE MAY BE ADDITIONAL RESTRICTIONS OR EASEMENTS THAT AFFECT THE PROPERTY.
- 4) UNDERGROUND UTILITIES AND FOUNDATIONS HAVE NOT BEEN SHOWN.
- 5) LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHT-OF-WAY, RESERVATION, AGREEMENT AND/OR EASEMENTS OF RECORD, SUCH INFORMATION IF DESIRED, SHOULD BE OBTAINED AND CONFIRMED BY OTHER THROUGH APPROPRIATE TITLE VERIFICATION.
- 6) NOT VALID WITHOUT A SIGNATURE AND THE ORIGINAL SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

**PRECISION**  
**LAND SURVEYING, INC.**  
2900 LAKE WASHINGTON ROAD, SUITE 1  
MELBOURNE, FLORIDA 32935  
PHONE: 321-259-4800  
EMAIL: PRECISIONSURVEYING1993@GMAIL.COM

CERTIFIED TO:  
ROLANDO AND ELLEN ESTRUGO  
US BANK N.A.  
CHICAGO TITLE INSURANCE COMPANY  
AURORA TITLE  
JOYAL ENTERPRISES, INC.

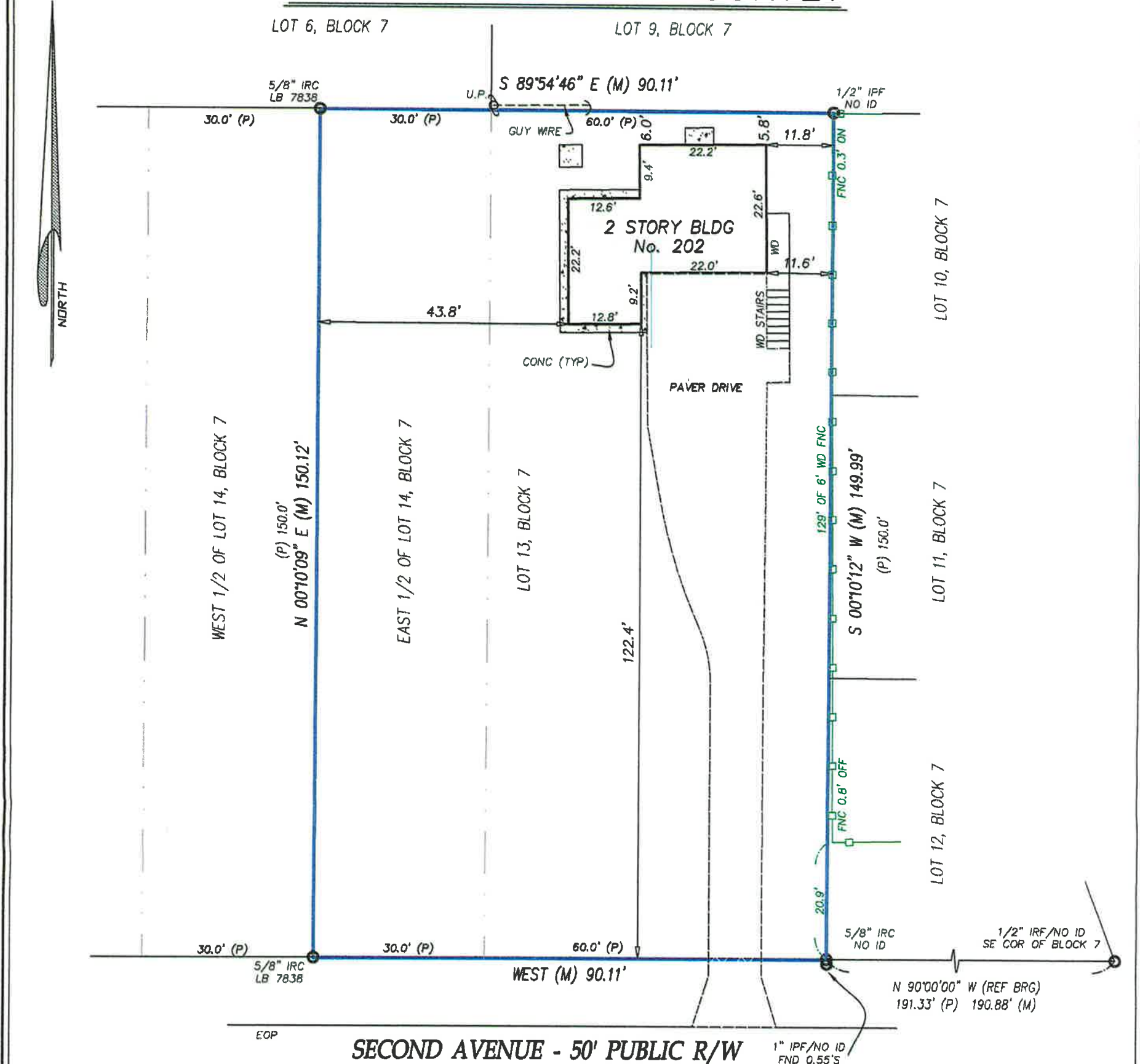
TYPE OF SURVEY:  
**BOUNDARY SURVEY**  
PROJECT:  
**22-1904**  
SCALE: **1" = 20'**  
DATE: **07/01/2022**  
CAD FILE: **22-1904.DWG**  
F.B. NUMBER:  
REVISION:  
**08/03/22-PLOT PLAN**

PROFESSIONAL SURVEYOR & MAPPER IN RESPONSIBLE CHARGE  
MYRON E. BARKER - FLORIDA CERTIFICATE NO. 5085  
CERTIFICATE OF AUTHORIZATION LB. 6586

*Myron E. Barker*



# MAP OF BOUNDARY SURVEY



### LEGEND

A/C - AIR CONDITIONER  
BLDG - BUILDING  
BLK - BLOCK  
BRG - BEARING  
(C) - CALCULATED  
CATV - CABLE TELEVISION  
C/L - CENTERLINE  
CLF - CHAIN LINK FENCE  
CMF - CONCRETE MONUMENT FOUND  
CONC - CONCRETE  
COR - CORNER  
ELEC - ELECTRIC  
ELEV - ELEVATION  
ENC - ENCROACHMENT  
EOP - EDGE OF PAVEMENT  
ESMT - EASEMENT  
FB - FIELD BOOK

FEMA = FEDERAL EMERGENCY MANAGEMENT AGENCY  
FNC = FENCE  
FND = FOUND  
ID = IDENTIFICATION  
IPF = IRON PIPE FOUND  
IRC = IRON ROD & CAP FOUND  
IRF = IRON ROD FOUND  
IRS = 5/8" IRON ROD SET "LB 7838"  
LB = LICENSED BUSINESS NUMBER  
LS = (RLS) or (PLS) REGISTERED OR  
PROFESSIONAL LAND SURVEYOR  
(M) = MEASURED  
NDF = NAIL & DISK FOUND  
NDS = 1 1/4" NAIL & DISK SET "LB 7838"  
No. = NUMBER  
O/H = OVERHEAD  
(P) = PLAT  
PB = PLAT BOOK

```

PLS = PROFESSIONAL LAND SURVEYOR
PRM = PERMANENT REFERENCE MONUMENT
PSM = PROFESSIONAL SURVEYOR AND MAPPER
REF = REFERENCE
RNG = RANGE
R/W = RIGHT OF WAY
SEC = SECTION
SFHA = SPECIAL FLOOD HAZARD AREAS
TEL = TELEPHONE RISER
TWP = TOWNSHIP
TYP = TYPICAL
UP = UTILITY POLE
WD = WOOD
WIT-COR = 5/8" IRON ROD SET WITH CAP "WITNESS LB 7838"
WM = WATER METER
XCF = CROSS CUT FOUND

```

**LEGAL DESCRIPTION:**

LOT 13 AND THE EAST ONE-HALF OF LOT 14, BLOCK 7,  
WILCOX PLAT OF MELBOURNE BEACH, ACCORDING TO THE  
PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 58,  
PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA

BOUNDARY	DATE: 2/22/22	JOB No. 41880
		FB 21-1-69
		WILCOX/202SECOND

**CERTIFIED TO:**

ROLANDO ESTRUGO AND ELEN ESTRUJO  
SEACOAST NATIONAL BANK  
STATE TITLE PARTNERS, LLP  
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

**CERTIFICATION:**

I HEREBY CERTIFY: THAT THE ATTACHED SURVEY WAS DONE UNDER MY DIRECTION AND MEETS THE STANDARDS AND PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER SJ-17 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 FLORIDA STATUTES.

DATE: 2/23/21

JOEL A. SEYMOUR PROFESSIONAL LAND SURVEYOR AND MAPPER  
STATE OF FLORIDA No. LS 6133

DRAWN BY: JAS/JIL

SCALE 1 INCH = 20 FEET

**NOTES:**

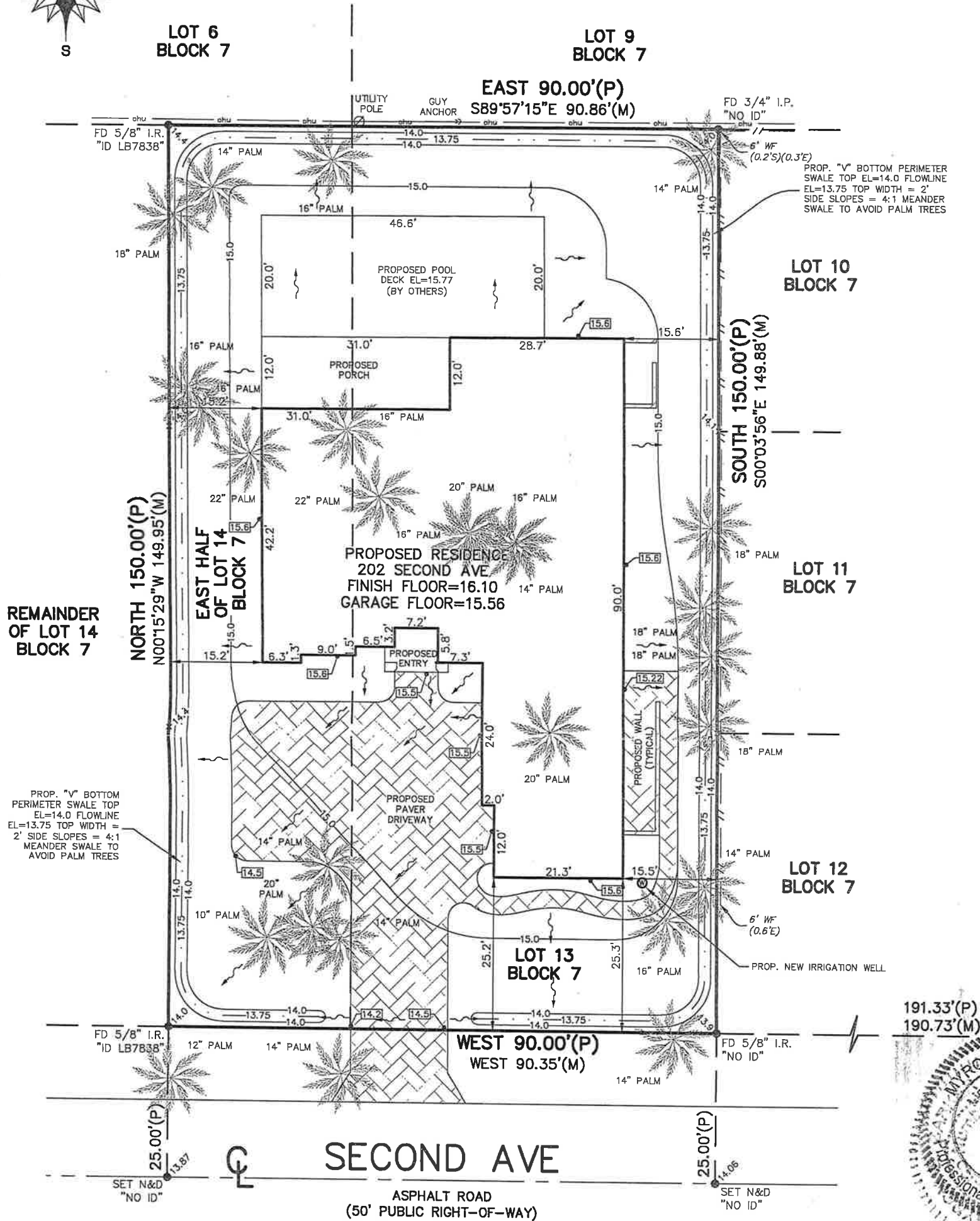
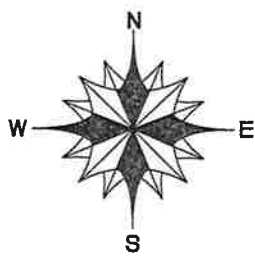
1. BEARINGS BASED ON THE S LINE OF BLK 7 BEING WEST AS PER ASSUMED DATUM (SEE SKETCH)
2. ELEVATIONS BASED ON (NOT APPLICABLE)
3. FLOOD ZONE "X", MAP No. 12009C0808H COMMUNITY No. 125128, JANUARY 29, 2021, FLOOD ZONE INFORMATION DEPICTED HEREON IS APPROXIMATE. FEMA RETAINS SOLE AUTHORITY REGARDING BOUNDARY AND EXTENT OF SFHA.
4. HORIZONTAL CLOSURE MEETS OR EXCEEDS THE ACCURACY REQUIREMENTS FOR SUBURBAN LAND AS PER FLORIDA STATUTE SJ-17-6.003
5. BEARINGS, DISTANCES OR ANGLES SHOWN ARE THE SAME AS PLAT, DEED OR RECORD SHOWS HEREON.
6. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER, ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY, IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY.
7. THE SURVEYOR HAS NOT LOCATED NOR ATTEMPTED TO LOCATE ANY UNDERGROUND UTILITIES, FOUNDATIONS, OR STRUCTURES OTHER THAN THOSE SHOWN HEREON.
8. ONLY BOUNDARY CORNER MONUMENTS AS SHOWN HEREON ARE TO BE USED FOR THE LOCATION AND CONSTRUCTION OF IMPROVEMENTS.
9. UNLESS OTHERWISE INDICATED THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE SEARCH OR ATTORNEY'S TITLE OPINION.

**Kane Surveying, Inc.**

FLORIDA LICENSED BUSINESS No. LB 7838  
505 DISTRIBUTION DRIVE  
MELBOURNE, FLORIDA 32904  
(321) 676-0427 FAX (321) 984-1448



BOUNDARY SURVEY OF:  
LOT 13, AND EAST HALF OF LOT 14, BLOCK 7 AS SHOWN ON THE PLAT OF WILCOX MELBOURNE BEACH  
AS RECORDED IN PLAT BOOK 1, PAGE 58 OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.



NOTE  
ELEVATIONS BASED ON NAVD88  
PROPOSED DRAINAGE, ELEVATION AND  
BERMS DESIGNED BY OTHERS

*Myron E. Barker*  
PROFESSIONAL SURVEYOR & MAPPER IN RESPONSIBLE CHARGE  
MYRON E. BARKER - FLORIDA CERTIFICATE NO. 5085  
CERTIFICATE OF AUTHORIZATION LB. 6586

LEGEND	
(AKA)	= ALSO KNOWN AS
BM	= BENCHMARK
C	= CENTERLINE
CBS	= CONCRETE BLOCK STRUCTURE
CLF	= CHAIN LINK FENCE
CH	= CHORD
CM	= CONCRETE MONUMENT
CONC.	= CONCRETE
COR.	= CORNER
(D)	= DEEDED
DEL	= DELTA
FD	= FOUND
ID	= IDENTIFICATION
I.P.	= IRON PIPE
I.R.	= IRON ROD
L	= LENGTH
LB	= LICENSE BUSINESS
LS	= LICENSE SURVEYOR
(M)	= MEASURED
N&D	= NAIL & DISK
(P)	= PLATTED
PC	= POINT OF CURVATURE
PT	= POINT OF TANGENCY
PL	= PROPERTY LINE
P.S.M.	= PROFESSIONAL SURVEYOR & MAPPER
PRC	= POINT OF REVERSE CURVE
P.U.&D.	= PUBLIC UTILITY & DRAINAGE
R	= RADIUS
R/W	= RIGHT-OF-WAY
(TYP.)	= TYPICAL
WF	= WOOD FENCE

SURVEYOR'S NOTES:

- 1) THE BEARING SYSTEM SHOWN HEREON IS BASED ON A ASSUMED BEARING OF WEST, ALONG THE NORTH RIGHT-OF-WAY LINE OF SECOND AVE.
- 2) AS PER FLOOD INSURANCE RATE MAP NO.12009C 0608 H, INDEX DATED 01-29-2021, THE ABOVE DESCRIBED PROPERTY LIES IN ZONE X.
- 3) THIS SURVEY WAS PREPARED FROM TITLE INFORMATION PROVIDED TO THE SURVEYOR. THERE MAY BE ADDITIONAL RESTRICTIONS OR EASEMENTS THAT AFFECT THE PROPERTY.
- 4) UNDERGROUND UTILITIES AND FOUNDATIONS HAVE NOT BEEN SHOWN.
- 5) LANDS SHOWN HERON WERE NOT ABSTRACTED FOR RIGHT-OF-WAY, RESERVATION, AGREEMENT AND/OR EASEMENTS OF RECORD. SUCH INFORMATION IF DESIRED, SHOULD BE OBTAINED AND CONFIRMED BY OTHER THROUGH APPROPRIATE TITLE VERIFICATION.
- 6) NOT VALID WITHOUT A SIGNATURE AND THE ORIGINAL SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

**PRECISION**  
**LAND SURVEYING, INC.**  
2900 LAKE WASHINGTON ROAD, SUITE 1  
MELBOURNE, FLORIDA 32935  
PHONE: 321-259-4600  
EMAIL: PRECISIONSURVEYING1993@GMAIL.COM

CERTIFIED TO:  
ROLANDO AND ELLEN ESTRUGO  
US BANK N.A.  
CHICAGO TITLE INSURANCE COMPANY  
AURORA TITLE  
JOYAL ENTERPRISES, INC.

TYPE OF SURVEY:  
**BOUNDARY SURVEY**

PROJECT:  
**22-1904**

SCALE: **1" = 20'**

DATE: **07/01/2022**

CAD FILE: **22-1904.DWG**

F.B. NUMBER:

REVISION:

**08/03/22-PLOT PLAN**



1. THE STRUCTURE HAS BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE 2020 FLOODING BUILDING CODE SEVENTH ADDITION.
2. ALL DIMENSIONS ARE BASED ON FINISHED WALL THICKNESSES.
3. ALL CEILING HEIGHTS ARE TO BE AS NOTED.
4. ALL WINDOW HANGER HEIGHTS ARE TO BE 6" - 0" FLAT UNLESS NOTED.
5. ALL WINDOW HANGER HEIGHTS ARE TO BE 6" - 0" FLAT UNLESS NOTED.
6. ALL INTERIOR WALLS ARE TO BE 4" WOOD FRAME UNLESS NOTED.
7. 1" x 4" WOOD WALLS TO BE USED FOR C.R.S. WALLS.
8. 2,000 P.S.F. MIN. SOIL BEARING CAPACITY.
9. NO ROOF PITCHES FROM OTHER ELEVATION, IF POSSIBLE.
10. PITCH OF WOOD SPRAUS UNLESS NOTED.
11. ALL ANGLES ARE 45° UNLESS NOTED OTHERWISE.
12. PLANTING TO BE DONE IN ACCORDANCE WITH IRRIGATION HEDGES.
13. PROVIDE PREFABRICATORS AS REQUIRED IN R302.1 FLOODING BUILDING CODE (F.B.C.).
14. LENGTH OF DENTED VINYL SHEDS TO COMPLY WITH F.B.C. M1502.4.
15. WOOD SHEDS TO COMPLY WITH F.B.C. M1502.4.
16. NOT ALL EXHAUST FANS UNLESS NOTED. COMPLY WITH F.B.C. M1804.3.
17. USE PLAYWOOD IN WOOD FRAME AREAS.
18. USE MID-RANGE WOOD SHEEDS IN HORIZONTAL BOARD. BLOCK FOR FLOOR TRASHES.
19. ROOF TO COMPLY WITH CODE REQUIREMENTS FOR 30 YEAR LIFE.
20. EXISTENCE: 2888 OR 30' X 30' OR 30' X 30' OR 30' X 30'.
21. 1" x 4" PL. PARALLEL TO HANGER AT 6" O.C.
22. DO NOT INSTALL SHEDS UNLESS NOTED TO BE BASE.
23. SQUARE DETAIL BEARING THROUGHOUT.
24. 1" x 4" PL. SHOWN AT 6" O.C.

STRUCTURAL NOTES:

- [illegible]

ROOF PITCH: 20-27 DEGREES  
160 MPH ULT; 124 NOMINAL ENCLOSED  
EXPOSURE C; MEAN ROOF HEIGHT <30  
ROOF PITCH: 5/12 TO 6/12

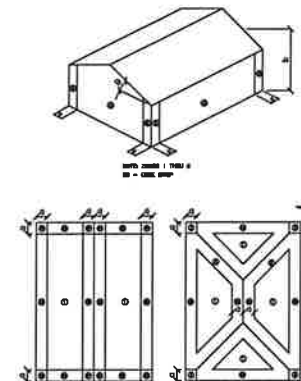
### COMPONENT & CLADDING ROOF WIND PRESSURE (POUNDS PER SQUARE FOOT)

ZONE	EFFECTIVE WIND AREA	POSITIVE	NEGATIVE
1	10	24.3	-45.5
1	20	21.8	-40.3
1	50	17.2	-33.4
1	100	14.0	-28.3
2a, 2r, 3	10	24.3	-62.9
2a, 2r, 3	20	21.8	-56.1
2a, 2r, 3	50	17.2	-47.3
2a, 2r, 3	100	14.0	-40.6

COMPONENT & CLADDING  
WALL WIND PRESSURE  
(POUNDS PER SQUARE FOOT)

ZONE	EFFECTIVE WIND AREA	POSITIVE	NEGATIVE
4	10	34.0	-36.7
4	20	32.4	-35.3
4	50	21.8	-23.8
4	100	30.5	-31.8
4	500	25.3	-20.2
5	20	34.0	-28.3
5	50	32.4	-42.4
5	100	21.8	-36.5
5	500	25.3	-28.3

- A. THE EFFECTIVE WIND AREA SHALL BE EQUAL TO THE SPAN LENGTH MULTIPLIED BY AN EFFECTIVE WIDTH. THIS WIDTH SHALL BE DETERMINED BY THE FOLLOWING:  $1/3$  OF THE SPAN LENGTH FOR PLATE FASTENERS; THE EFFECTIVE WIND AREA SHALL NOT BE GREATER THAN THE AREA THAT IS TRIBUTARY TO AN INDIVIDUAL FASTENER.
- B. FOR EFFECTIVE AREAS BETWEEN THOSE GIVEN, THE LOAD SHALL BE PROPORTIONALLY ADJUSTED TO THE EFFECTIVE WIND AREA. THE AREA SHALL BE USED.
- C. THE WIND LOAD SHALL BE ADJUSTED FOR HEIGHT AND EXPOSURE BY MULTIPLYING THE ADJUSTMENT COEFFICIENT IN TABLE 8001-2(1).
- D. PLUS & MINUS SIGNS SHOW PRESSURES ACTING TOWARD & AWAY FROM THE SURFACE.
- E. TABLE VALUES HAVE BEEN MULTIPLIED BY 0.8 TO CONVERT COMPONENTS OF CLADDING PRESSURE.
- F. TABLE 1 ARE PERMITTED TO BE DETERMINED IN ACCORDANCE WITH ASCE 7.
- G. THE RATIO OF THE BUILDING MEAN ROOF HEIGHT TO LENGTH OF SPAN IS LESS THAN 0.8. UPLIFT LOADS ARE PERMITTED TO BE DETERMINED IN ACCORDANCE WITH ASCE 7.



DESIGN CRITERIA		
1. ULTIMATE WIND SPEED		100
2. NOMINAL WIND SPEED		124
3. RISK FACTOR		0
4. WIND EXPOSURE		C
5. CONDITION (IMPACT GLASS)		EXPOS
6. GOLF POS. +18	NEED	-18
ROOF POS. +15.03	NEED	-50.20
ZONE 3		WORSE CASE
7. DISTANCE "0" IS DEFINED AS 4.0'		

**DESIGNER:**  
JEFFREY K. JOSEPH  
JOYAL HOMES  
EXECUTIVE DESIGNER/SALES CONSULTANT  
2800 AURORA RD, SUITE A  
MELBOURNE, FL 32935

EDWARD F. SHINSKIE, P.E.  
4707 WILD TURKEY ROAD  
MIMS, FLORIDA 32754  
P.E. #47515  
(321)863-3223

I CERTIFY THAT I HAVE REVIEWED THESE PLANS AND THE PLANS CONFORM TO THE 2020 FLORIDA BUILDING CODE SEVENTH EDITION WITH THE DESIGNED CRITERIA STATED.

**JOYAL**   
**CONSTRUCTION**  
CUSTOM HOME BUILDER

DATE: 5/31/22  
FILE NAME: FLE

PAGE 1 OF 7

**WINDOW SCHEDULE:**

A	6-2x2-0	COL RECT TRANS
B	4-0x2-0	COL RECT TRANS
C	2-0x2-0	COL SQ TRANS
D	3-0x6-0	COL CASEMENT
E	3-0x6-0	COL FIX
F	4080	COL HSI
G	3-0x3-0	COL CASEMENT
H	3-0x5-0	FIX



DOOR SCHEDULE:

- ① 8-0x5-0 FR DRS
- ② 12-0x10-0 COL GSD
- ③ 6-0x5-0 COL GSD
- ④ 2-8x5-0 DR
- ⑤ 8-0x5-0 OHGD
- ⑥ 18-0x5-0 OHGD

FLOOR PLAN  
SCALE: 1/4" = 1'-0"

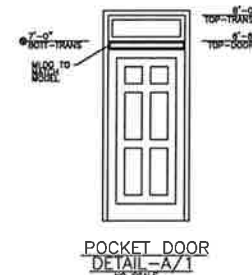
SQUARE FOOTAGE BREAKDOWN:	
LIVING AREA:	2860 S.F.
GARAGE:	738 S.F.
ENTRY:	84 S.F.
COVERED PORCH:	378 S.F.
TOTAL AREA:	4040 S.F.

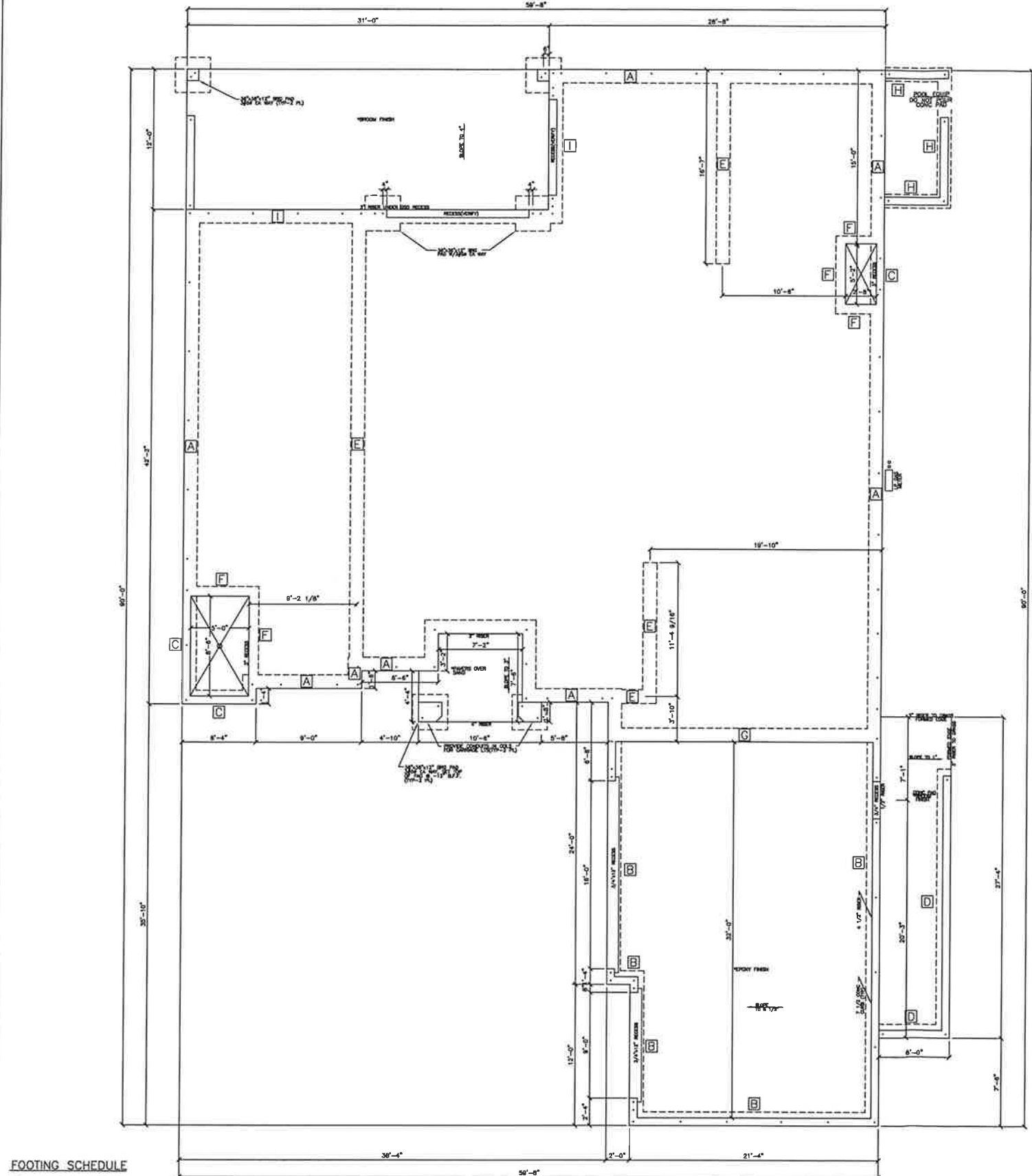
C.B.S. WALL LEGEND ALL MASONRY WALLS ARE SHEAR WALLS

	18 COURSES (ENTRY; OFFICE; REAR OF M. BEDROOM; DINING RM; & GREAT RM)
	15 COURSES (REMAIN AREAS)

**WOOD FRAME WALL LEGEND**

	WOOD FRAME NON-BEARING WALL
	WOOD FRAME BEARING WALL



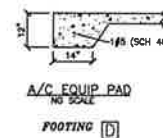
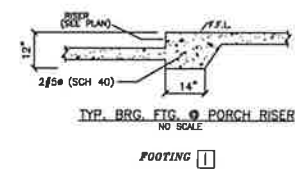
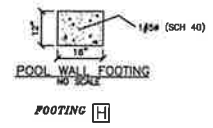
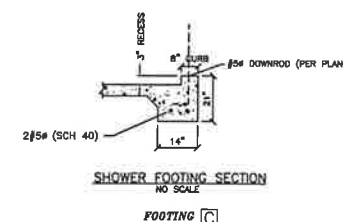
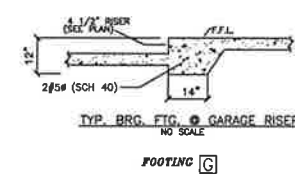
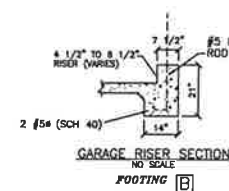
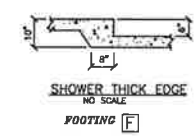
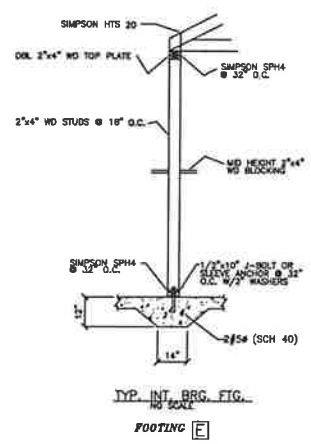
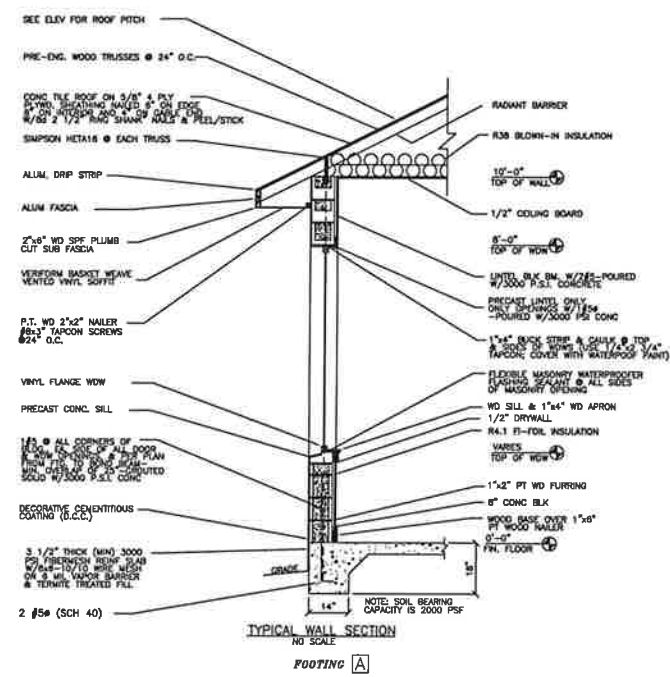


## FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

- NOTES:  
1) SOIL WILL BE COMPACTED TO 95% DENSITY REQUIREMENT  
2) TERMITE SPRAY: CHEMICAL BARRIER METHOD SHALL BE COMPLIANCE IN ACCORDANCE WITH F.B.R.C. 318.

FOOTING SCHEDULE	
A	14"x18" W/2#5@
B	14"x21" W/2#5@
C	14"x21" W/2#5@
D	14"x12" W/1#5@
E	14"x12" W/2#5@
F	10"x10"
G	14"x12" W/2#5@
H	16"x12" W/1#5@
I	14"x12" W/2#5@



CONCRETE PROTECTION FOR REINFORCEMENT CAST-IN-PLACE	CONCRETE COVER, IN.
1. CONCRETE CAST AGAINST & PERMANENTLY EXPOSED TO EARTH	3"
2. CONCRETE EXPOSED TO EARTH OR WEATHER: #5 BAR, W31 OR D31 WIRE, AND SMALLER	2" 1 1/2"
3. CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR IN CONTACT WITH GROUND: SLABS, WALLS, & JOISTS: #14 & #18 BARS #11 BAR AND SMALLER BEAMS & COLUMNS: PRIMARY REINFORCEMENT, TIES, STIRRUPS, & SPIRALS	2" 1 1/2" 3/4" 1 1/2"

**MISSED VERTICAL REBAR**

1. DRILL A 13/16"x6" HOLE INTO THE FOOTING AT THE DOWEL LOCATION.
2. CLEAR OUT DUST & FRAGMENTS.
3. INSERT EPOXY IN HOLE.
4. DRIVE A 32" #5 REBAR DOWEL TO THE BOTTOM OF THE HOLE.
5. ALLOW EPOXY TO CURE UNDISTURBED FOR A MINIMUM OF ONE (1) HOUR.

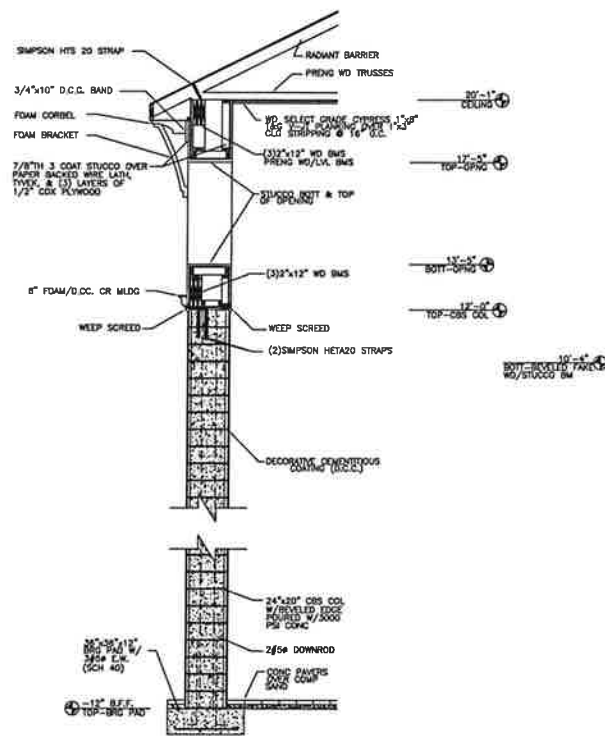
EDWARD F. SHINSKIE, P.E.  
4707 WILD TURKEY ROAD  
MIMS, FLORIDA 32754  
P.E. #47515  
(321)863-3223

I CERTIFY THAT I HAVE REVIEWED THESE PLANS AND THE PLANS CONFORM TO THE 2020 FLORIDA BUILDING CODE SEVENTH EDITION WITH THE DESIGNED CRITERIA STATED.

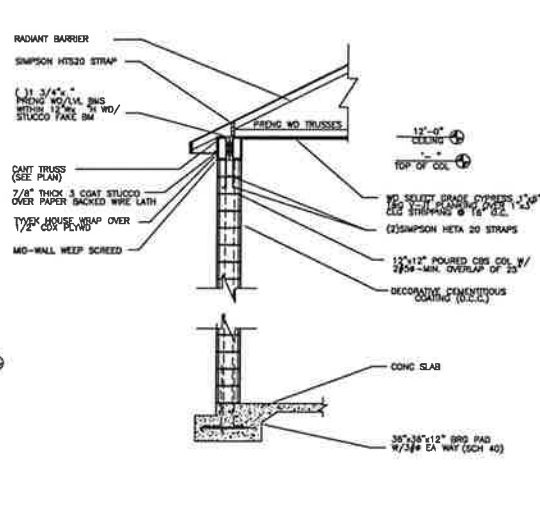
**JOYAL**   
**CONSTRUCTION**  
**CUSTOM HOME BUILDER**

DATE: 6/1/22  
FILE NAME: FOUND

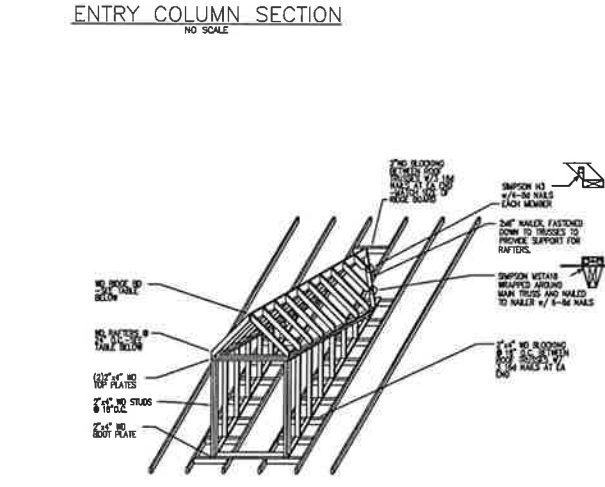




ENTRY COLUMN SECTION  
NO SCALE



COV. PORCH COLUMN SECTION  
NO SCALE

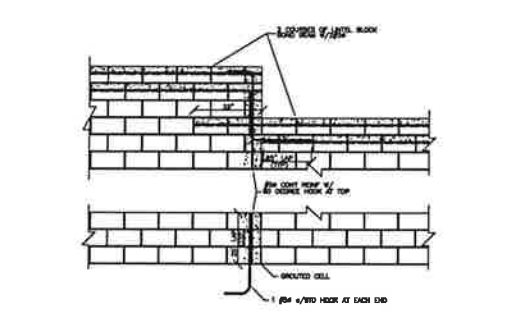


KNEE WALL/VALLEY BEHIND RAISED ROOF AREAS  
NO SCALE

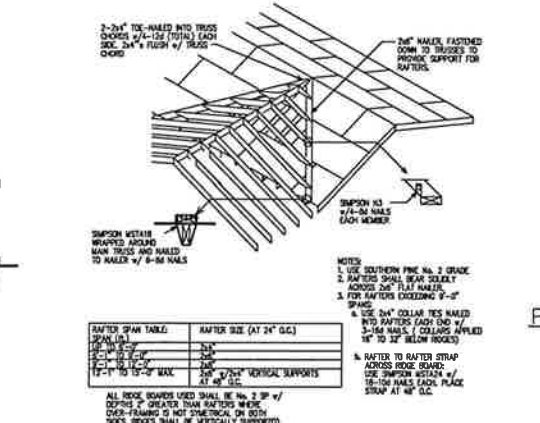
RAFTER SPAN TABLE

RAFTER SIZE (AT 24" O.C.)	SPAN (FT.)
2x4	12
2x6	16
2x8	20
2x10	24
2x12	28

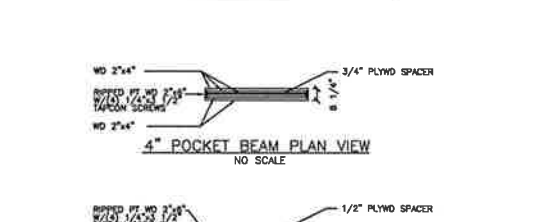
NOTES:  
1. USE SOUTHERN PINE No. 2 GRADE  
2. RAFTERS SHALL BEAR SOLELY ON THE SUPPORTS  
3. FOR RAFTERS EXCEEDING 9'-0" SPAN, USE 3/4" COLLAR TIES NAILED TO RAFTERS AT 48" O.C.  
4. RAFTERS TO Rafter STRAP SHALL BE NAILED TO Rafter STRAP AT 48" O.C.  
5. RAFTERS TO Rafter STRAP SHALL BE NAILED TO Rafter STRAP AT 48" O.C.  
6. RAFTERS TO Rafter STRAP SHALL BE NAILED TO Rafter STRAP AT 48" O.C.



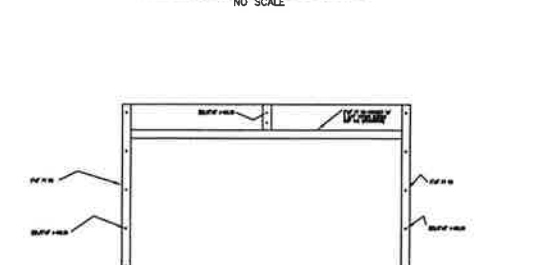
STEP IN MASONRY BOND BEAM DETAIL  
NO SCALE



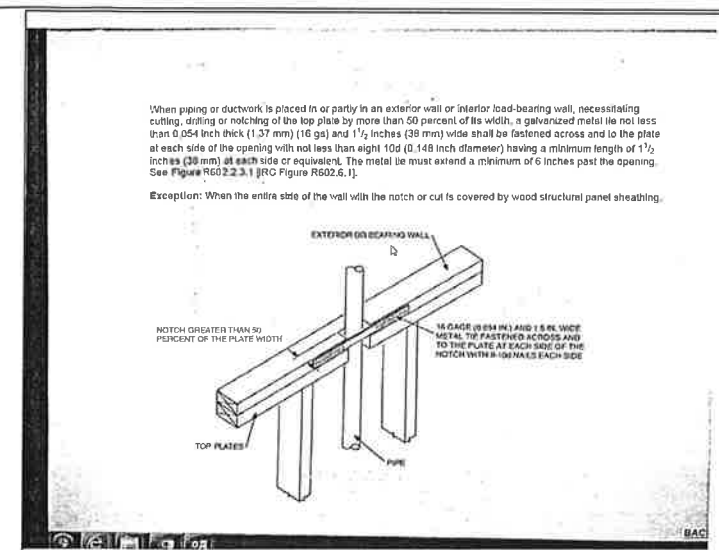
VALLEY FRAMING DETAIL  
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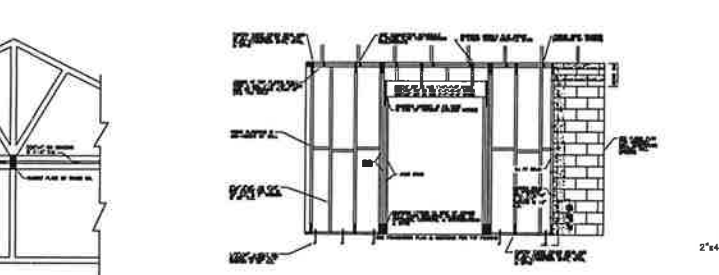
4" POCKET BEAM SIDE VIEW  
NO SCALE



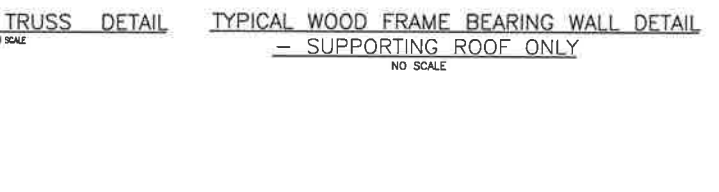
GARAGE GOAL POST DETAIL  
NO SCALE



STRAP DETAIL-BEARING WALL  
NO SCALE



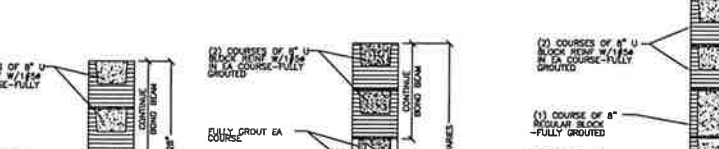
PIGGY BACK TRUSS DETAIL  
NO SCALE



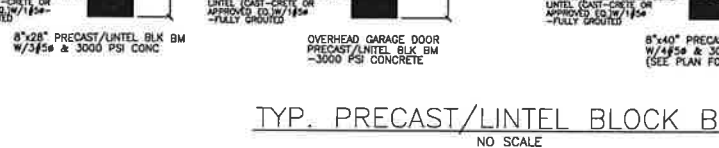
TYPICAL WOOD FRAME BEARING WALL DETAIL - SUPPORTING ROOF ONLY  
NO SCALE



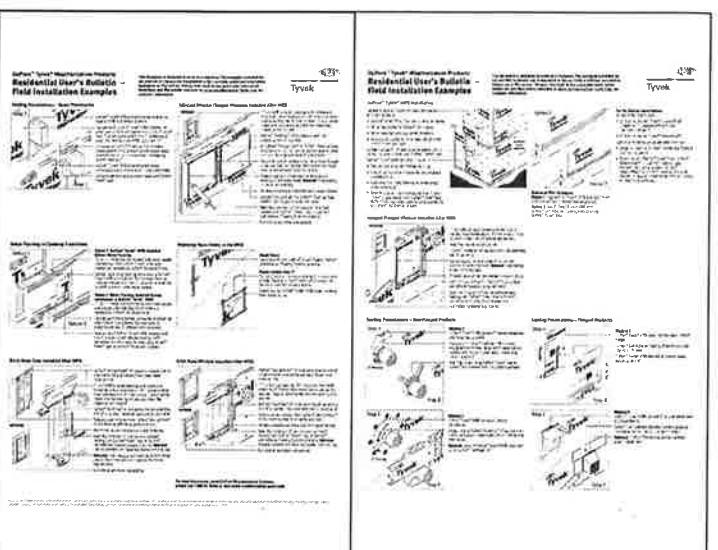
8" PRECAST/INTEL BLK BM W/ 1/2" x 3000 PSI CONC



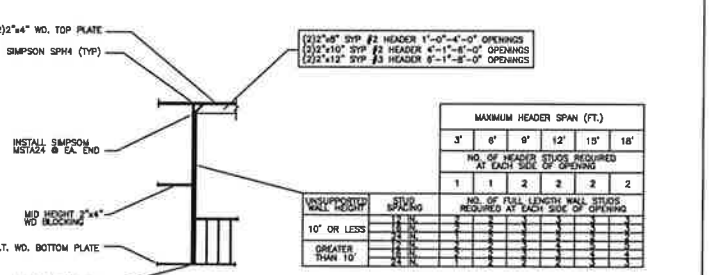
8" x 16" PRECAST/INTEL BLK BM W/ 2/2" x 3000 PSI CONC



8" x 20" PRECAST/INTEL BLK BM W/ 2/2" x 3000 PSI CONC



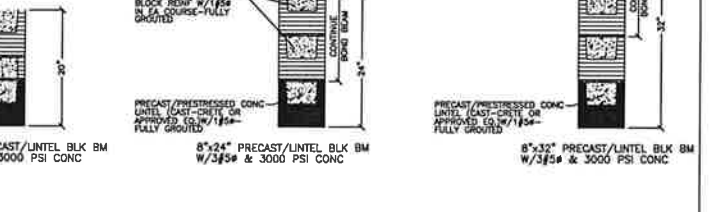
TYVEK DETAILS  
NO SCALE



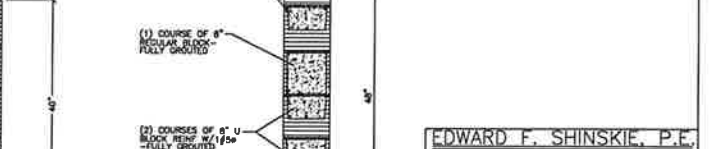
HEADER & JACK DETAIL  
NO SCALE

MAXIMUM HEADER SPAN (FT.)

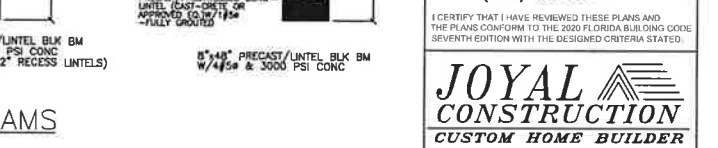
NO. OF FULL LENGTH WALL STUDS REQUIRED AT EACH SIDE OF OPENING	1	2	3	4	5	6
10' OR LESS	1	2	3	4	5	6
GREATER THAN 10'	1	2	3	4	5	6



8" x 24" PRECAST/INTEL BLK BM W/ 2/2" x 3000 PSI CONC



8" x 28" PRECAST/INTEL BLK BM W/ 2/2" x 3000 PSI CONC



8" x 40" PRECAST/INTEL BLK BM W/ 2/2" x 3000 PSI CONC

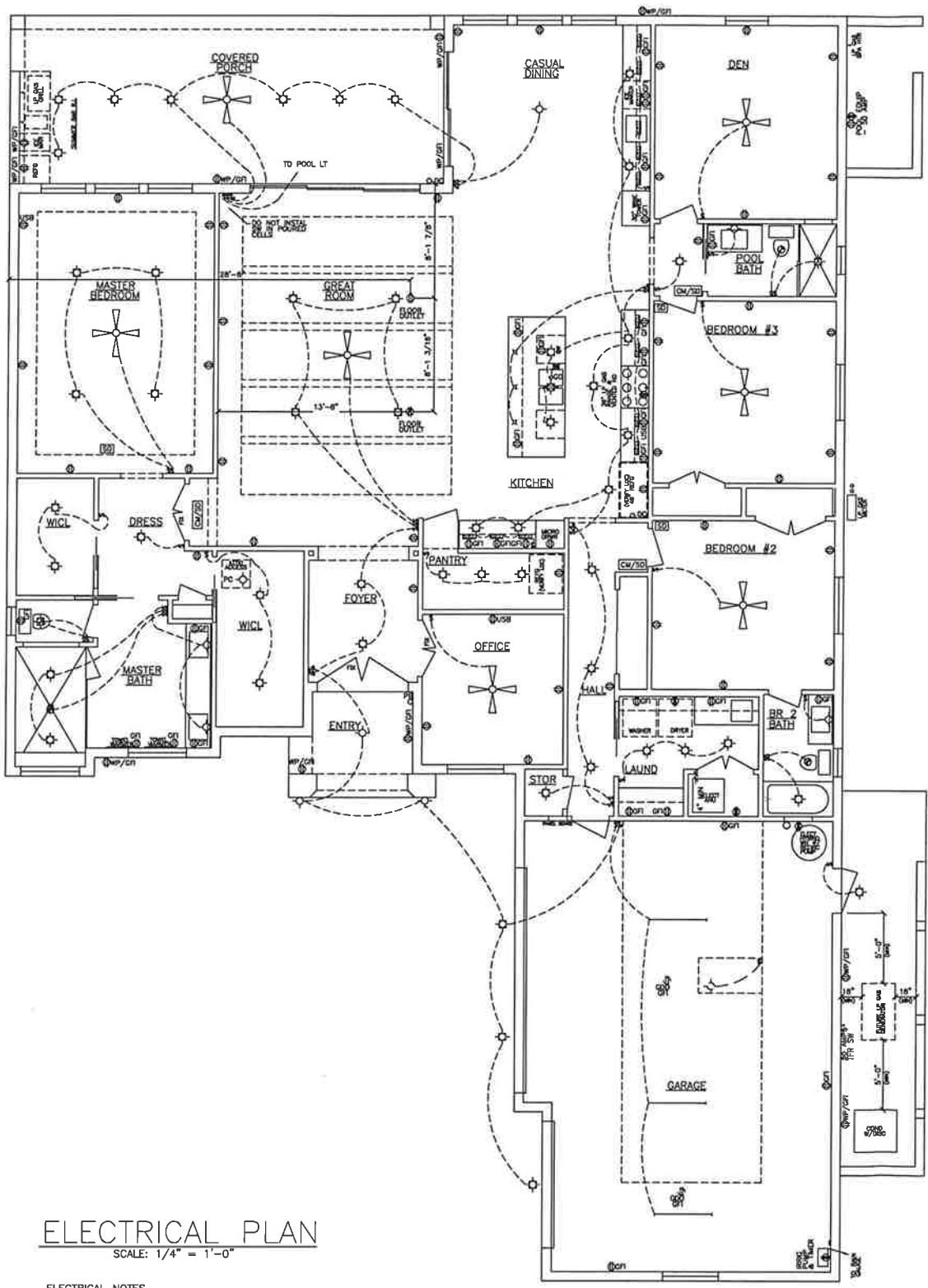
EDWARD F. SHINSKIE, P.E.  
4707 WILD TURKEY ROAD  
MIMS, FLORIDA 32754  
P. 447515  
(321) 863-3223

I CERTIFY THAT I HAVE REVIEWED THESE PLANS AND THE PLANS CONFORM TO THE 2020 FLORIDA BUILDING CODE SEVENTH EDITION WITH THE DESIGNED CRITERIA STATED.

**JOYAL CONSTRUCTION**  
CUSTOM HOME BUILDER

DATE: 8/1/22  
FILE NAME: DETAILS

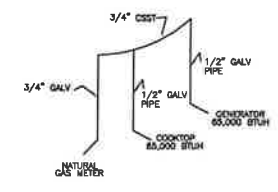
PAGE 4 OF 7



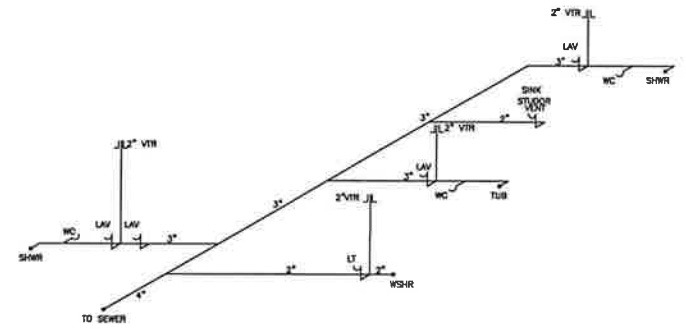
ELECTRICAL PLAN  
SCALE: 1/4" = 1'-0"

- ELECTRICAL NOTES
- 1) ELECTRICAL CODE, SECTION E3401.1 REQUIRES ELECTRICAL SYSTEMS, EQUIPMENT AND COMPONENTS TO COMPLY WITH NFPA 70 NEC 2017.
  - 2) ARC FAULT DETECTORS AS REQ'D BY NEC 2017.
  - 3) HARDWIRED SMOKE DETECTORS W/ BATTERY BACKUP
  - 4) CARBON MONOXIDE DETECTORS WITHIN 10'-0" OF EACH BEDROOM.
  - 5) TAMPER RESISTANT RECEPTACLES AS REQ'D BY NEC 2017 & FBC 107.3.5
  - 6) ALL SYSTEMS GROUNDED PER NEC 250.94.
  - 7) 2017 FBC-R E3902.16: BRANCH CIRCUITS INSTALLED IN KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, DEN, BEDROOMS, SUN ROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY ROOMS, AND SIMILAR AREAS SHALL HAVE AFCI PROTECTION
  - 8) #4 COPPER "UFER" GROUND WIRE TIED TO FOOTING REBAR & STUBBED UNDER FORM IN LOCATION OF ELECT. METER.
  - 9) STRUCTURED WIRING.
  - 10) SECURITY SYSTEM.
  - 11) SOUND SYSTEM.
  - 12) SOLAR PHOTO-VOLTAIC J-BOX ON ROOF.

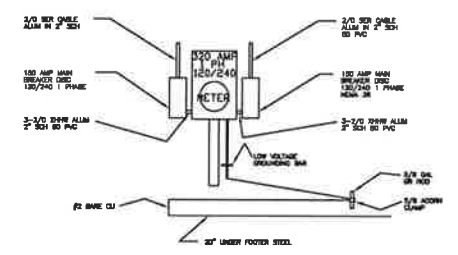
ELECTRICAL SYMBOL LEGEND	
	SINGLE POLE SWITCH
	THREE POLE SWITCH
	FOUR POLE SWITCH
	DIMMER SWITCH
	SINGLE 110V OUTLET
	DUPLEX 110V OUTLET
	SWITCHED 110V OUTLET
	220V OUTLET
	QUAD OUTLET
	GROUND FAULT INTERRUPT OUTLET
	WEATHERPROOF GROUND FAULT INTERRUPT OUTLET
	INDICATES HEIGHT ABOVE FLOOR
	TELEVISION-RS4
	PHONE-CATS
	EXHAUST FAN
	EXHAUST FAN W/LIGHT
	PUSH BUTTON
	DOOR CHIME
	SMOKE DETECTOR
	CARBON MONOXIDE/SMOKE DETECTOR
	HANGING OR CEILING MOUNT LIGHT
	WALL MOUNT LIGHT
	RECESSED LIGHT
	MINI RECESSED LIGHT
	PENDANT LIGHT
	UNDERCABINET LIGHT
	FLUORESCENT LIGHT
	FLOOD LIGHTS
	CEILING FAN
	CEILING FAN W/LIGHT



GAS RISER  
N.T.S.



PLUMBING RISER  
N.T.S.



300 AMP-UNDERGROUND-1 PHASE - RESID. SERVICE

ELECTRICAL SCHEMATIC (N.T.S.)  
NOTE: ALL ELECTRICAL MATERIALS & INSTALLATIONS SHALL COMPLY W/ APPLICABLE PROVISIONS OF THE NATIONAL ELECTRICAL CODE, LOCAL CODES & LOCAL POWER COMPANY.

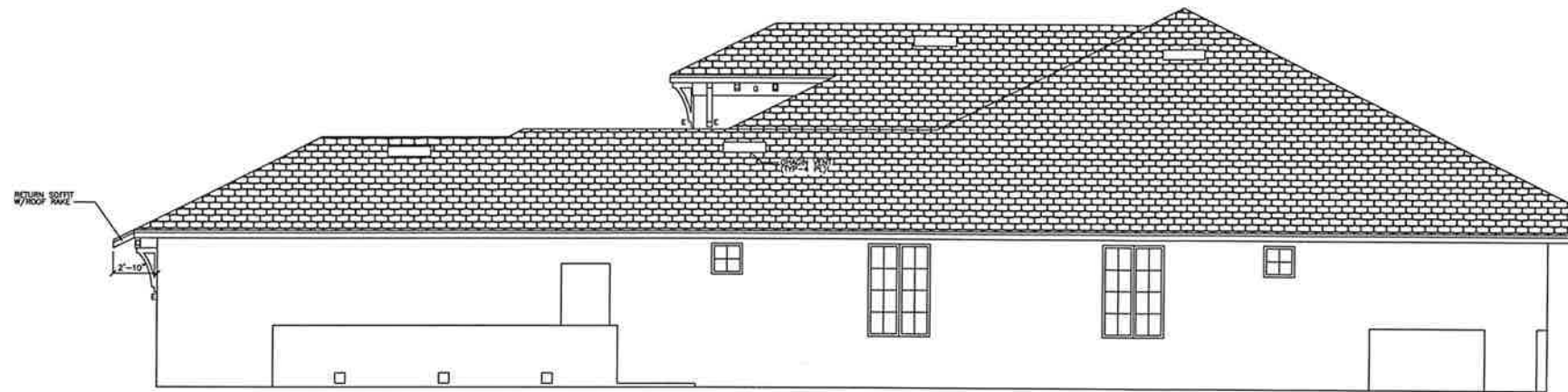
EDWARD F. SHINSKIE, P.E.  
4707 WILD TURKEY ROAD  
MIMS, FLORIDA 32754  
P.E. #47815  
(321)863-3223

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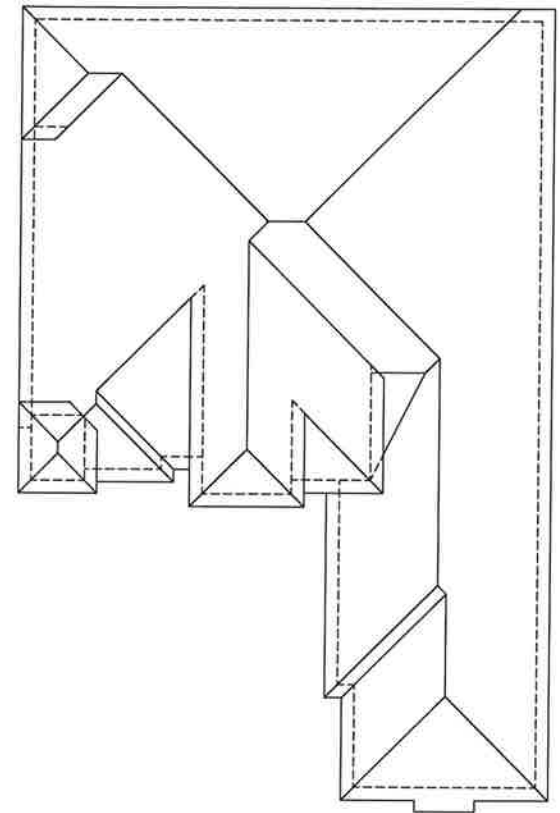
**JOYAL CONSTRUCTION**  
CUSTOM HOME BUILDER

DATE: 6/3/22  
FILE NAME: ELECT

PAGE 5 OF 7



RIGHT ELEVATION  
SCALE: 1/4"=1'-0"

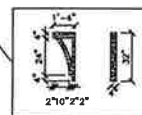
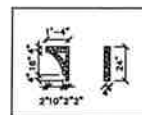


ROOF PLAN  
SCALE: 1/8"=1'-0"



FRONT ELEVATION  
SCALE: 1/4"=1'-0"

- NOTES:
1. STEP SCREED (W.S.) AT HORIZONTAL BLOCK TO FRAME TRANSITIONS.
  2. CONTROL JOINT (C.J.) AT VERTICAL BLOCK TO FRAME TRANSITIONS.
- BOARD & TRIM SCHEDULE:
- A) 1"x18" D.C.C.
  - B) 3" DIA. FOAM HALF CIR.
  - C) 4"x8" DECORATIVE FOAM BEAM
  - D) 4"x8"x18" FOAM CORBEL
  - E) 4"x6"x24" DECORATIVE FOAM BRACKET
  - F) 4"x6"x24" DECORATIVE FOAM BRACKET
  - G) 1"x10" D.C.C.
  - H) 8" FOAM/D.C.C. CROWN MOULD

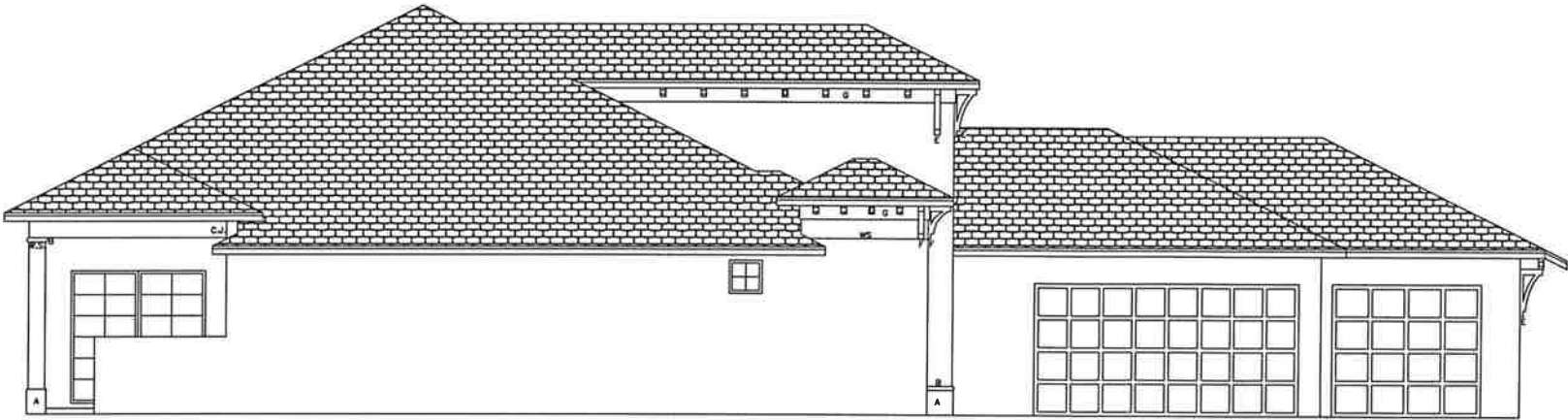


EDWARD F. SHINSKIE, P.E.  
4707 WILD TURKEY ROAD  
MIMS, FLORIDA 32754  
P.E. #47515  
(321)863-3223

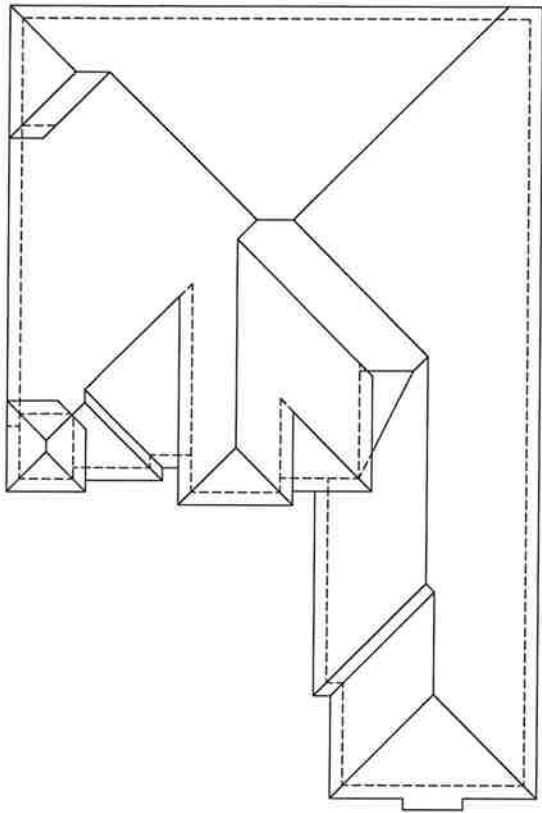
I CERTIFY THAT I HAVE REVIEWED THESE PLANS AND THE PLANS CONFORM TO THE 2020 FLORIDA BUILDING CODE SEVENTH EDITION WITH THE DESIGNED CRITERIA STATED.

**JOYAL**  
**CONSTRUCTION**  
CUSTOM HOME BUILDER

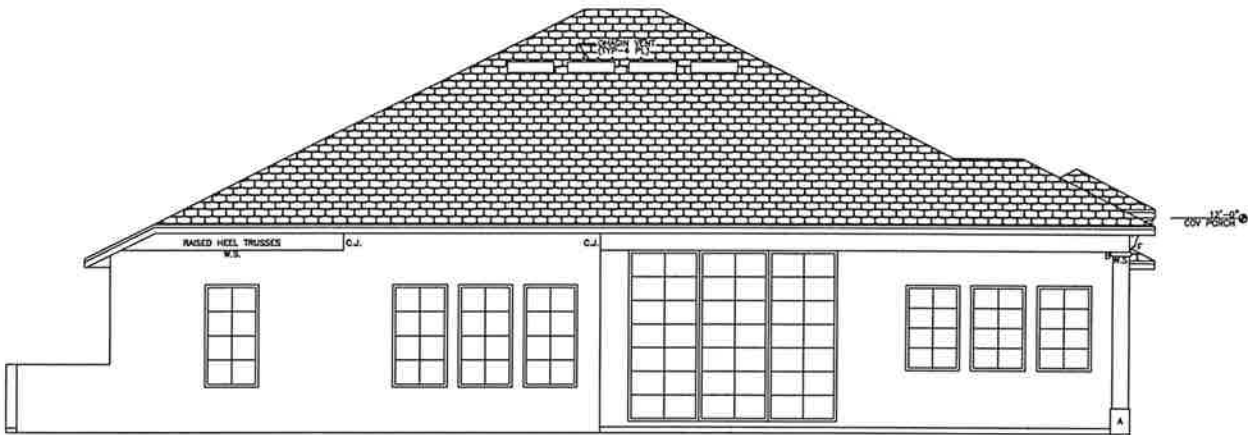
DATE: 8/2/22  
FILE NAME: ELEV



LEFT ELEVATION  
NO SCALE

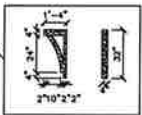


ROOF PLAN  
SCALE: 1/8"=1'-0"



REAR ELEVATION  
SCALE: 1/4"=1'-0"

- NOTES:
1. WEAP SCHED (W.S.) AT HORIZONTAL BLOCK TO FRAME TRANSITIONS.
  2. CONTROL JOINT (C.J.) AT VERTICAL BLOCK TO FRAME TRANSITIONS.
- BOARD & TRIM SCHEDULE:
- A) 1"x18" D.C.C.
  - B) 3" DIA. FOAM HALF CIR.
  - C) 4"x8" DECORATIVE FOAM BEAM
  - D) 4"x8"x18" FOAM CORBEL
  - E) 4"x12"x4" DECORATIVE FOAM BRACKET
  - F) 4"x12"x4" DECORATIVE FOAM BRACKET
  - G) 1"x10" D.C.C.
  - H) 8" FOAM/D.C.C. CROWN MOLD



EDWARD F. SHINSKIE, P.E.  
4707 WILD TURKEY ROAD  
MIMS, FLORIDA 32754  
P.E. #47515  
(321)863-3223

I CERTIFY THAT I HAVE REVIEWED THESE PLANS AND  
THE PLANS CONFORM TO THE 2020 FLORIDA BUILDING CODE  
SEVENTH EDITION WITH THE DESIGNATED CRITERIA STATED.

**JOYAL**  
**CONSTRUCTION**  
CUSTOM HOME BUILDER

DATE: 6/2/22  
FILE NAME: ELEV2



# TOWN OF MELBOURNE BEACH

BREVARD COUNTY'S OLDEST BEACH COMMUNITY ESTABLISHED 1883

## Site Plan Review

### Applicable Codes

Town of Melbourne Beach Land Development Code  
2020 Florida Building Code

**Date:** August 23, 2022  
**Owner:** PETER HOELZEL TRUST  
**Owner Address:** 400 BANYAN WAY MELBOURNE BEACH FL  
**Site Address:** 400 BANYAN WAY MELBOURNE BEACH FL  
**Parcel ID:** 28-38-06-75-10-16  
**Zoning:** 2RS

**Proposed Project:** New Single Family Dwelling. Drainage will be reviewed by Town Engineer.

**References:** Town of Melbourne Beach Code of Ordinances: 7A-32, Ordinance 2019-06

**Request:** Approval by Planning and Zoning Board, Town Commission for construction of a new single-family dwelling.

**Staff Review:** The property lies in Zoning District 2RS

- 1). Project is a single family dwelling as a principle use. The current lot has a dwelling that will be demolished. The Building Official will work with the owner and contractor to make sure the landscape will meet or exceed Town Code and provide pre-inspection to any demolition permits to minimize tree removal.
- 2). The Building Lot Zoning District requirements of min. lot area, width and depth.  
Lot area is 15,799 sq. ft. min. 11,250 sq. ft.  
Lot width is 137.7 ft. min. 90 ft.  
Lot depth is 115.2 ft. min. 100 ft.
- 3). Lot coverage has a maximum of 30% for principle structure .  
Lot coverage per plan is 20.91 % Footprint of Primary Structure is 3,304 sq. ft.  
Max allowed for Primary Structure is 4,739.7 sq. ft. for Lot Area of 15,799 sq. ft.  
Minimum pervious area per lot is 30%. Pervious area is 70.88%
- 4). Structure maximum height for zoning district is 28 ft.  
The proposed height provided is 22'3.5".  
Flood Zone X



**5). Zoning District Setback requirements**

**Proposed Primary Structure Front Setback 25.22 ft. (min. 25 ft.)**

**Proposed Primary Structure West Side Setback 15.25 ft. (min. 15 ft.)**

**Proposed Primary Structure Corner Side Setback 44.6 ft. (min. 25 ft.)**

**Proposed Primary Structure Rear Setback 25.28 ft. (min. 25 ft.)**

**6). Sediment and Erosion control measures shall be met and approved by the Building Official in accordance with the Town of Melbourne Beach Code of Ordinances (27-28) and Florida Building Code (3307.1).**

**7). On-site Storm water Retention Control measures shall be met and approved by the Building Official in accordance with the Town of Melbourne Beach Code of Ordinances (27-28) and the Florida Building Code (3307.1). Town Engineer will submit a review of drainage per Ordinance 2019-06. Town Engineer will be required for final inspection before a Certificate of Occupancy may be issued as per Ordinance 2019-06. Minimum Landscaping Standards shall be met.**

**Based on the above review, I find the proposed site plan for the referenced property is in compliance with The Town of Melbourne Beach Code of Ordinances.**



**Robert Bitgood  
Building Official**

**400 Banyan**

<b>IMPERVIOUS</b>		<b>PERVIOUS</b>	
Primary Structure	3304	Shed space	
Pool		Open areas	
Decks		Other	
Driveway	1056		
Accessory Bldg			
Concrete areas	16	<b>TOTAL PERVIOUS</b>	<b>11199</b>
Pavers areas	224		
Other			
<b>TOTAL IMPERVIOUS</b>	<b>4600</b>		
		<b>Lot Total Sq Footage</b>	<b>15799</b>
		<b>TOTAL % PERVIOUS</b>	<b>0.708842</b>



**B.S.E. CONSULTANTS, INC.**  
Consulting ~ Engineering ~ Land Surveying

Scott M. Glaubitz, P.E., P.L.S.  
President

Hassan Kamal, P.E.  
Vice President

August 15, 2022

**Via E-mail**

Mr. Robert Bitgood  
Town of Melbourne Beach  
507 Ocean Avenue  
Melbourne Beach, FL 32951  
E-mail address: building@melbournebeachfl.org

**Re: Site Plan Review – 400 Banyan Way  
B.S.E. File #11440.100.21**

Dear Robert:

We have reviewed the Preliminary Site Plan for the above referenced project, Sheet Numbers 1, done by Robb & Taylor Engineering Solutions, Inc., dated July 25, 2022. We offer the following comments:

We have reviewed the proposed drainage plan for 400 Banyan Way and find that it meets Town Code.

We recommend approval of the drainage plan as presented.

Should you have any questions, feel free to contact me.

Very truly yours,

***Scott M. Glaubitz, P.E., P.L.S.***

Scott M. Glaubitz, P.E., P.L.S.  
President  
B.S.E. Consultants, Inc.

SMG/kd  
11440.100.21.town.corr.22-s5385.aug



## TOWN OF MELBOURNE BEACH DEVELOPMENT APPLICATION

### I. SUBMITTAL REQUIREMENTS:

1. Fees per current schedule.
2. Deed to property.
3. Pre-Application meeting is mandatory. Contact the Building Official or Building Clerk to submit information required and to schedule a pre-application meeting.
4. Application deadlines are determined annually by the Boards and will be provided at the pre-application meeting.
5. All applicants must complete pages 1-3 and the section(s) as applicable to the request (refer to section II. below). All materials listed in the applicable sections must be provided, and fees paid.

### II. REQUEST:

- |  |  |
|--|--|
| <input type="checkbox"/> Land Use Plan Amendment                                   | <input type="checkbox"/> Rezoning  |
| <input type="checkbox"/> Special Exception   | <input type="checkbox"/> Coastal Construction Variance                     |
| <input type="checkbox"/> Variance  | <input type="checkbox"/> Appeal (Application must be filed within 30 days) |
| <input checked="" type="checkbox"/> Site Plan Review Single Family (1RS, 2RS, 3RS) | <input type="checkbox"/> Site Plan Review Multifamily (4RM, 5RMO)          |
| <input type="checkbox"/> Site Plan Review Commercial (6B, 7C, 8B, 9I)              | <input type="checkbox"/> Amendment to the Land Development Code            |
|  | <input type="checkbox"/> Other (specify) _____                             |

### III. PROPERTY INFORMATION:

General Location: Island Shores of Melbourne Beach

Address: 400, Banyan Way, Melbourne Beach FL 32903

Parcel Number(s): 28-38-06-75-10-16 15,799

Area (in acreage): 0.36 Sq Ft of lot: 43,560 Area (in square feet): 0.36

Current Zoning: 3RS Proposed Zoning: 3RS

Current Future Land Use: \_\_\_\_\_ Proposed Future Land Use: \_\_\_\_\_

Brief Description of Application: NEW SFR

\_\_\_\_\_

Date of Mandatory Pre-Application Meeting (attach meeting minutes if applicable): \_\_\_\_\_

IV. APPLICANT INFORMATION:

Property Owner

Name: Peter HoelzelPhone: 321-503-5730Address: 290 Paradise Blvd. Apt 29

Fax: \_\_\_\_\_

Tadialantic, FL 32903Email: P.hoelzel@icloud.com

Applicant (if other than property owner)

Name: Lifestyle Homes Bldrs Inc.Phone: 321-727-8188Address: 3453 W. New Haven Ave.Fax: 321-727-2408West Melbourne FL 32904Email: ~~Natasha~~@buildingALifestyle.com  
npetrieV. OWNER AUTHORIZATION:\*

The undersigned hereby affirms the following:

1. That I/we are the fee simple title owner/contract purchaser (circle one) of the property described in this application.
2. That I/we have read and understands the entire application and concurs with the request.
3. That I/we have appointed the Applicant to represent the application, and empowers the Applicant to accept any and all conditions of approval imposed by the Town of Melbourne Beach.

Signature: Peter HoelzelDate: 6/24/22Print Name: Peter HoelzelTitle: Owner

\*Must sign in front of notary.

State of Florida

County of Brevard.

The foregoing application is acknowledged before me  
this 24th day of June, 2022 by Peter Hoelzelwho is/are personally known to me, or who has/have produced FDL  
as identification.Natasha V. Petrie

Signature of Notary Public, State of Florida

NOTARY SEAL



# **VI. APPLICANT CERTIFICATION:\***

I/we affirm and certify that I/we understand and will comply with the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the application and support documents are fully complete and comply with the requirements of the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the statements and/or diagrams made on any paper or plans submitted here with are true to the best of my/our knowledge and belief that this application, attachments and application filing fees become part of the official public record of the Town of Melbourne Beach, Florida and are not returnable or refundable.

Under penalties of perjury, I/we declare that I/we have read the foregoing application and that to the best of my/our knowledge and belief the facts stated in the application are true.

Signature: Peter Hoelzel Date: 6/24/22  
 Print Name: PETER HOELZEL Title: owner

\*Must sign in front of notary.

State of Florida

County of Brevard.

The foregoing application is acknowledged before me this 24<sup>th</sup> day of June, 2022, by Peter Hoelzel who is/are personally known to me, or who has/have produced FPL as identification.

Natasha V. Petrie

Signature of Notary Public, State of Florida

NOTARY SEAL



# **VII. PROJECT DESCRIPTION:**

Describe Application: New Single Family Residence

Provide attachment if more space is needed.

Describe Existing Conditions: VACANT LOT - land existing home to be demolished

Provide attachment if more space is needed.



# TOWN OF MELBOURNE BEACH

BREVARD COUNTY'S OLDEST BEACH COMMUNITY ESTABLISHED 1883

## Town of Melbourne Beach

### *Tree Removal Application*

Effective Code

#### Town of Melbourne Beach Code of Ordinance

#### 9A-3

#### **9A-4. PERMIT REQUIRED FOR CUTTING DOWN TREE. –**

*No person, organization, society, association or corporation, or any agent or representative thereof, directly or indirectly, shall cut down, destroy, remove, move or effectively destroy through damaging any tree situated on property in any zoning district without first obtaining a permit as herein provided.*

Type of Work: Remove and Dispose of 4 Trees.

Describe the work to be done:

   New Single Family Residence

Address:   400 Banyan Way, Melbourne Beach, FL 32903  

Owners Name:   Peter Hoelzel  

Phone: 321-503-5730    Email:   P.Hoelzel@icloud.com  

Contracting Firm: Lifestyle Homes Builders Inc.

Phone   321-727-8188   ext 305 Email:   Npetrie@buildingalifestyle.com  

Address: 3453 West New Haven Ave., West Melb, FL    Zip Code 32904   

Approved    Disapproved  
Public Works Director



Date:                     

Approved    Disapproved  
Building Official

Date: \_\_\_\_\_

## Contractors and Subcontractors Verification

The Contractor or Owner, who obtained the above permit, shall submit this form for all applicable trades prior to the issuance of the above Tree removal permit.

<b>OWNER/ CONTRACTOR</b>	<b>CONTRACTOR OBTAINING PERMIT</b>
Name: Peter Hoelzel	Company Name: Lifestyle Homes
Address: 290 Paradise Blvd. Apt 29	Address: 3453 W. New Haven Ave W.
Indianapolis, FL 32903	Melb FL 32904
Contractor License#.	Contractor License# CBC1263082
Signature: 	Printed Name of Contractor: Jordan Luhn
	Signature: 
	Describe type of Specialty: Building Contractor





# TOWN OF MELBOURNE BEACH

BREVARD COUNTY'S OLDEST BEACH COMMUNITY ESTABLISHED 1883

## APPLICANT'S AFFIDAVIT

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction and landscaping in this jurisdiction

## OWNER'S AFFIDAVIT

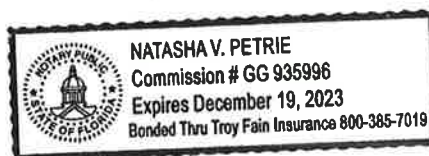
I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws and codes regulating construction, landscaping and zoning.

Peter Hoelzel 6/24/22  
OWNER DATE

STATE OF FLORIDA  
COUNTY OF BREVARD

The foregoing instrument was acknowledged before me by means of  
☒ physical presence or \_\_\_ online notarization, on this 24<sup>th</sup> day of June, 2022  
By Peter Hoelzel of owner who is personally known to me 1 or has  
Produced identification FDL

Natasha V. Petrie  
Notary Signature & Stamp

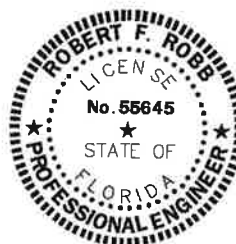


**SINGLE FAMILY RESIDENCE**  
**400 Banyon Way**  
**Town of Melbourne Beach**

---

## ***SURFACE WATER MANAGEMENT PLAN***

Date Prepared:  
**July 25, 2022**



Digitally  
signed by  
Robert F  
Robb  
Date:  
2022.07.25  
16:34:25  
-04'00'

Prepared by:



***ROBB & TAYLOR***  
***Engineering Solutions, Inc.***

Robert F. Robb, P.E.  
Lic.# 55645

**STORMWATER REPORT**  
**400 Banyon Way**  
**7/25/22**

**I. Purpose**

The purpose of this report is to provide the Town of Melbourne Beach with documentation which demonstrates the proposed parcel complies with Ordinance 2019-06.

**II. Proposed System**

The proposed project includes the construction of a new single family home. Rainfall from a 10 year 24 hour storm event will be analyzed to determine the volume of runoff and the required storage volume.

Site Data:

Parcel Area                                      15,688 sf              0.360 ac

Roof Top    = 2,858 sf

Patio and Sidewalk                              = 681 sf

Paver Drive                                        = 1,204 sf

Impervious                                        = 4,743 sf              = 0.11 acre              = 30.6%

Pervious Area                                    = 10,945 sf              = 0.25 acre              = 69.4%

Weighted Curve Number – Overall

CN = 98 Impervious Area

CN = 39 Lawn, Good Condition, hyd.soil group A

CN = 70 Pavers

$CN^* = (0.306)(98) + (0.694)(39) = 57$

Pond Volume

<i>El</i>	<i>Area</i>	<i>Vol.</i>
14.95	3,815	0 cf
15.2	5,371	1,148 cf

**III. Geotechnical Data:**

Hc v = 32.5 in/hr = 65 ft/day

Hc h = 38.1 in/hr = 76.2 ft/day

SHWT = 15.4ft – 8.3ft = El. 7.1

Aquif Base: 15.4ft – 16ft = -0.6 ft

**IV. Recovery**

The storage volume recovers immediately, all volumes are below the pond bottom. (See Modret Analysis)

**V. Conclusion**

As demonstrated by the above calculations, the proposed stormwater system provides full storage of the 8" of rainfall produced by the 10Yr/24Hr Storm. The peak stage during the 10yr-24hr storm event does not exceed the proposed on site swale area. No runoff is discharged off-site during the 10year, 24 hour storm event.

# **ICPR CALCULATIONS POST-DEVELOPMENT INPUT PARAMETERS**

Single Family Residence  
 400 Banyon Way  
 ICPR Storm Calculations  
 Post Development  
 Input Data  
 7/25/22

---



---

==== Basins =====

Name: Post Dev 1	Node: pond	Status: Onsite
Group: BASE	Type: SCS Unit Hydrograph	
Unit Hydrograph: Uh484	Peaking Factor: 484.0	
Rainfall File:	Storm Duration(hrs): 0.00	
Rainfall Amount(in): 0.000	Time of Conc(min): 10.00	
Area(ac): 0.360	Time Shift(hrs): 0.00	
Curve Number: 57.00	Max Allowable Q(cfs): 999999.000	
DCIA(%): 0.00		

---



---

==== Nodes =====

Name: Bndry	Base Flow(cfs): 0.000	Init Stage(ft): 14.000
Group: BASE		Warn Stage(ft): 14.300
Type: Time/Stage		

Time(hrs)	Stage(ft)
0.00	14.000
12.00	14.300
24.00	14.000

---

Name: GW	Base Flow(cfs): 0.000	Init Stage(ft): 7.100
Group: BASE		Warn Stage(ft): 8.000
Type: Time/Stage		

Time(hrs)	Stage(ft)
0.00	7.100
12.00	8.000
24.00	7.100

---

Name: pond	Base Flow(cfs): 0.000	Init Stage(ft): 14.950
Group: BASE		Warn Stage(ft): 15.200
Type: Stage/Area		

Stage(ft)	Area(ac)
14.950	0.0880

Single Family Residence  
 400 Banyon Way  
 ICPR Storm Calculations  
 Post Development  
 Input Data  
 7/25/22

15.200 0.1233

==== Operating Tables =====

Name: Pond Perc Group: BASE  
 Type: Rating Curve  
 Function: US Stage vs. Discharge

US Stage (ft)	Discharge (cfs)
14.950	0.85
15.000	0.85
15.200	0.85

==== Rating Curves =====

Name: Perc From Node: pond Count: 1  
 Group: BASE To Node: GW Flow: Both

	TABLE	ELEV ON (ft)	ELEV OFF (ft)
#1: Pond Perc		14.960	14.950
#2:		0.000	0.000
#3:		0.000	0.000
#4:		0.000	0.000

==== Hydrology Simulations =====

Name: 10YR/24HR  
 Filename: C:\Users\Robnewdell\Documents\BUSINESS\Project Management\10YR-24HR.R32

Override Defaults: Yes  
 Storm Duration (hrs): 24.00  
 Rainfall File: Flmod  
 Rainfall Amount (in): 8.00

Time (hrs)	Print Inc (min)
24.000	5.00

==== Routing Simulations =====

Name: 10YR/24HR Hydrology Sim: 10YR/24HR  
 Filename: C:\Users\Robnewdell\Documents\BUSINESS\Project Management\10YR-24HR.I32

Single Family Residence  
 400 Banyon Way  
 ICPR Storm Calculations  
 Post Development  
 Input Data  
 7/25/22

Execute: Yes  
 Alternative: No

Restart: No

Patch: No

Max Delta Z(ft): 1.00  
 Time Step Optimizer: 10.000  
 Start Time(hrs): 0.000  
 Min Calc Time(sec): 0.2500  
 Boundary Stages:

Delta Z Factor: 0.00500  
 End Time(hrs): 24.00  
 Max Calc Time(sec): 60.0000  
 Boundary Flows:

Time(hrs)	Print Inc(min)
24.000	5.000
Group	Run
BASE	Yes

==== Boundary Conditions =====



Single Family Residence  
400 Banyon Way  
ICPR Storm Calculations  
Post Development  
Basin Summary  
7/25/22

---

Basin Name: Post Dev 1  
Group Name: BASE  
Simulation: 10YR/24HR  
Node Name: pond  
Basin Type: SCS Unit Hydrograph

Unit Hydrograph: Uh484  
Peaking Fator: 484.0  
Spec Time Inc (min): 1.33  
Comp Time Inc (min): 1.33  
Rainfall File: Flmod  
Rainfall Amount (in): 8.000  
Storm Duration (hrs): 24.00  
Status: Onsite  
Time of Conc (min): 10.00  
Time Shift (hrs): 0.00  
Area (ac): 0.360  
Vol of Unit Hyd (in): 1.001  
Curve Number: 57.000  
DCIA (%): 0.000  
  
Time Max (hrs): 12.04  
Flow Max (cfs): 0.965  
Runoff Volume (in): 2.998  
Runoff Volume (ft3): 3918.009

**ICPR CALCULATIONS  
POST-DEVELOPMENT  
PEAK CONDITIONS  
10YR / 24 HR STORM**

Single Family Residence  
 400 Banyon Way  
 ICPR Storm Calculations  
 Post Development  
 Max Discharge (perc only)  
 7/25/22

Name	Group	Simulation	Max Time Flow hrs	Max Flow cfs	Max Delta Q cfs	Max Time US Stage hrs	Max US Stage ft	Max Time DS Stage hrs	Max DS Stage ft
Perc	BASE	10YR/24HR	11.00	0.850	0.850	12.09	14.960	12.00	8.000

Single Family Residence  
 400 Banyon Way  
 ICPR Storm Calculations  
 Post Development  
 Max Stage  
 7/25/22

Name	Group	Simulation	Max Time Stage hrs	Max Stage ft	Warning Stage ft	Max Delta Stage ft	Max Surf Area ft2	Max Time Inflow hrs	Max Inflow cfs	Max Time Outflow hrs	Max Outflow cfs
Bndry	BASE	10YR/24HR	12.00	14.300	14.300	0.0004	0	0.00	0.000	0.00	0.000
GW	BASE	10YR/24HR	12.00	8.000	8.000	0.0013	0	11.00	0.850	0.00	0.000
pond	BASE	10YR/24HR	12.09	14.960	15.200	0.0042	3897	12.01	0.932	11.00	0.850

## **MODRET RECOVERY ANALYSIS**

# MODRET

## SUMMARY OF UNSATURATED & SATURATED INPUT PARAMETERS

**PROJECT NAME : 400 BANYON**  
**POLLUTION VOLUME RUNOFF DATA USED**  
**UNSATURATED ANALYSIS EXCLUDED**

Pond Bottom Area	3,815.00 ft <sup>2</sup>
Pond Volume between Bottom & DHWL	1,148.00 ft <sup>3</sup>
Pond Length to Width Ratio (L/W)	3.00
Elevation of Effective Aquifer Base	-0.60 ft
Elevation of Seasonal High Groundwater Table	7.10 ft
Elevation of Starting Water Level	14.95 ft
Elevation of Pond Bottom	14.95 ft
Design High Water Level Elevation	15.20 ft
Avg. Effective Storage Coefficient of Soil for Unsaturated Analysis	0.30
Unsaturated Vertical Hydraulic Conductivity	32.00 ft/d
Factor of Safety	2.00
Saturated Horizontal Hydraulic Conductivity	35.00 ft/d
Avg. Effective Storage Coefficient of Soil for Saturated Analysis	0.30
Avg. Effective Storage Coefficient of Pond/Exfiltration Trench	1.00

### Hydraulic Control Features:

#### Groundwater Control Features - Y/N

Distance to Edge of Pond  
Elevation of Water Level

Top	Bottom	Left	Right
N	N	N	N
0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00

#### Impervious Barrier - Y/N

Elevation of Barrier Bottom

Top	Bottom	Left	Right
N	N	N	N
0.00	0.00	0.00	0.00

# MODRET

## TIME - RUNOFF INPUT DATA

**PROJECT NAME: 400 BANYON**

<b>STRESS PERIOD NUMBER</b>	<b>INCREMENT OF TIME (hrs)</b>	<b>VOLUME OF RUNOFF (ft³)</b>
Unsat	0.00	0.00
1	1.00	1,148.00
2	4.38	0.00
3	4.38	0.00
4	4.38	0.00
5	4.38	0.00
6	4.38	0.00
7	4.38	0.00
8	4.38	0.00
9	4.38	0.00

## SUMMARY OF RESULTS

**PROJECT NAME : 400 BANYON**

[illegible]

Maximum Water Elevation: 14.950 feet @ 1.00 hours

Recovery @ 0.000 hours

\* Time increment when there is no runoff

Maximum Infiltration Rate: 14.501 ft/day

Analysis Date: 7/25/2022



## GEOTECHNICAL REPORT

Headquarters  
11345 U.S. Highway 1  
Sebastian, FL. 32958  
Orlando  
723 Progress Way  
Sanford, FL. 32771



Mailing  
P.O. Box 78-1377  
Sebastian, FL. 32978  
Phone: 772-589-0712  
C.A. # 5693  
KSMengineering.net

Lorraine Edmisten  
Life Style Home Builders, Inc.  
3453 West New Haven Ave., Suite A  
West Melbourne, FL 32904

July 12, 2022

**Re: 400 Banyan Way  
Melbourne Beach, Florida  
KSM Project #: 2205513-p**

Dear Ms. Edmisten:

As requested, KSM performed a site investigation at the proposed site. The tests and observations noted in this report were performed to evaluate the drainage characteristics of the soils discovered in the test location.

Usual Open-Hole Test (in-field) – At the test location, an in-field permeability test was performed in general conformance with the South Florida Water Management District described procedures for the 'Usual Open-Hole Test' method. The results of the in-field test can be found in Table 1:

Table 1 - Usual Open-Hole Test Results	
Test Location (See Location Plan)	Hydraulic Conductivity (CFS/SF- Ft Head)
P-1	$7.0 \times 10^{-4}$

NOTES:

- 1) The above hydraulic conductivity values are for a French drain installed to the same depth as the borehole tests. The designer should apply the appropriate factor of safety.
- 2) A hole diameter of 3" was used in the computation of the Hydraulic Conductivity values presented in the above table.

Constant Head Permeability Test (in-lab) – The horizontal and vertical permeability flow rates were determined by excavating a test pit adjacent to the soil profile and obtaining undisturbed shelly tube samples. We then performed constant head permeability tests on the field samples in our laboratory in general accordance with ASTM D2434. Table 2 indicates the horizontal and vertical flow rates for the test location.

Table 2 - Constant Head Permeability Results (ASTM D2434)			
Test Location (See Location Plan)	Horizontal Flow Rate (in/hr)	Vertical Flow Rate (in/hr)	Layer Depth (in)
P-1	15.3	13.9	0-16
	38.1	32.5	16-50
	20.8	19.1	50-144

Estimated Normal Wet Season & Dry Season Water Table – Table 3 indicates the observed water table and our estimated normal wet season water table and normal dry season water table for the test location. This estimate is based upon our interpretation of existing site conditions and a review of the USDA Soil Survey for Brevard County, Florida.

The majority of the site soils are mapped as 25—Canaveral-Palm Beach-Urban land complex, according to the Soil Survey Map of Brevard County, Florida.

Table 3 - Water Table Observations			
Test Location (See Location Plan)	Observed Water Table	Estimated Wet Season Water Table	Estimated Dry Season Water Table
P-1, PB-1	10.7' Below Grade	8.3' Below Grade	11.3' Below Grade

Hydrologic Soil Group – The soils in the test location can be classified in accordance with Chapter 7, Part 630 of the USDA National Engineering Handbook as follows:

Table 4 – Hydrologic Soil Group Classification	
Test Location (See Location Plan)	Hydrologic Soil Group
P-1	A

Porosity – The material we encountered in the field generally consisted of fine grained sand which was loose in density, therefore a value of 0.37 can be used as an estimated porosity value for design purposes.

This estimate is based upon our interpretation of existing site conditions and our experience with the porosity of similar materials. If the in-situ field porosity of any layer is required, please contact our office for further investigation.

400 Banyan Way  
Melbourne Beach, Florida  
KSM Project #: 2205513-p

**KSM** ENGINEERING  
AND TESTING

We are pleased to be of assistance to you on this phase of your project.

If we can be of further assistance or if you have any questions, please feel free to contact the office.

Respectfully,

*Christopher S. LeBrun*  
Christopher S. LeBrun, E.I.  
Geotechnical Engineer  
Florida Lic. No. 1100022858  
7/12/2022



Cody C. Clawson, P.E.  
Geotechnical Engineer  
Florida Lic. No. 91598  
7/12/2022

CCC/cv

Email to: [lorraine@buildingalifestyle.com](mailto:lorraine@buildingalifestyle.com); [npetrie@buildingalifestyle.com](mailto:npetrie@buildingalifestyle.com)

**KSM**

KSM Engineering & Testing  
P.O. Box 78-1377  
Sebastian, FL 32978  
Tel: (772)-589-0712  
Fax: (772)-589-6469

**BORING NUMBER PB-1**

PAGE 1 OF 1

CLIENT Life Style Home Builders, Inc.PROJECT NAME 400 Banyan WayPROJECT NUMBER 2205513-pPROJECT LOCATION Melbourne Beach, FloridaDATE STARTED 6/23/22COMPLETED 6/23/22

GROUND ELEVATION \_\_\_\_\_

HOLE SIZE \_\_\_\_\_ inches

DRILLING CONTRACTOR \_\_\_\_\_

GROUND WATER LEVELS:

DRILLING METHOD Geoprobe▽ AT TIME OF DRILLING 10.7 ftLOGGED BY DP/EKCHECKED BY CCC

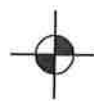
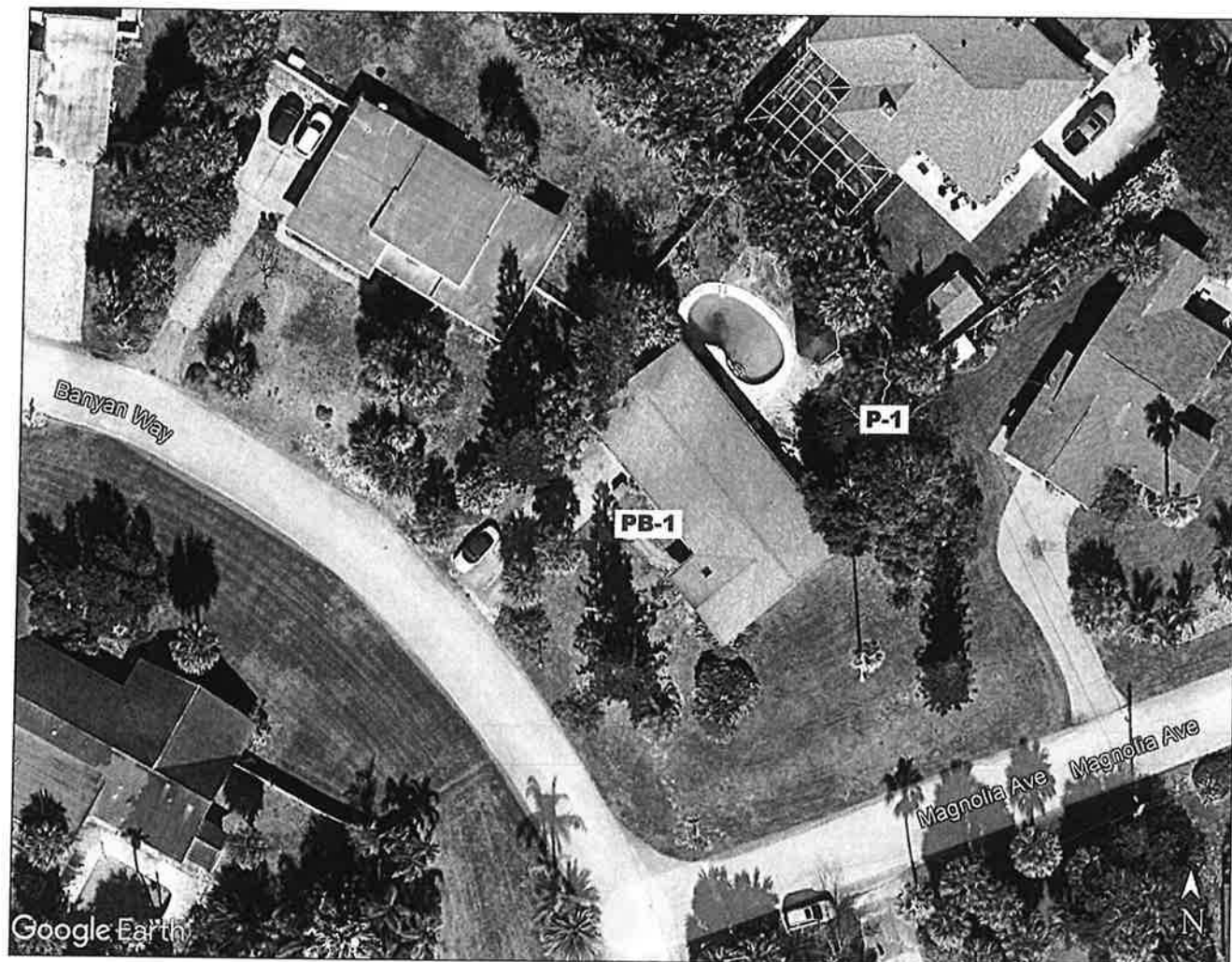
AT END OF DRILLING \_\_\_\_\_

NOTES See Attached Location Plan

AFTER DRILLING \_\_\_\_\_

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY % (RQD)	BLOW COUNTS (N VALUE)	PENETROMETER	DRY UNIT WT. (pcf)	▲ SPT N VALUE ▲			
								20	40	60	80
0		Brown Sand with Roots						PL	MC	LL	
		Yellowish Brown Sand						20	40	60	80
5											
10											
15		Light Brown Sand with Traces of Shell and Gravel									

Bottom of borehole at 16.0 feet.



## LOCATION OF SOIL TESTING

PROJECT: 400 Banyan Way, Melbourne Beach, Florida

SHEET 1 OF 2  
PERMIT #:  
PROJECT #: 2205513-p

**KSM** ENGINEERING  
**KSM** AND TESTING

DRAWN BY: C.V.  
DESIGNED BY: C.C.C.  
DATE: 20220624  
SCALE: NOT TO SCALE





## **USDA SOILS SURVEY**

### **25—Canaveral-Palm Beach-Urban land complex**

**PROJECT:** 400 Banyan Way, Melbourne Beach, Florida

**SHEET 2 OF 2**

**PERMIT #:**

**PROJECT #:** 2205513-soils

**KSM ENGINEERING  
AND TESTING**

**DRAWN BY:** C.V.

**DESIGNED BY:** C.C.C.

**DATE:** 20220624

**SCALE:** NOT TO SCALE

Headquarters  
11345 U.S. Highway 1  
Sebastian, FL. 32958  
Orlando  
723 Progress Way  
Sanford, FL. 32771



Mailing  
P.O. Box 78-1377  
Sebastian, FL. 32978  
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C.A. # 5693  
KSMengineering.net

Lorraine Edmisten  
Life Style Home Builders, Inc.  
3453 West New Haven Ave., Suite A  
West Melbourne, FL 32904

July 12, 2022

**Re: 400 Banyan Way  
Melbourne Beach, Florida  
KSM Project #: 2205513-p**

Dear Ms. Edmisten:

As requested, KSM performed a site investigation at the proposed site. The tests and observations noted in this report were performed to evaluate the drainage characteristics of the soils discovered in the test location.

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NOTES:

- 1) The above hydraulic conductivity values are for a French drain installed to the same depth as the borehole tests. The designer should apply the appropriate factor of safety.
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Constant Head Permeability Test (in-lab) – The horizontal and vertical permeability flow rates were determined by excavating a test pit adjacent to the soil profile and obtaining undisturbed shelly tube samples. We then performed constant head permeability tests on the field samples in our laboratory in general accordance with ASTM D2434. Table 2 indicates the horizontal and vertical flow rates for the test location.



**Table 2 - Constant Head Permeability Results (ASTM D2434)**

Test Location (See Location Plan)	Horizontal Flow Rate (in/hr)	Vertical Flow Rate (in/hr)	Layer Depth (in)
P-1	15.3	13.9	0-16
	38.1	32.5	16-50
	20.8	19.1	50-144

Estimated Normal Wet Season & Dry Season Water Table – Table 3 indicates the observed water table and our estimated normal wet season water table and normal dry season water table for the test location. This estimate is based upon our interpretation of existing site conditions and a review of the USDA Soil Survey for Brevard County, Florida.

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**Table 3 - Water Table Observations**

Test Location (See Location Plan)	Observed Water Table	Estimated Wet Season Water Table	Estimated Dry Season Water Table
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400 Banyan Way  
Melbourne Beach, Florida  
KSM Project #: 2205513-p

**KSM** ENGINEERING  
**KSM** AND TESTING

We are pleased to be of assistance to you on this phase of your project.

If we can be of further assistance or if you have any questions, please feel free to contact the office.

Respectfully,

Digitally signed  
by Cody  
Clawson

Date:  
2022.07.18  
10:49:54 -04'00'

This item has been electronically signed  
and sealed by Cody Clawson, P.E. FL Lic.  
91598 on the date stated directly to the  
right using a digital signature.

Printed copies of this document are not  
considered signed and sealed and the  
signature must be verified on any  
electronic copies.



*Christopher S. LeBrun*  
Christopher S. LeBrun, E.I.  
Geotechnical Engineer  
Florida Lic. No. 1100022858  
7/12/2022

Cody C. Clawson, P.E.  
Geotechnical Engineer  
Florida Lic. No. 91598  
7/12/2022

CCC/cv

Email to: [lorraine@buildingalifestyle.com](mailto:lorraine@buildingalifestyle.com); [npetrie@buildingalifestyle.com](mailto:npetrie@buildingalifestyle.com)

**KSM**

KSM Engineering & Testing  
P.O. Box 78-1377  
Sebastian, FL 32978  
Tel: (772)-589-0712  
Fax: (772)-589-6469

**BORING NUMBER PB-1**

PAGE 1 OF 1

CLIENT Life Style Home Builders, Inc.PROJECT NAME 400 Banyan WayPROJECT NUMBER 2205513-pPROJECT LOCATION Melbourne Beach, FloridaDATE STARTED 6/23/22COMPLETED 6/23/22

GROUND ELEVATION \_\_\_\_\_ HOLE SIZE \_\_\_\_\_ inches

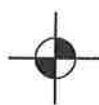
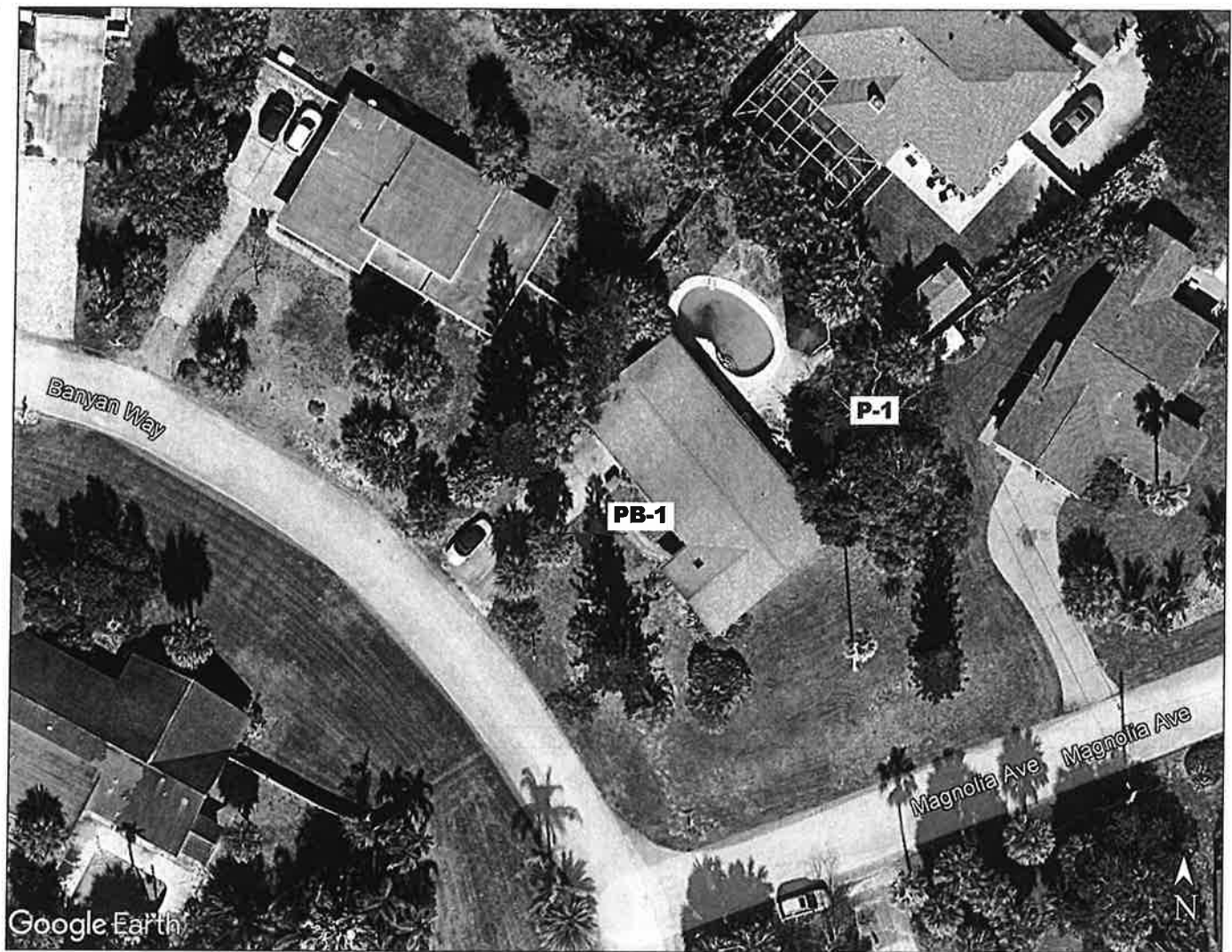
DRILLING CONTRACTOR \_\_\_\_\_

GROUND WATER LEVELS:

DRILLING METHOD Geoprobe▽ AT TIME OF DRILLING 10.7 ftLOGGED BY DP/EKCHECKED BY CCCAT END OF DRILLING ---NOTES See Attached Location PlanAFTER DRILLING ---

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY % (RQD)	BLOW COUNTS (N VALUE)	PENETROMETER	DRY UNIT WT. (pcf)	▲ SPT N VALUE ▲			
								20	40	60	80
								PL	MC	LL	
0		Brown Sand with Roots						20	40	60	80
5		Yellowish Brown Sand									
10											
15		Light Brown Sand with Traces of Shell and Gravel									

Bottom of borehole at 16.0 feet.



## LOCATION OF SOIL TESTING

PROJECT: 400 Banyan Way, Melbourne Beach, Florida

SHEET 1 OF 2  
 PERMIT #:  
 PROJECT #: 2205513-p

**KSM ENGINEERING  
 AND TESTING**

DRAWN BY: C.V.  
 DESIGNED BY: C.C.C.  
 DATE: 20220624  
 SCALE: NOT TO SCALE





## **USDA SOILS SURVEY**

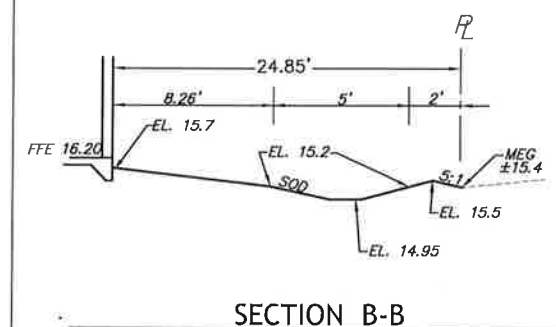
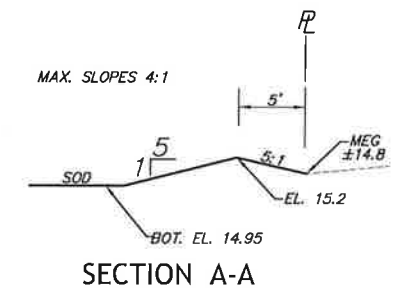
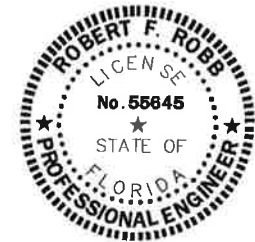
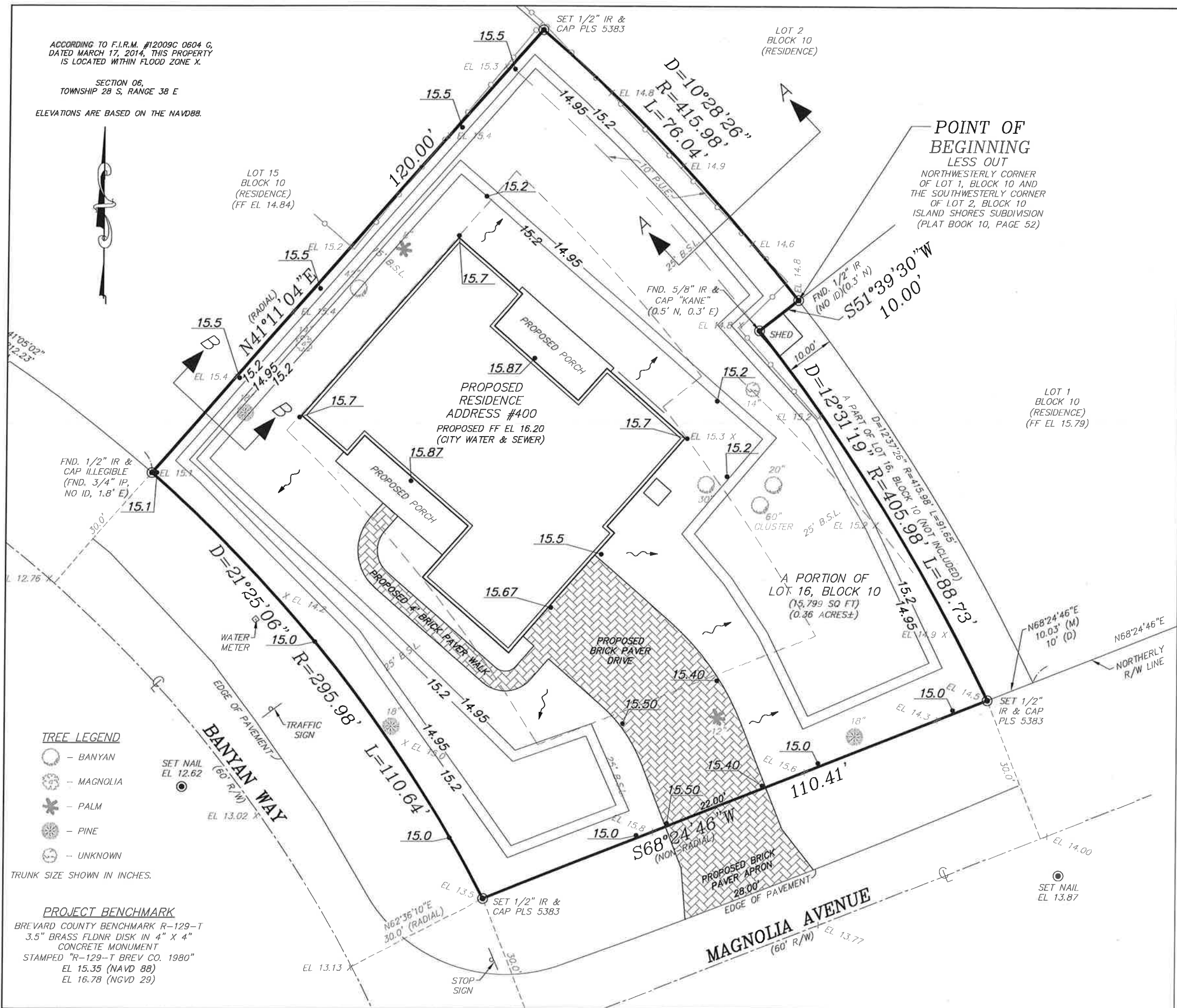
### **25—Canaveral-Palm Beach-Urban land complex**

**PROJECT:** 400 Banyan Way, Melbourne Beach, Florida

SHEET 2 OF 2  
 PERMIT #:  
 PROJECT #: 2205513-soils

**KSM ENGINEERING  
 AND TESTING**

DRAWN BY: C.V.  
 DESIGNED BY: C.C.C.  
 DATE: 20220624  
 SCALE: NOT TO SCALE



## GRADING PLAN

**HOELZEL RESIDENCE**  
400 BANYON WAY MELBOURNE BEACH

1



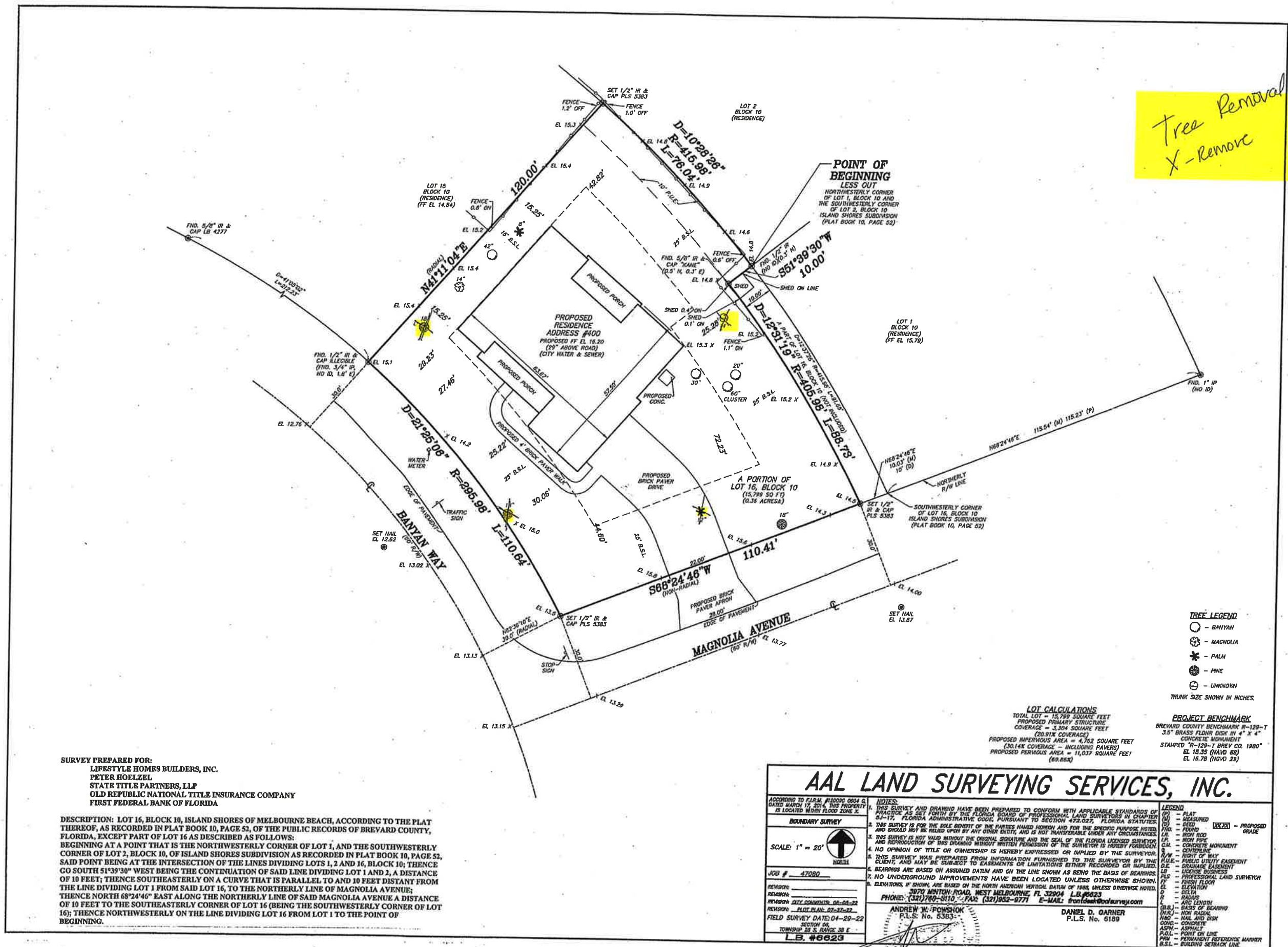
Robert F. Robb  
P.E. # 55845

**ROBB & TAYLOR**  
**Engineering Solutions, Inc.**  
4685 HIDDEN LAKES PLACE

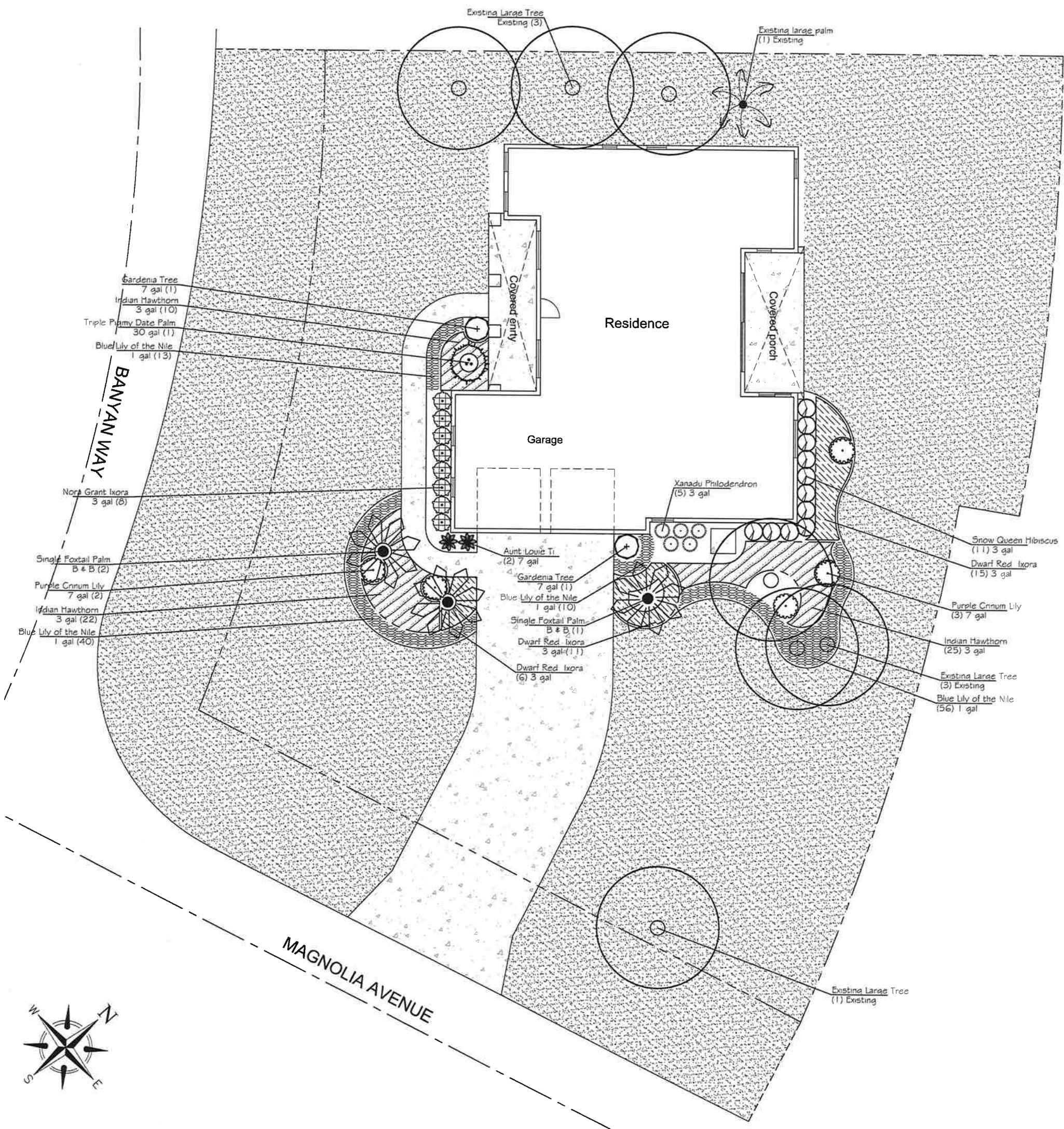











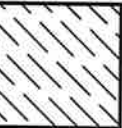

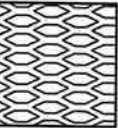
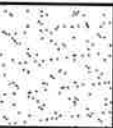








PLANT SCHEDULE

TREES	COMMON NAME	CONT	CAL	SIZE	QTY	
	Gardenia Tree	7 gal			2	
PALM TREES	COMMON NAME	CONT	CAL	SIZE	QTY	
	Triple Pigmy Date Palm	30 gal	Triple	4`-5` O.A.	1	
	Single Foxtail Palm	B & B	Heavy	12`-14` O.A.	3	
SHRUBS	COMMON NAME	SIZE	=	=	QTY	
	Aunt Louie Ti	7 gal			2	
	Purple Crinum Lily	7 gal			5	
	Snow Queen Hibiscus	3 gal			11	
	Nora Grant Ixora	3 gal			8	
	Xanadu Philodendron	3 gal			5	
SHRUB AREAS	COMMON NAME	CONT	=	=	SPACING	QTY
	Dwarf Red Ixora	3 gal			30" o.c.	32
	Indian Hawthorn	3 gal			30" o.c.	57
GROUND COVERS	COMMON NAME	CONT	=	=	SPACING	QTY
	Blue Lily of the Nile	1 gal			18" o.c.	119
SOD/SEED	COMMON NAME	CONT	=	=	SPACING	QTY
	St. Augustine Sod	sod				13,512 sf





Single Alexander Palm



Triple Pygmy Date Palm



Aunt Louie Ti



Nora Grant Ixora



Purple Crinum Lily



Xanadu Philodendron



Snow Queen Hibiscus



Indian Hawthorn

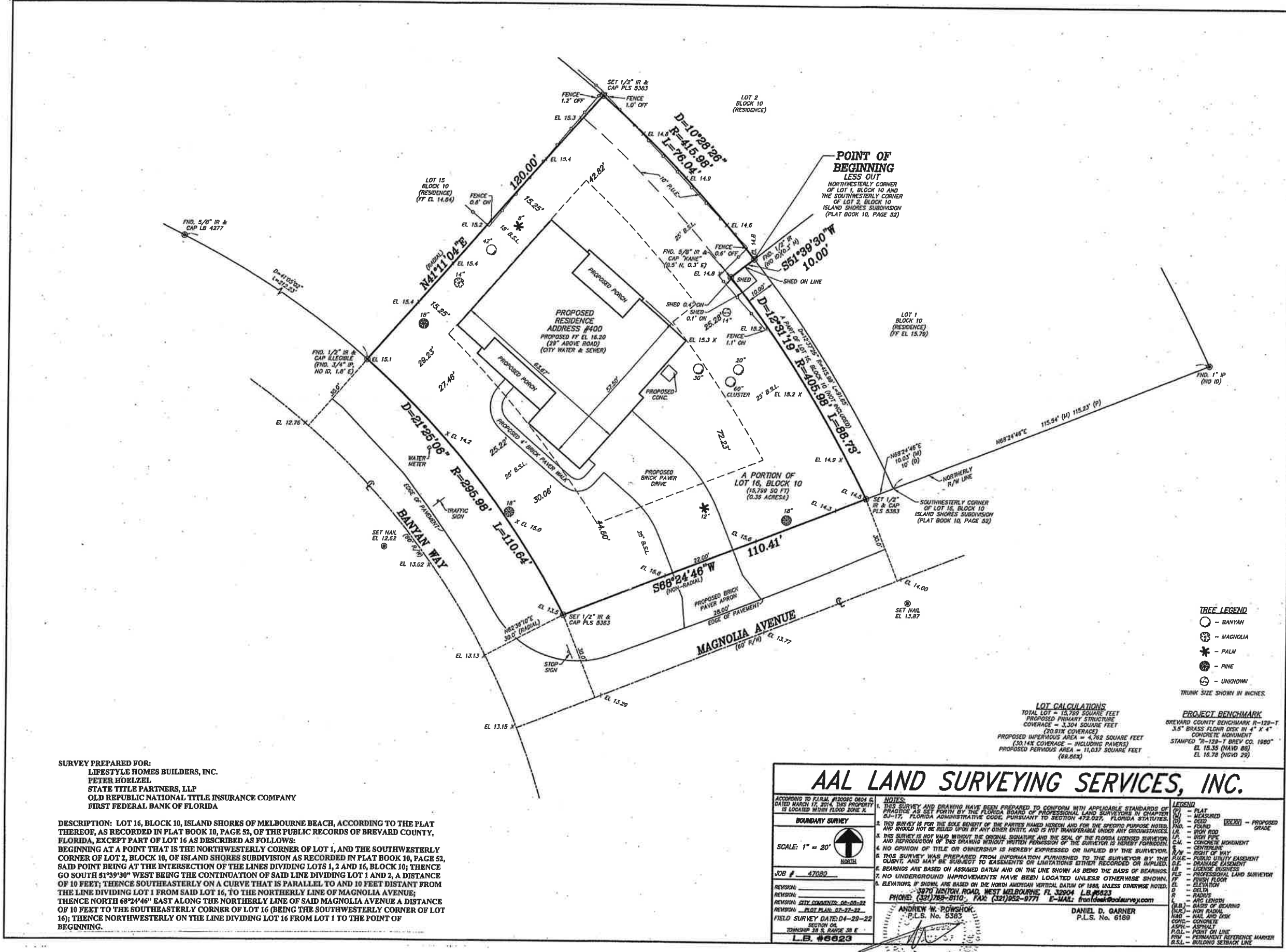


Dwarf Red Ixora



Blue Lily of the Nile

Note: the plant material shown in the photos is not representative of the actual size of the plant material specified for the project.



SURVEY PREPARED FOR:  
LIFESTYLE HOMES BUILDERS, INC.  
PETER HOELZEL  
STATE TITLE PARTNERS, LLP  
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY  
FIRST FEDERAL BANK OF FLORIDA

DESCRIPTION: LOT 16, BLOCK 10, ISLAND SHORES OF MELBOURNE BEACH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10, PAGE 52, OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA, EXCEPT PART OF LOT 16 AS DESCRIBED AS FOLLOWS:  
BEGINNING AT A POINT THAT IS THE NORTHWESTERLY CORNER OF LOT 1, AND THE SOUTHWESTERLY CORNER OF LOT 2, BLOCK 10, OF ISLAND SHORES SUBDIVISION AS RECORDED IN PLAT BOOK 10, PAGE 52, SAID POINT BEING AT THE INTERSECTION OF THE LINES DIVIDING LOTS 1, 2 AND 16, BLOCK 10; THENCE GO SOUTH 51°39'30" WEST BEING THE CONTINUATION OF SAID LINE DIVIDING LOT 1 AND 2, A DISTANCE OF 10 FEET; THENCE SOUTHEASTERLY ON A CURVE THAT IS PARALLEL TO AND 10 FEET DISTANT FROM THE LINE DIVIDING LOT 1 FROM SAID LOT 16, TO THE NORTHERLY LINE OF MAGNOLIA AVENUE; THENCE NORTH 68°24'46" EAST ALONG THE NORTHERLY LINE OF SAID MAGNOLIA AVENUE A DISTANCE OF 10 FEET TO THE SOUTHEASTERLY CORNER OF LOT 16 (BEING THE SOUTHWESTERLY CORNER OF LOT 16); THENCE NORTHWESTERLY ON THE LINE DIVIDING LOT 16 FROM LOT 1 TO THE POINT OF BEGINNING.

## AAL LAND SURVEYING SERVICES, INC.

ACCORDING TO FLA. STAT. § 402.02(1) AND (2), THIS SURVEY IS PREPARED FOR THE PURPOSE OF RECORDING THE BOUNDARY OF LOT 16, BLOCK 10, ISLAND SHORES SUBDIVISION, AS RECORDED IN PLAT BOOK 10, PAGE 52, OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.

**BOUNDARY SURVEY**

SCALE: 1" = 20'

JOB # 47080

REVISION: CITY COMMISSIONER: 06-05-22  
REVISION: PLAT PLAN: 07-27-22  
FIELD SURVEY DATE: 04-28-22  
TOWNSHIP 38 S. RANGE 38 E  
L.B. #6823

NOTES:  
1. THIS SURVEY AND DRAWING HAVE BEEN PREPARED TO CONFORM WITH APPLICABLE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 9A-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND SHOULD NOT BE RELIED UPON BY ANY OTHER ENTITY, AND IS NOT TRANSFERABLE UNDER ANY CIRCUMSTANCES.  
2. THIS SURVEY IS FOR THE SOLE BENEFIT OF THE PARTIES NAMED HEREON AND FOR THE SPECIFIC PURPOSE INTENTED AND SHOULD NOT BE RELIED UPON BY ANY OTHER ENTITY, AND IS NOT TRANSFERABLE UNDER ANY CIRCUMSTANCES.  
3. THIS SURVEY IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND THE SEAL OF THE FLORIDA LICENSED SURVEYOR, AND REPRODUCTION OF THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE SURVEYOR IS STRICTLY FORBIDDEN.  
4. NO OPINION OF TITLE OR OWNERSHIP IS HEREBY EXPRESSED OR IMPLIED BY THE SURVEYOR.  
5. THIS SURVEY WAS PREPARED FROM INFORMATION FURNISHED TO THE SURVEYOR BY THE CLIENT, AND MAY BE SUBJECT TO EASEMENTS OR LIMITATIONS EITHER RECORDED OR IMPLIED.  
6. BEARINGS ARE BASED ON ASSUMED DATUM AND ON THE LINE SHOWN AS BEING THE BASIS OF BEARINGS.  
7. NO UNDERGROUND IMPROVEMENTS HAVE BEEN LOCATED UNLESS OTHERWISE SHOWN.  
8. ELEVATIONS, IF SHOWN, ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988, UNLESS OTHERWISE NOTED.

3870 MINTON ROAD, WEST MELBOURNE, FL 32904 L.B. #6823  
PHONE: (321)789-8110, FAX: (321)952-9771 E-MAIL: [frank@aalsurvey.com](mailto:frank@aalsurvey.com)  
ANDREW W. POWSHOK, P.L.S. No. 5383  
DANIEL D. GARNER, P.L.S. No. 6188

LEGEND:  
[Symbol] - PLAT  
[Symbol] - MEASURED  
[Symbol] - DEED  
[Symbol] - FOUND  
[Symbol] - IRON ROD  
[Symbol] - CONCRETE MONUMENT  
[Symbol] - CENTERLINE  
[Symbol] - RIGHT OF WAY  
[Symbol] - PUBLIC UTILITY EASEMENT  
[Symbol] - DRAINAGE EASEMENT  
[Symbol] - LICENSE BUSINESS  
[Symbol] - PROFESSIONAL LAND SURVEYOR  
[Symbol] - FRESH FLOOD  
[Symbol] - ELEVATION  
[Symbol] - DELTA  
[Symbol] - RADIUS  
[Symbol] - ARC LENGTH  
[Symbol] - BASIS OF BEARING  
[Symbol] - NOT RADIUS  
[Symbol] - NAIL AND DISK  
[Symbol] - CONCRETE  
[Symbol] - ASPHALT  
[Symbol] - POINT ON LINE  
[Symbol] - PERMANENT REFERENCE MARKER  
[Symbol] - BUILDING SETBACK LINE



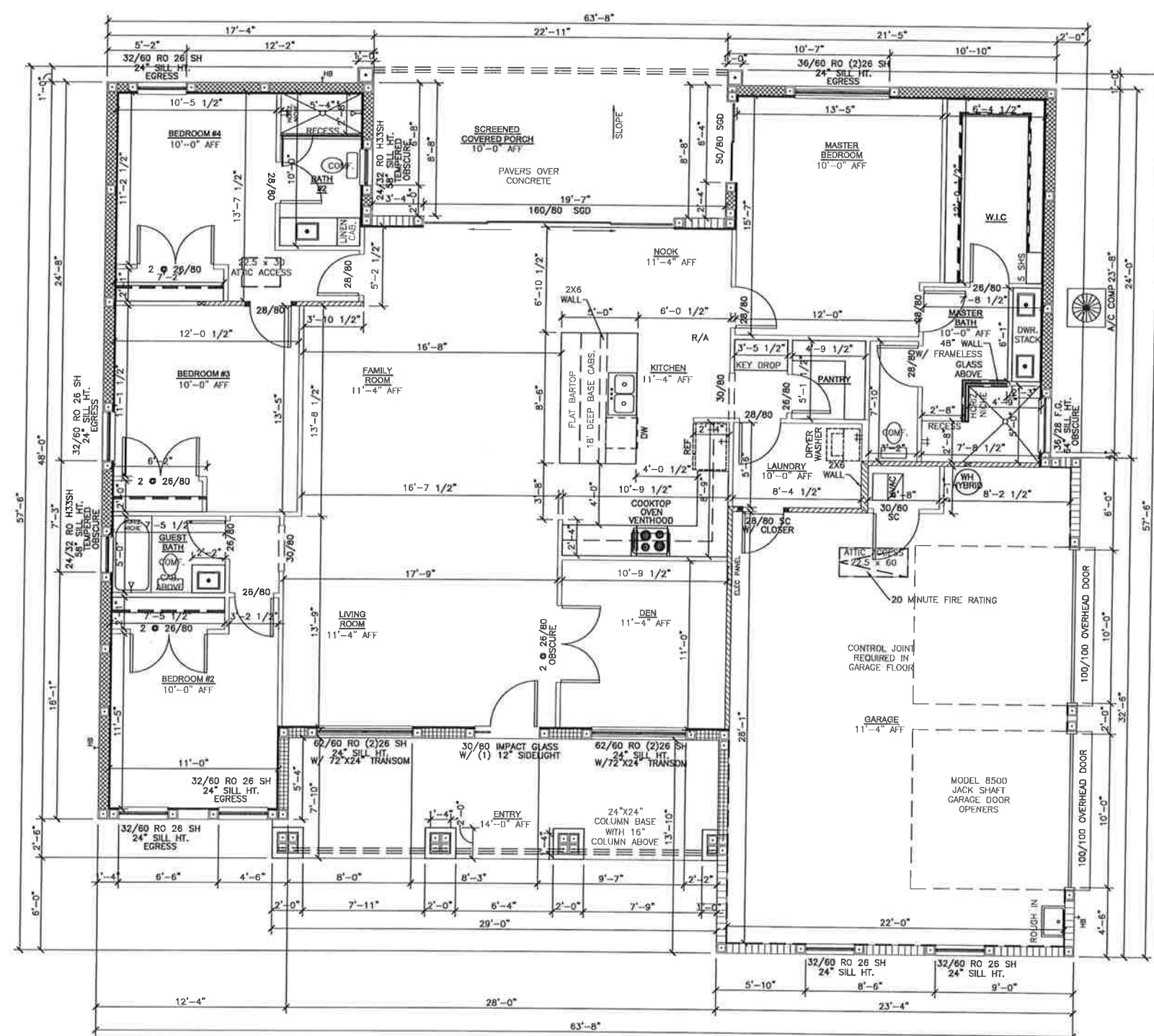
3453 W. New Haven Ave., Melbourne, FL 32904

**Tel: (321) 727-8188**

[illegible]







FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

COMPONENT AND CLADDING WIND LOADS BASIC WIND EXPOSURE FOR 3 SECOND DURATION				
OPENING AND TYPE	SQUARE FOOTAGE	ZONE	160 MPH WIND (V <sub>W</sub> )	REMARKS
MIN. WINDOW CRITERIA	10	5	37/-50	
EXTERIOR SWING DR. MIN. CRITERIA	10	5	36/-41	
S&D. MIN. CRITERIA	41	5	34/-43	
16'0" O.H.D.	112	5	31.0/-34.6	
12'x12' G.OFFIT	1	5	31.3/-49.9	

BASIC WIND SPEED MPH = 160 (Vult)  
INTERNAL PRESSURE COEFFICIENT = ± 0.18 BLDG.  
CAT. = II, EXP. = C, MEAN ROOF HT. = 22'-8"

PRESSURES HAVE BEEN MODIFIED PER FBCR 7TH ED.  
(2020) SECTION R301.2.1 TO MEET TESTED ALLOWABLE  
OR NOMINAL WIND LOAD VALUES FROM THE PRODUCT  
MANUFACTURER. CONTROL DATE: 09/02/21

SQ.FT. CALC.'S	
LIVING	2153 SQ. FT.
TOTAL LIVING	2153 SQ. FT.
GARAGE	104 SQ. FT.
COVERED PORCH	223 SQ. FT.
ENTRY	221 SQ. FT.
TOTAL	3301 SQ. FT.
A/C VOLUME	20,329.5 CUFT.

MASONRY / FRAME WALL LEGEND	
	10'-0" BRG.
	11'-4" BRG.
	14'-0" BRG.
	INTERIOR LOAD BRG. WALL UNO. ON PLANS
	4" INTERIOR NON LOAD BRG. WALL UNO. ON PLANS
	4" LOAD BEARING KNEEWALL SEE FRAMING PLAN
-ALL INTERIOR DOORS TO BE 8'-0" -ALL EXTERIOR DOORS TO BE 8'-0" UNLESS NOTED OTHERWISE	

ARCHITECTS  
**Design Group**  
2194 HWY A1A, SUITE 301  
INDIAN HARBOUR BEACH,  
FLORIDA 32937  
PH: 321-802-3591  
www.abdeslgngroup.com  
AA #: 0003325

**LifeStyle**  
HOMES  
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SUBDIV. & LOT:  
HOELZEL RESIDENCE  
400 BANYAN WAY,  
MELB. FL. 32903  
PROJECT#  
20010.087/2022-125  
MODEL  
CAPRI-C-R  
GARAGE SWING:  
RIGHT  
PAGE:  
FIRST  
FLOOR PLAN  
160 MPH EXP. C

ARCHITECT:  
STATE OF FLORIDA  
Michael Anderson  
on  
MICHAEL C. ANDERSON  
AR NO 17305

PRINT DATE: 07/26/22  
SCALE: 1/4" = 1'-0"  
SHEET  
A1

Architectural elevation drawing of a house. The drawing includes the following details and dimensions:

- Roof:** SHINGLE ROOF. Pitch: 12/5.5.
- Columns:** Four columns supporting the roof. Callouts (1) through (5) point to details like banding and railings.
- Windows:**
  - Left side: Two windows, each 6'-4" high. Callout (13) points to a 2" banding detail.
  - Middle: A large window with a 36" high railing. Callout (14) points to a 6" banding detail.
  - Right side: Two windows, each 6'-4" high. Callout (15) points to a 2" banding detail.
- Door:** A central door with a 36" high railing. Callout (1) points to a 2" banding detail.
- Other Details:**
  - FOAM KNEE BRACE SEE DETAIL
  - CRICKET
  - Decorative foam shutter with 6" banding and 2" banding.
  - Dimensions: 1'-4", 14'-0" AFF, 11'-4" AFF, 10'-0" AFF.
- Floorline:** Indicated at the bottom.

Architectural elevation drawing of a house. The roof is labeled "SHINGLE ROOF" and has a pitch of 12/5.5. An "OFF-RIDGE VENT" is located on the roof. The house features a central entrance with a large window and two side windows. The side windows are labeled with dimensions: 4'-4" and 3'-10". The central window is labeled with dimensions: 4'-4" and 3'-10". The roofline is labeled "10'-0" AIR". The drawing is divided into three sections labeled 8, 9, and 10. The floorline is indicated at the bottom.

TAG	PRESSURES	ZONE	Sq.Ft.
(1)	+32.5 / -35.5	4	20-49.9
(2)	+31.6 / -34.5	4	20-49.9
(3)	+33.7 / -36.7	4	0-19.9
(4)	+33.7 / -36.7	4	0-19.9
(5)	+29.9 / -32.9	4	100-499.9
(6)	+29.9 / -32.9	4	100-499.9
(7)	+35.2 / -38.2	4	0-19.9
(8)	+32.2 / -35.2	4	20-49.9
(9)	+29.4 / -32.3	4	100-499.9
(10)	+33.7 / -44.2	5	0-19.9
(11)	+33.7 / -36.7	4	0-19.9
(12)	+35.2 / -38.2	4	0-19.9
(13)	+33.7 / -44.2	5	0-19.9
(14)	+33.7 / -36.7	4	0-19.9
(15)	+31.6 / -34.5	4	20-49.9

	SQ. FT.	
CONDITIONED LIVING SPACE	2478	OPEN CELL SPRAY FOAM (NO VENTS)
GARAGE	797	2- OFF RIDGE VENTS
COVERED PORCH	205	1-OFF RIDGE VENT
ENTRY	128	(NO VENTS)



2194 HWY A1A, SUITE 301  
 INDIAN HARBOUR BEACH,  
 FLORIDA 32937  
 PH: 321-802-3591  
 www.abdesigngroup.com  
 AA #: 0003325

DATE	DESCRIPTION
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9	



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**SUBDIV. & LOT:**  
 HOELZEL RESIDENCE  
 400 BANYAN WAY,  
 MELB. FL 32903

**PROJECT#**  
 20010.087/2022-125

**MODEL:**  
 CAPRI-C-R

**GARAGE SWING:**  
 RIGHT

**PAGE:**  
 FRONT &  
 REAR  
 ELEVATIONS

**160 MPH EXP. C**

**ARCHITECT:**  
 STATE OF FLORIDA  
 Michael C. Anderson  
 el  
 Anderson  
 on



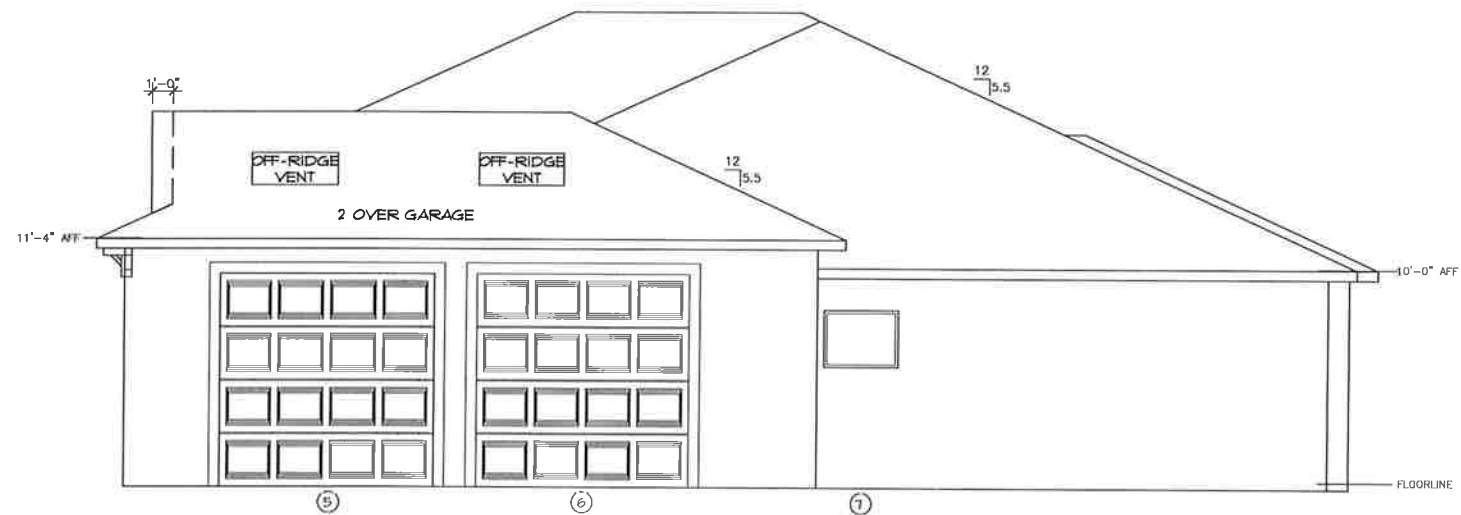
**MICHAEL C. ANDERSON**  
 AR NO 17305

**PRINT DATE:** 07/26/22

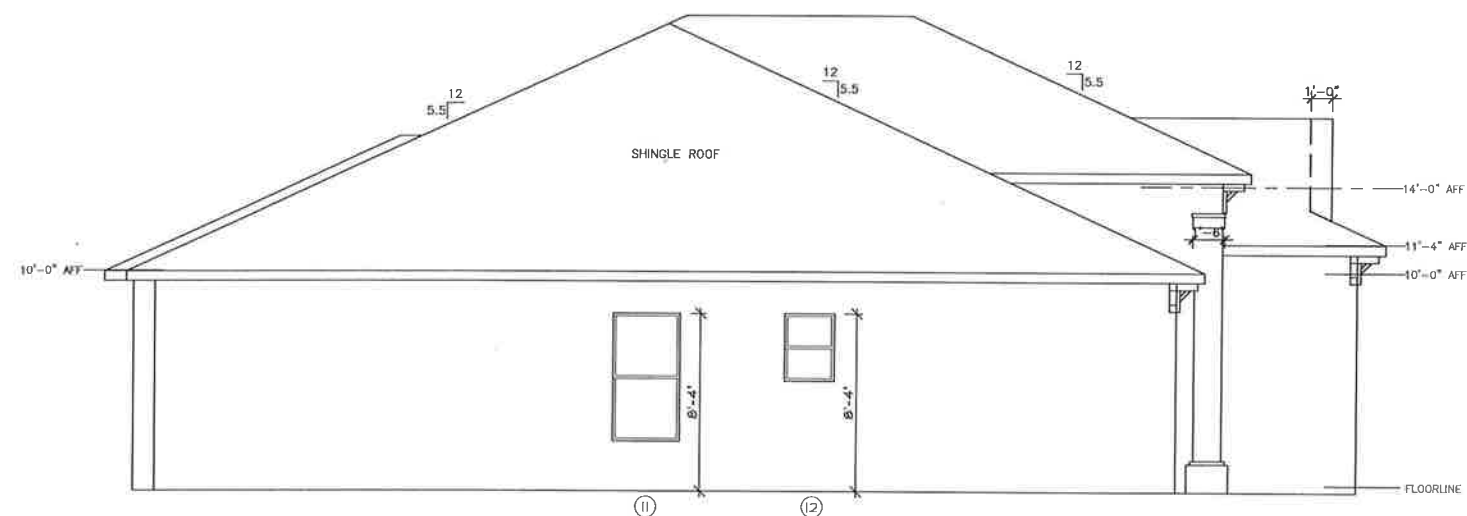
**SCALE:** 1/4"=1'-0"

**SHEET**  
 A2





RIGHT ELEVATION  
SCALE: 1/4" = 1'-0" TEXTURED FINISH



LEFT ELEVATION  
SCALE: 1/4" = 1'-0" TEXTURED FINISH

WINDOW PRESSURE CHART 160 MPH			
TAG	PRESSURES	ZONE	SqFt.
①	+32.5 / -35.5	4	20-49.9
②	+31.6 / -34.5	4	20-49.9
③	+33.7 / -36.7	4	0-19.9
④	+33.7 / -36.7	4	0-19.9
⑤	+29.9 / -32.9	4	100-499.9
⑥	+29.9 / -32.9	4	100-499.9
⑦	+35.2 / -38.2	4	0-19.9
⑧	+32.2 / -35.2	4	20-49.9
⑨	+29.4 / -32.3	4	100-499.9
⑩	+33.7 / -44.2	5	0-19.9
⑪	+33.7 / -36.7	4	0-19.9
⑫	+35.2 / -38.2	4	0-19.9
⑬	+33.7 / -44.2	5	0-19.9
⑭	+33.7 / -36.7	4	0-19.9
⑮	+31.6 / -34.5	4	20-49.9



2194 HWY A1A, SUITE 301  
INDIAN HARBOUR BEACH,  
FLORIDA 32937  
PH: 321-802-3591  
www.abdesigngroup.com  
AA #: 0003325

DATE DESCRIPTION

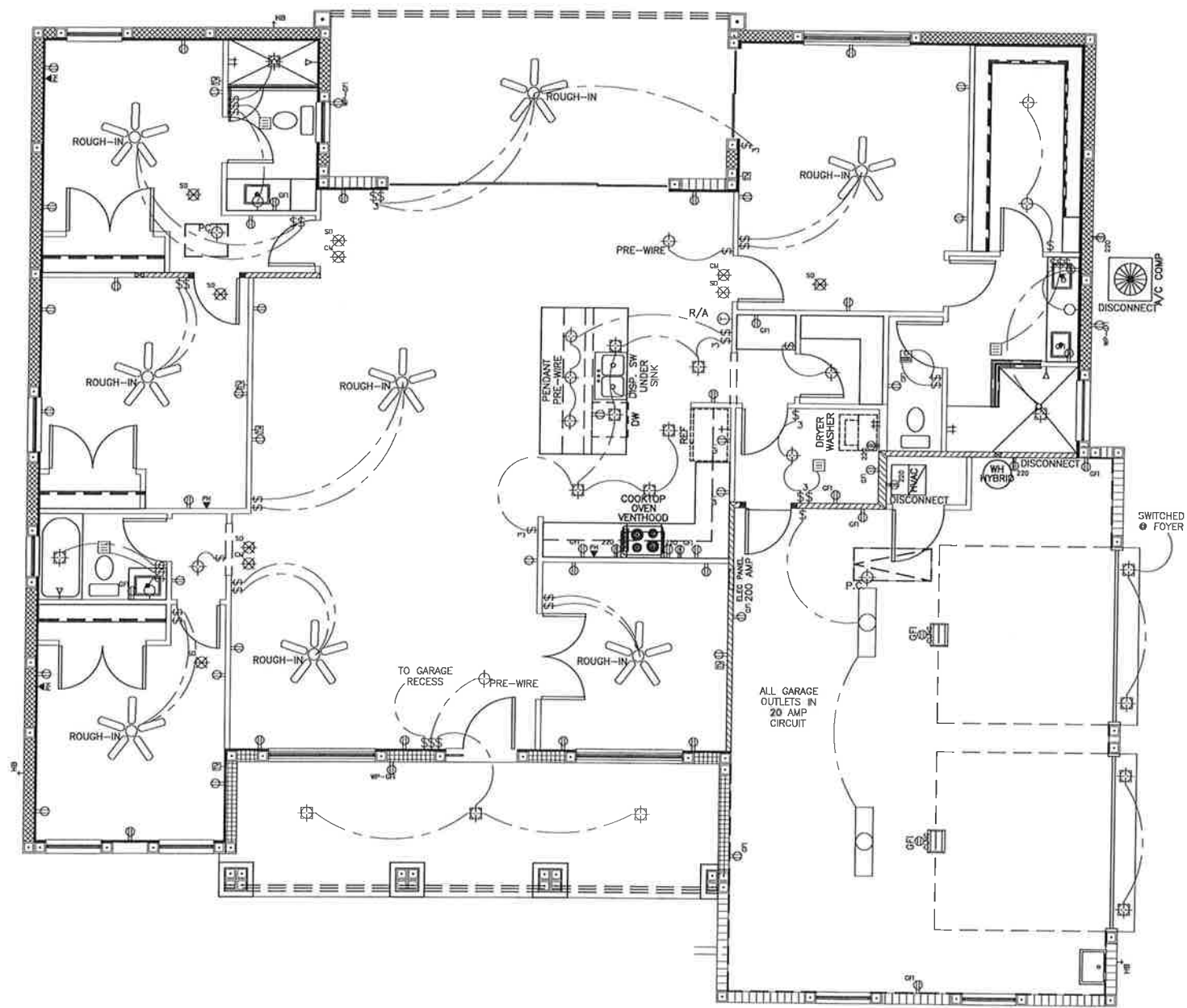
LifeStyle  
HOMES  
CRAFTSMAN 2013

SUBDIV. & LOT:  
HOELZEL RESIDENCE  
400 BANYAN WAY,  
MELB. FL. 32903  
PROJECT#  
20010.087/2022-125  
MODEL:  
CAPRI-C-R  
GARAGE SWING:  
RIGHT  
PAGE:  
RIGHT & LEFT  
ELEVATIONS  
160 MPH EXP. C

ARCHITECT:  
STATE OF FLORIDA  
Michael C. Anderson  
on 2022-08-08  
MICHAEL C. ANDERSON  
AR NO 17305

PRINT DATE: 07/26/22  
SCALE: 1/4"=1'-0"  
SHEET

A3



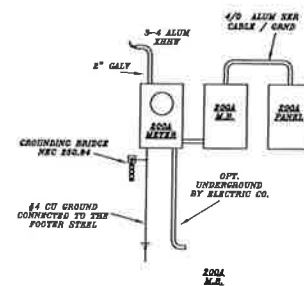
FIRST FLOOR ELECTRICAL PLAN  
SCALE: 1/4" = 1'-0"

ELECTRICAL NOTES:

1. PROVIDE ARC FAULT BREAKERS ON ALL 15A OR 20A 120V CIRCUITS & SMOKE DETECTORS
2. ALL RECEPTACLE OUTLETS INSTALLED IN BATHROOMS, GARAGES, KITCHEN COUNTERTOPS, WET-BAR SINKS, LAUNDRY ROOMS AND OUTDOORS SHALL BE GFCI PROTECTED.
3. ALL BATHROOM OUTLETS ARE ON A 20 AMP. SERVICE WITH NO OTHER OUTLETS
4. INTER SYSTEM BONDING WILL BE INSTALLED AT THE SERVICE EQUIPMENT
5. ALL ELECTRICAL WILL COMPLY WITH NEC 2017
6. ALL 15A/20A OR 120V BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES IN KITCHEN AND LAUNDRY WILL BE PROTECTED BY AFCI DEVICE

ELECTRICAL LEGEND

SWITCH	TV OUTLET
THREE-WAY SWITCH	SECURITY
FOUR-WAY SWITCH	SPEAKER
RHEOSTAT	THERMOSTAT
DIMMER SWITCH	SMOKE DETECTOR
DUPLEX	CARBON MONOXIDE DETECTOR
GFCI DUPLEX	CEILING LIGHT
COUNTERTOP DUPLEX	RECESSED CEILING LIGHT
SPLIT WIRED DUPLEX	RECESSED EYEBALL LIGHT
220 VOLT OUTLET	WALL HUNG LIGHT
QUADRUPLEX	EYEBALL LIGHT
CEILING DUPLEX	LANDSCAPING LIGHT
FLOOR DUPLEX	FLOODLIGHT
JUNCTION	VENT
DOOR BELL	VENT AND LIGHT
GARAGE DOOR	
PHONE OUTLET	



2194 HWY A1A, SUITE 301  
INDIAN HARBOUR BEACH,  
FLORIDA 32937  
PH: 321-802-3591  
www.abdesigngroup.com  
AA #: 0003325

DATE

LifeStyle  
HOMES

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SUBDIV. & LOT:  
HOELZEL RESIDENCE  
400 BANYAN WAY,  
MELB. FL 32903

PROJECT#  
20010.087/2022-125

MODEL:  
CAPRI-C-R  
GARAGE SWING:  
RIGHT

PAGE:  
FIRST FLOOR  
ELECTRICAL  
PLAN  
160 MPH EXP. C

ARCHITECT:  
STATE OF FLORIDA  
MICHAEL C. ANDERSON  
on 07/28/22  
MICHAEL C. ANDERSON  
AR NO 17305

PRINT DATE: 07/28/22  
SCALE: 1/4" = 1'-0"  
SHEET

E1

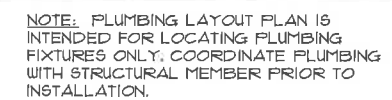
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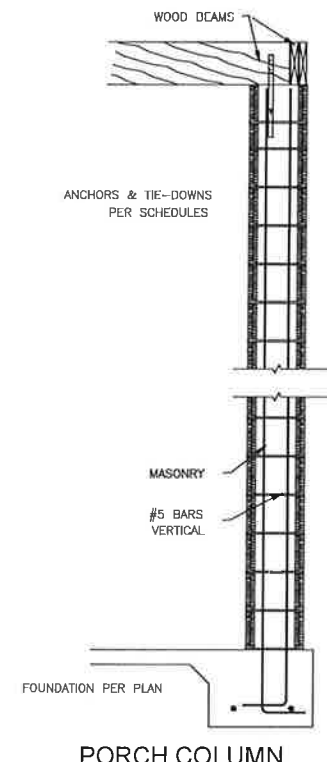
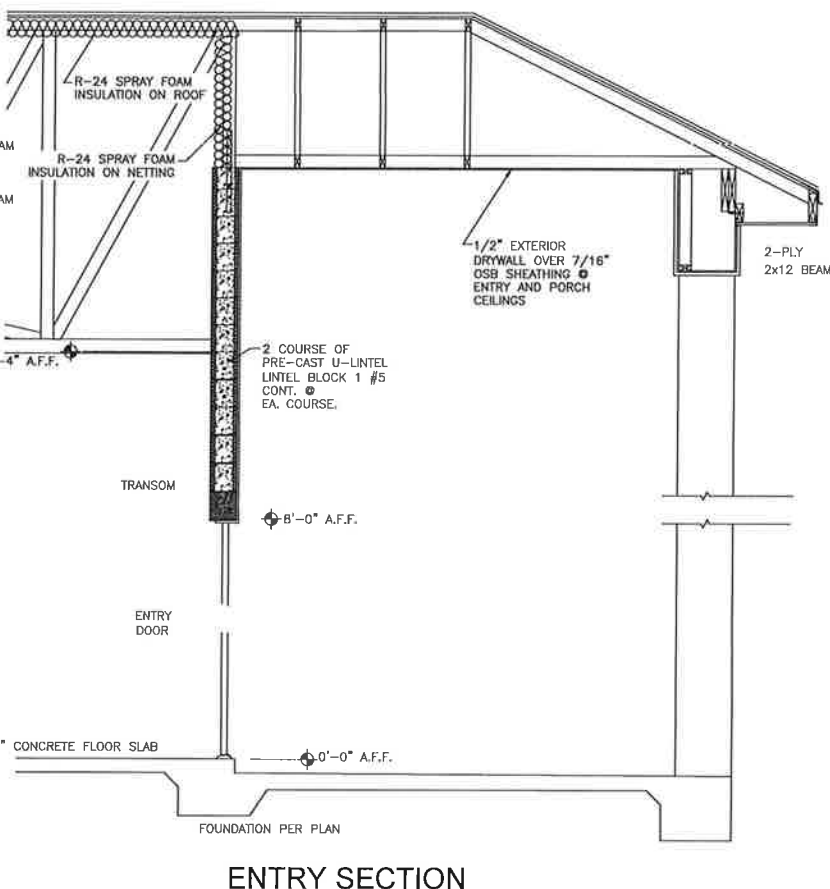
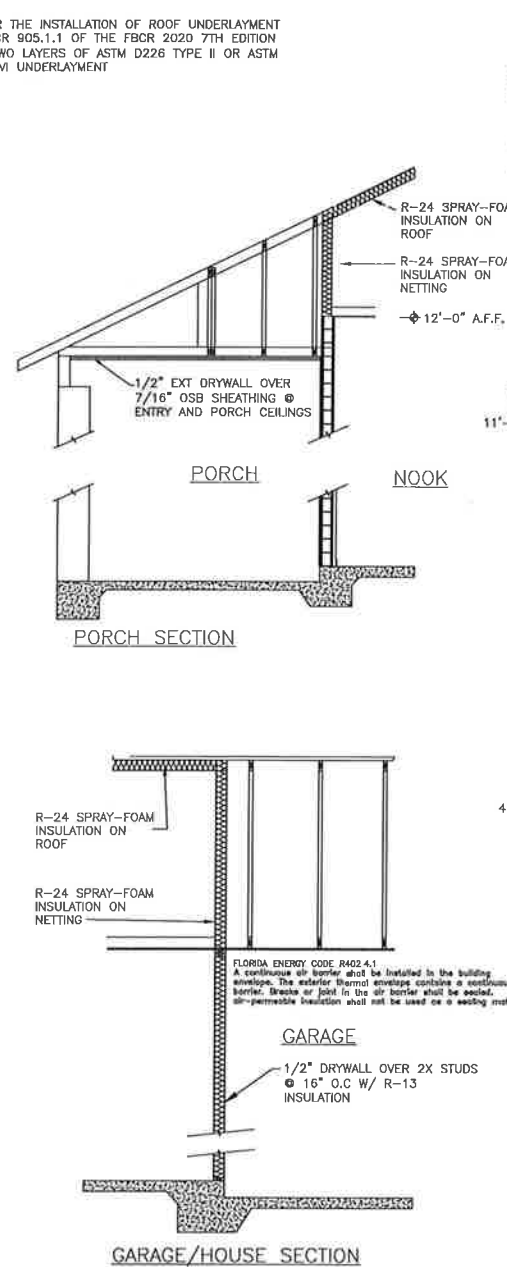
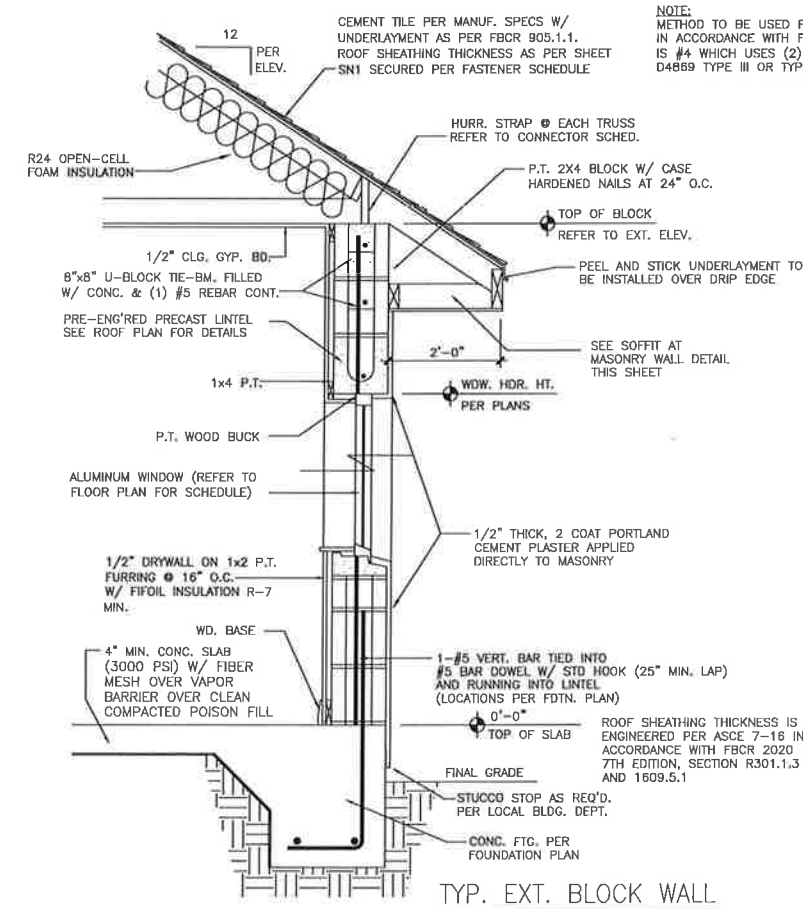
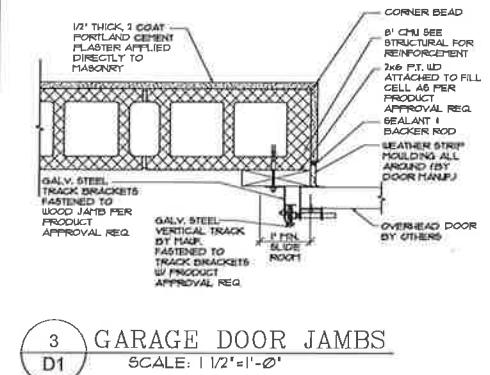
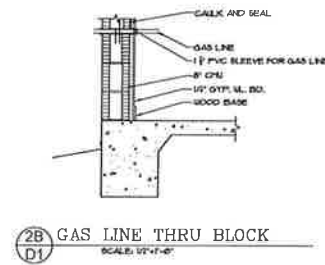
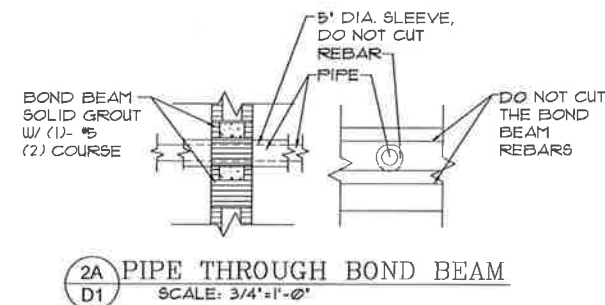
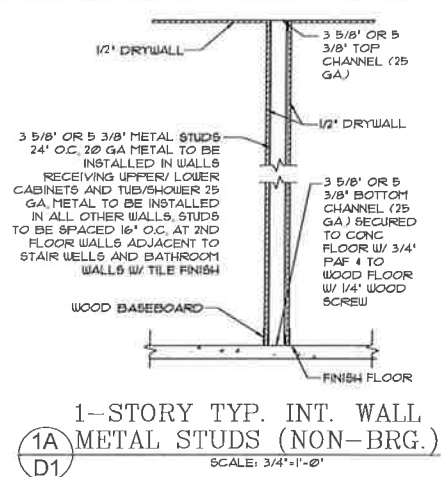
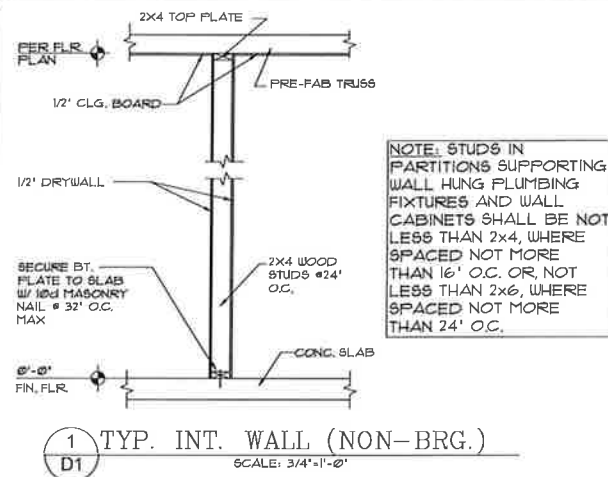


01000 FEBRUARY 1966

160 MPH EXP. C

SHEET  
D1





Note: WALL PENETRATION FLASHING PER FBCR 103.4 - Approved corrosion-resistant flashing shall be applied shingle-fashion in a manner to prevent entry of water into the wall cavity or penetration of water to the building structural framing components. Self-adhered membranes used as flashing shall comply with AAMA 11. All exterior fenestration products shall be sealed at the juncture with the building wall with a sealant complying with AAMA 800 or ASTM C920 Class 25 Grade NS or greater for proper joint expansion and contraction, ASTM C1281, AAMA 812, or other approved standard as appropriate for the type of sealant. Fluid-applied membranes used as flashing in exterior walls shall comply with AAMA 114. The flashing shall extend to the surface of the exterior wall finish.



**AB**  
Design Group  
LLC

2194 HWY A1A, SUITE 301  
INDIAN HARBOUR BEACH,  
FLORIDA 32937  
PH: 321-802-3591  
www.abdesigngroup.com  
AA #: 0003325

DATE	DESCRIPTION
1	
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**Life Style**  
HOMES

CBR12480982  
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**SUBDIV. & LOT:**  
HOELZEL RESIDENCE  
400 BANYAN WAY,  
MELB. FL. 32903

**PROJECT#**  
20010.087/2022-125

**MODEL:**  
CAPRI-C-R

**GARAGE SWING:**  
RIGHT

**PAGE:**  
DETAILS  
(SHINGLE)

160 MPH EXP. C

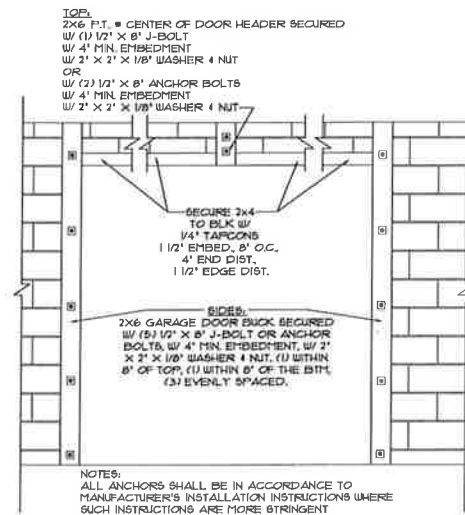
**ARCHITECT:**  
STATE OF FLORIDA  
Michael C. Anderson  
on  
MICHAEL C. ANDERSON  
AR NO 17905



**PRINT DATE:** 07/26/22

**SCALE:** 1/4"=1'-0"

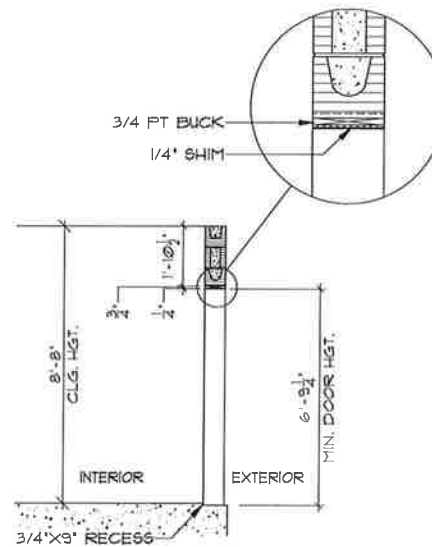
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D1



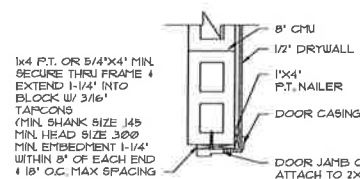
1  
D3

GARAGE DOOR  
BUCK ATTACHMENT

SCALE: 1/2"=1'-0"

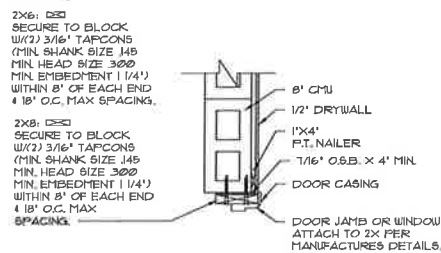


3/4" BUCK CONNECTION  
TO BLK DETAIL



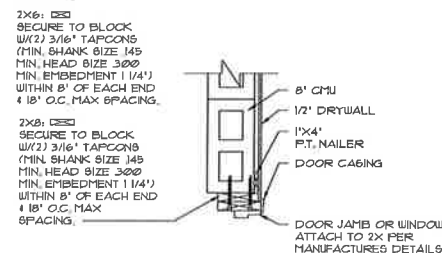
NOTE: SHIM AS NEEDED TO PLUMB  
JAMB (DO NOT EXCEED 1/4")

DOOR JAMB TO BLOCK  $+3/4"$  OR  $+5/4"$   
 WINDOW TO BLOCK  $+3/4"$  OR  $+5/4"$



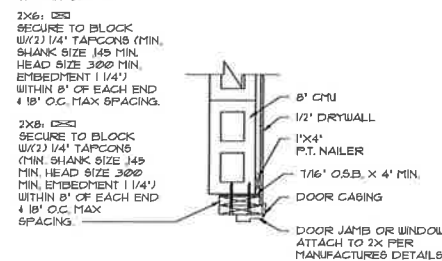
NOTE: SHIM AS NEEDED TO PLUMB  
JAMB (DO NOT EXCEED 1/4")

DOOR JAMB TO BLOCK +1 15/16"  
(C) WINDOW TO BLOCK +1 15/16"



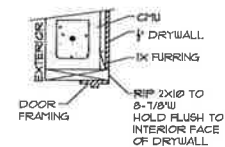
NOTE: SHIM AS NEEDED TO PLUMB  
JAMB (DO NOT EXCEED 1/4")

DOOR JAMB TO BLOCK +3"  
(E) WINDOW TO BLOCK +3"



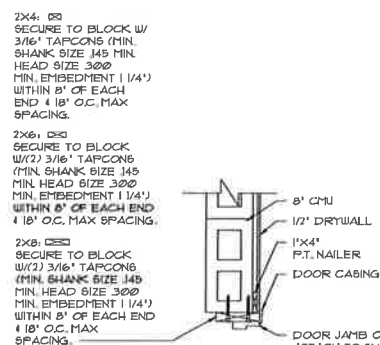
NOTE: SHIM AS NEEDED TO PLUMB  
JAMB (DO NOT EXCEED 1/4")

DOOR JAMB TO BLOCK +3 7/16"  
 (G) WINDOW TO BLOCK +3 7/16"



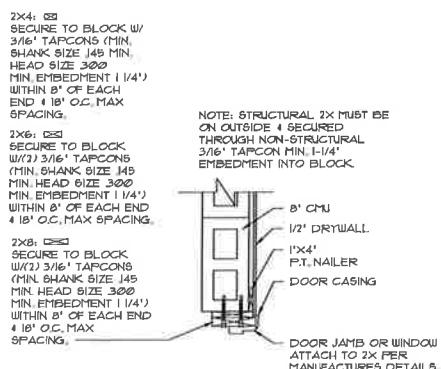
### K ENTRY DOOR BUCK REQUIREMENTS

NOTES:  
1. PER CODE AND MANUFACTURER'S  
REQUIREMENT 2X BUCKING FOR THE FRONT IN  
SWING DOORS: INSIDE FACE IF 2X BUCKING  
SHALL BE INSTALLED FLUSH WITH INSIDE FACE  
OF DRYWALL. REFER TO MANUFACTURER'S  
SPECIFICATIONS FOR INSTALLATION AND BUCK  
REQUIREMENTS. BUCK DETAILS SHOWN HERE  
ARE INTIONS TO ACHIEVE MANUFACTURER'S  
R.O. REQUIREMENTS, FASTENING OF WINDOWS  
AND DOORS WHERE 1X BUCK IS INSTALLED  
REQUIRES THE FRAME TO BE FASTENED  
DIRECTLY INTO MASONRY.



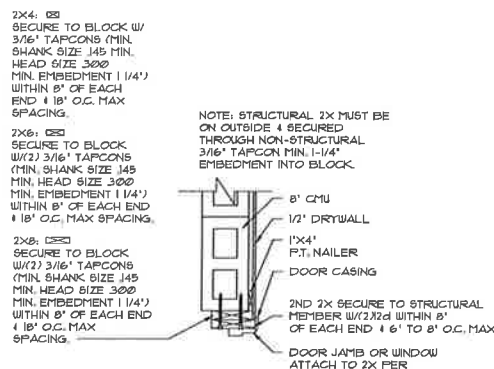
NOTE: SHIM A6 NEEDED TO PLUMB  
JAMB (DO NOT EXCEED 1/4")

DOOR JAMB TO BLOCK +1 1/2"



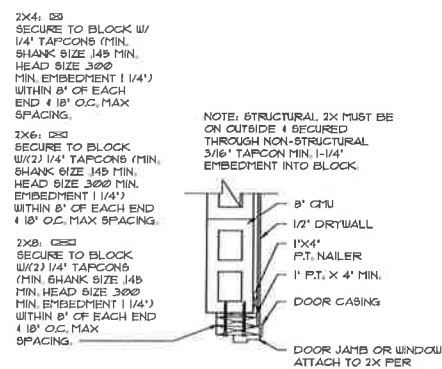
NOTE: SHIM AS NEEDED TO PLUMB  
JAMB (DO NOT EXCEED 1/4")

DOOR JAMB TO BLOCK +2 1/4"  
 (D) WINDOW TO BLOCK +2 1/4"



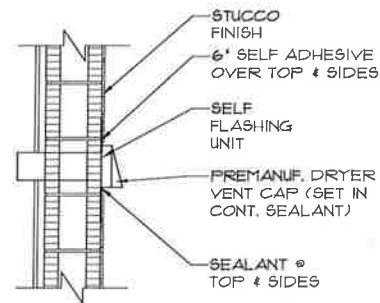
NOTE: SHIM AS NEEDED TO PLUMB  
JAMB (DO NOT EXCEED 1/4")

DOOR JAMB TO BLOCK +3"  
 WINDOW TO BLOCK +3"

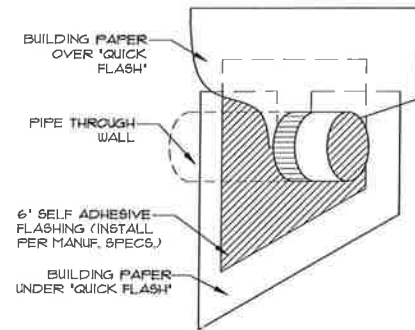


NOTE: SHIM AS NEEDED TO PLUMB  
JAMB (DO NOT EXCEED 1/4")

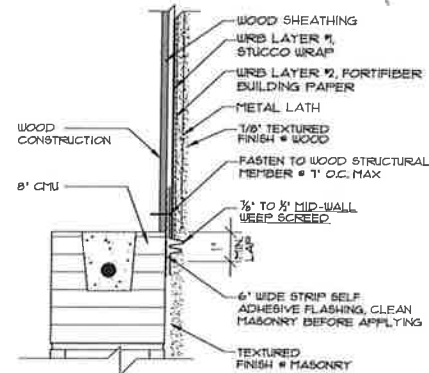
DOOR JAMB TO BLOCK +3 3/4"  
(H) WINDOW TO BLOCK +3 3/4"



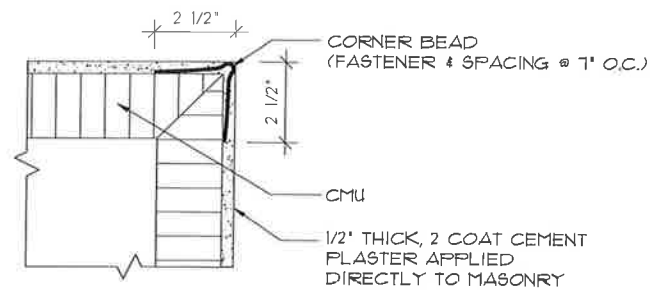
6B DRYER VENT (BLOCK)



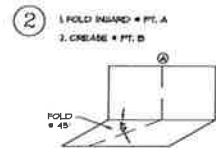
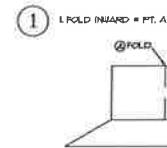
A VENT PENETRATION  
SCALE: N.T.S.



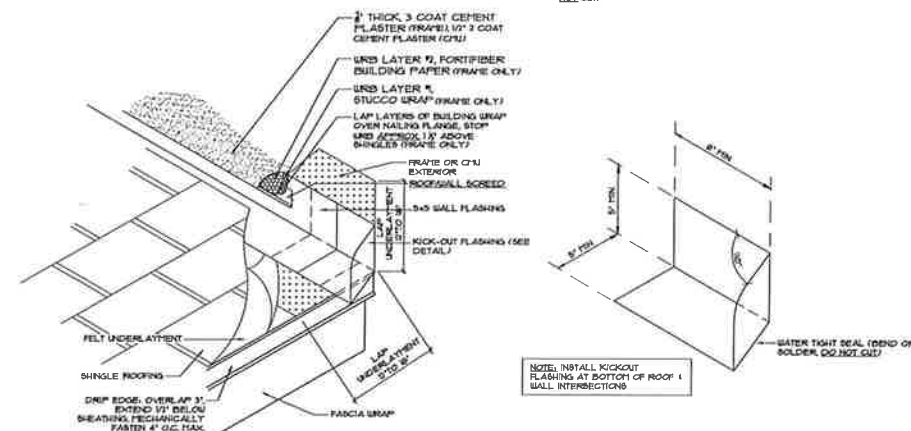
7B HORIZONTAL WEEP SCREED  
(FRAME TO BLOCK)



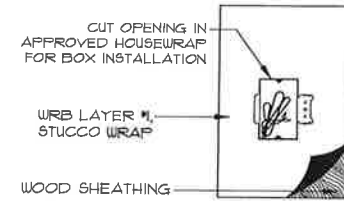
14B CORNER BEAD @ BLOCK



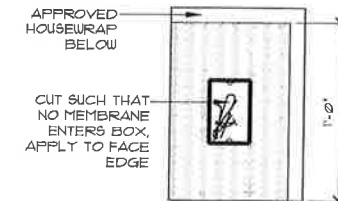
4 KICKOUT  
DETAIL



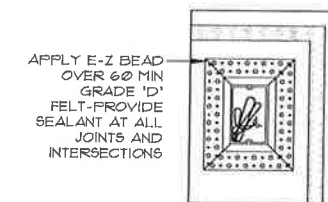
5 "L" FLASHING  
N.T.S.



STEP #1

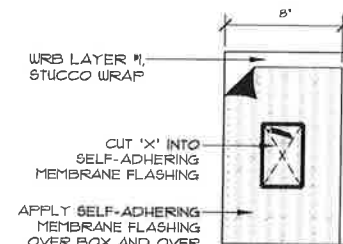


STEP #3

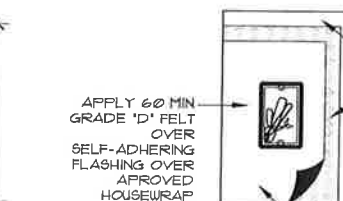


STEP #5

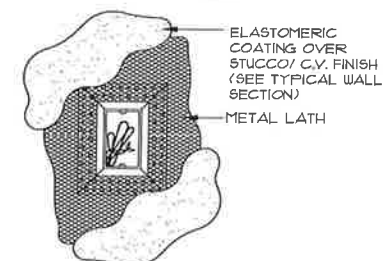
9 ELECTRICAL RECEPTACLE



STEP #2



STEP #4



STEP #6

## LEGEND

DRAINAGE PLANE (WRB LAYER #1, STUCCO WRAP)	_____
WRB LAYER #2 (FORTIFIBER BUILDING PAPER)	-----
METAL LATH	x---x---x---x
STUCCO	_____
WOOD OR 7/16" ZIP WALL SHEATHING	_____
SELF-ADHESIVE FLASHING	-----

NOTE:  
METAL LATH: LATH TO BE PER SECTION RT03.7.1 / ASTM C-847-14a, MIN. 2.5 LBS. PER SQ. YARD (UTILITY OR NOMINAL LATH DOES NOT MEET SPECIFICATIONS)



NO.	DESCRIPTION
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SUBDIV. & LOT:  
HOELZEL RESIDENCE  
400 BANYAN WAY,  
MELB. FL 32903  
PROJECT#  
20010.087/2022-125  
MODEL  
CAPRI-C-R  
GARAGE SWING:  
RIGHT  
PAGE:  
WALL  
ASSEMBLY  
DETAILS  
160 MPH EXP. C

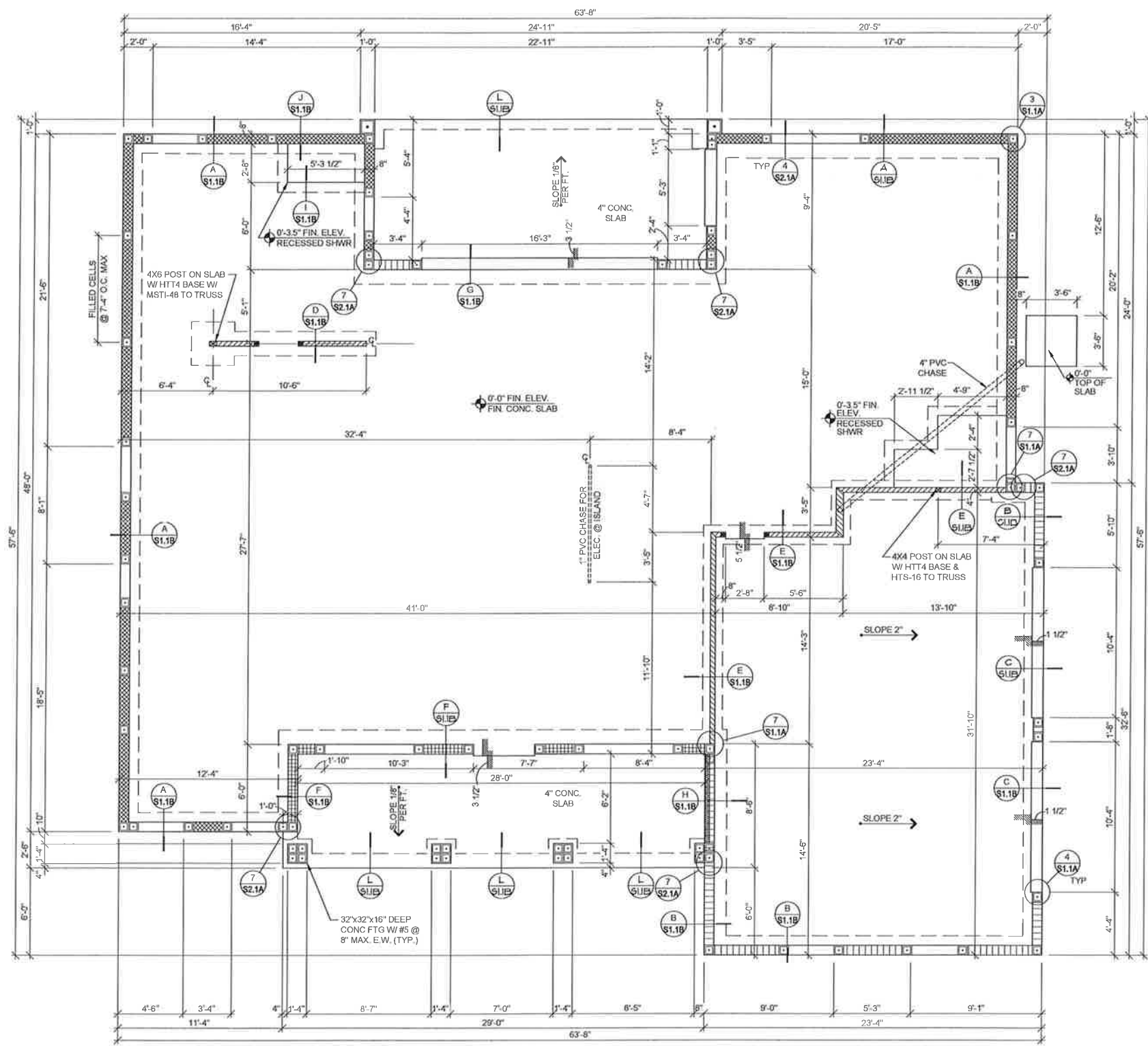
ARCHITECT:  
STATE OF FLORIDA  
Michael C. Anderson  
On 2022-08-08  
MICHAEL C. ANDERSON  
AR NO 17305

PRINT DATE: 07/26/22  
SCALE: 1/4"=1'-0"  
SHEET

WA1







FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

SLAB SCHEDULE			
SLAB	THICKNESS	REINF.	REMARKS
GENERAL	3 1/2"	6x6 W/ 4x4 W/ 4 OVER 6 MIL VAPOR BARRIER	COMPACTED FILL

MASONRY / FRAME WALL LEGEND

10'-0" BRG.

11'-4" BRG.

14'-0" BRG.

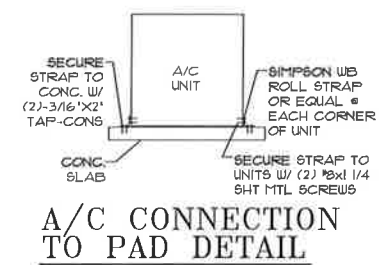
4" INTERIOR NON LOAD BRG. WALL UNO. ON PLANS

4" LOAD BEARING KNEEWALL SEE FRAMING PLAN

-ALL INTERIOR DOORS TO BE 8'-0"

-ALL EXTERIOR DOORS TO BE 8'-0" UNLESS NOTED OTHERWISE

- FOUNDATION NOTES
- SEE SLAB SCHEDULE FOR SLAB REQUIREMENTS. SEE GENERAL NOTES FOR COMPACTING REQUIREMENTS.
  - TOP OF FINISHED SLAB SHALL BE +0'-0".
  - COLUMN AND FOOTING CENTERLINES, SHALL COINCIDE UNLESS DIMENSIONED OTHERWISE.
  - REFERENCE ELEVATION +0'-0", SEE SURVEY PLOT FOR NAVD.
  - PROVIDE A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES, TREATMENT SHOULD BE IN ACCORDANCE WITH THE RULES AND LAWS AS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
  - PROVIDE ISOLATION JOINTS BETWEEN INTERIOR AND EXTERIOR SLABS ON GRADE: PROVIDE 1/2" FELT PAPER AT THE JOINT.
  - COORDINATE SLAB ELEVATIONS, STEPS, AND SLOPES WITH ARCHITECTURAL DRAWINGS.
  - SEE ARCHITECTURAL DRAWINGS FOR THE ORIENTATION OF THE BUILDING.
  - WINDOWS, DOORS AND ROUGH OPENINGS ARE TO BE COORDINATED WITH THE WINDOW/DOOR TYPES AND LOCATIONS NOTED ON THE ARCHITECTURAL DRAWINGS AND WITH THE MANUFACTURERS SPECIFICATIONS.
  - SEE ARCHITECTURAL DRAWINGS FOR WALKWAY SLAB LAYOUT.
  - INDICATES #5 BAR, INDICATES #6 BAR, INDICATES #7 BAR VERTICAL REINFORCING BAR IN CELLS FILLED WITH GROUT, ENDS OF REINF. BARS SHALL BE HOOKED INTO FOUNDATION BOND BEAM OR TIE BEAMS WITH AN ACI STANDARD 90° HOOK. BARS SHALL BE PLACED AS SHOWN IN THE PLANS.
  - SPLICES IN REINFORCING BARS SHALL NOT BE LESS THAN 48 BAR DIAMETERS (#5 = 30", #6 = 36"), AND REINFORCING SHALL BE CONTINUOUS.
  - RATIONAL ANALYSIS WAS PERFORMED TO DETERMINE SIZE AND STEEL REINFORCING FOR ALL FOUNDATIONS. DESIGNED WAS BASED ON ALL ALLOWABLE SOIL BEARING CAPACITY OF 2,000 PSF. TRANSFER REINFORCING (TOP STEEL) HAS BEEN DELETED UNLESS NOTED OTHERWISE.
  - VERTICAL REINFORCING IN CMU SHALL BE #5'S AS SHOWN ON THIS PLAN, UNLESS OTHERWISE NOTED IN THE PLAN. ONE REINFORCING BAR SHALL BE:  
A) IN ALL WALL INTERSECTIONS  
B) CHANGES IN ELEVATION  
C) EACH SIDE OF ALL OPENINGS  
D) ALL CORNERS
  - STRUCTURAL DESIGN IS IN ACCORDANCE WITH TMS 402/602-16, BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES AND THE COMMENTARY, CONSTRUCTION SHALL BE IN ACCORDANCE WITH TMS 402/602-16, USING: Fm = 2,000 PSI, TYPE "M" OR "S" MORTAR, ASTM C476 GROUT (3000 PSI), UNITS LAID IN RUNNING BOND.
  - WIRE WELDED MESH LOCATED IN THE MIDDLE TO UPPER 1/3 OF SLAB SUPPORTED 3'-0" O/C MAX. SEE PLAN FOR WWM SIZE.
- INSPECTOR NOTE:
- STRUCTURE WAS DESIGNED BASED ON THE 2020 FLORIDA RESIDENTIAL BUILDING CODE, RESIDENTIAL, 7th EDITION



ARCHITECTS  
Design Group LLC

2194 HWY A1A, SUITE 301  
INDIAN HARBOR BEACH,  
FLORIDA 32937  
PH: 321-802-3591  
www.abdesigngroup.com  
AA #: 0003325

DATE

DESCRIPTION

1 2 3 4 5 6 7 8 9 10 11 12

LifeStyle HOMES

CD/168808  
COPYRIGHT 2013

SUBDIV. & LOT:  
HOELZEL RESIDENCE  
400 BANYAN WAY,  
MELB. FL 32903

PROJECT#  
20010.087/2022-125

MODEL:  
CAPRI-C-R

GARAGE SWING:  
RIGHT

PAGE:  
FOUNDATION  
PLAN

160 MPH EXP. C

ARCHITECT:  
STATE OF FLORIDA

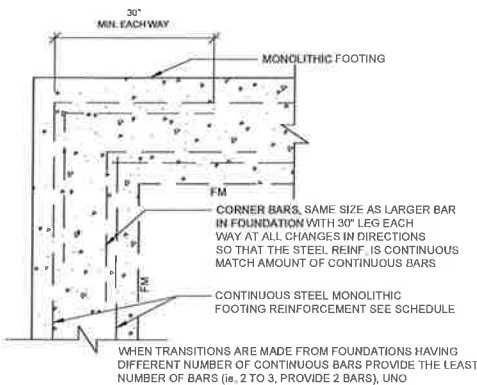
Michael C. Anderson  
on

2022-09-08  
10-0400

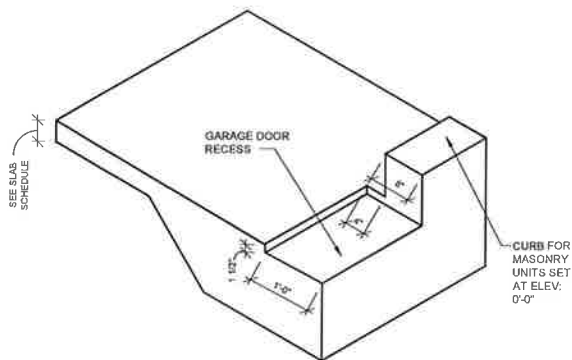
MICHAEL C. ANDERSON  
AR NO 17305

PRINT  
DATE: 07/26/22  
SCALE: 1/4"=1'-0"  
SHEET  
S1

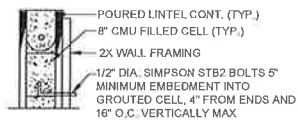




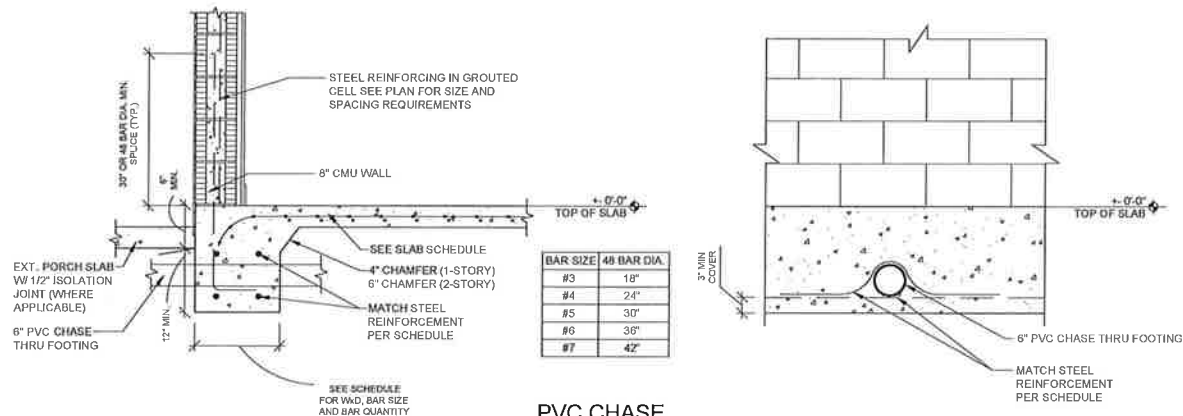
3 MONOLITHIC FOUNDATION CORNER BARS DETAIL  
SCALE: 3/4"=1'-0"



4 RECESS AROUND GARAGE DOOR OPENING  
SCALE: 3/4"=1'-0"



7 INTERIOR FRAME BRG WALL TO BLOCK WALL CONNECTION  
SCALE: 3/4"=1'-0"



9 PVC CHASE THRU FOOTING  
SCALE: 3/4"=1'-0"



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INDIAN HARBOUR BEACH,  
FLORIDA 32937  
PH: 321-802-3591  
www.abdesigngroup.com  
AA #: 0003325

DATE	DESCRIPTION
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2021/08/02  
SCOTT TRACY

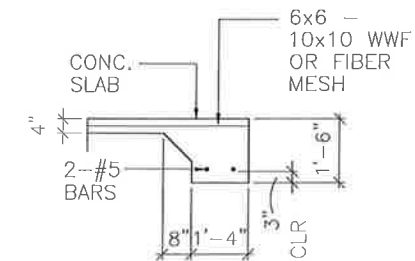
SUBDIV. & LOT:  
HOELZEL RESIDENCE  
400 BANYAN WAY,  
MELB. FL 32903  
PROJECT:  
20010.087/2022-125  
MODEL:  
CAPRI-C-R  
GARAGE SWING:  
RIGHT  
PAGE:

DETAILS

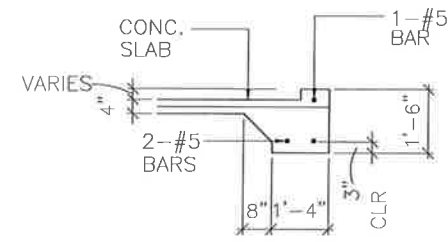
160 MPH EXP. C

ARCHITECT:  
STATE OF FLORIDA  
Michael C. Anderson  
on 2022-09-08  
MICHAEL C. ANDERSON  
AR NO 17305

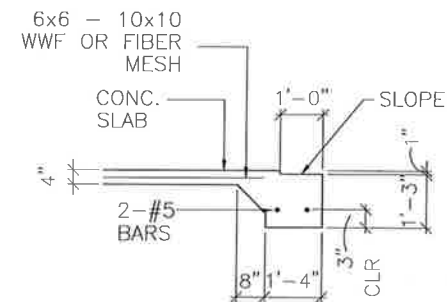
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DATE: 07/26/22  
SCALE: 1/4"=1'-0"  
SHEET  
S1.1A



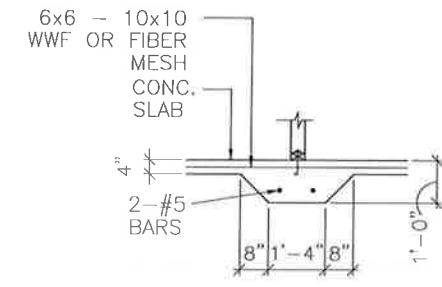
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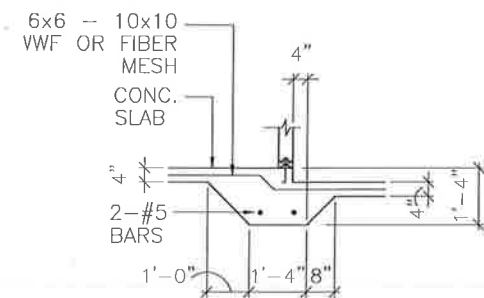
B DETAIL



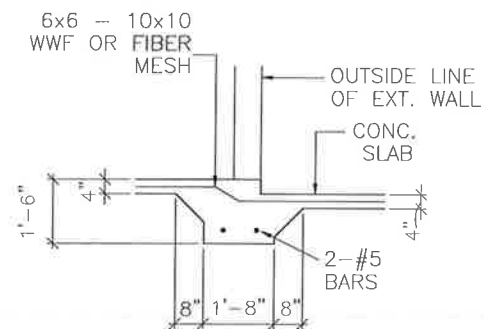
C DETAIL



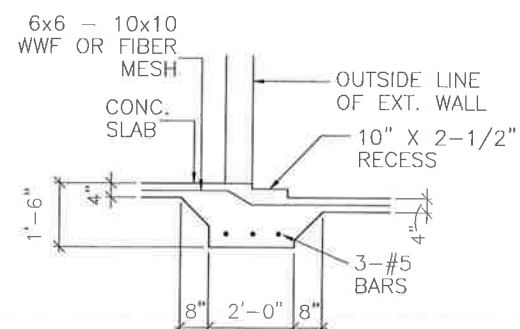
D DETAIL



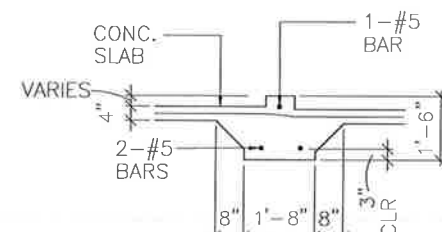
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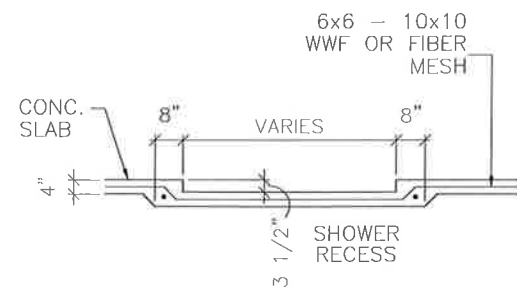
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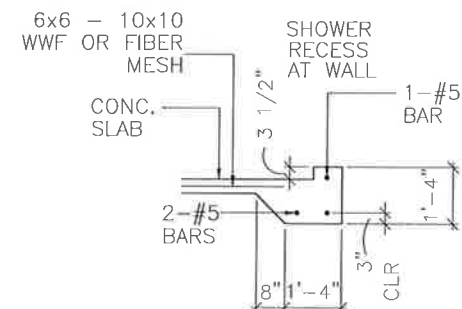
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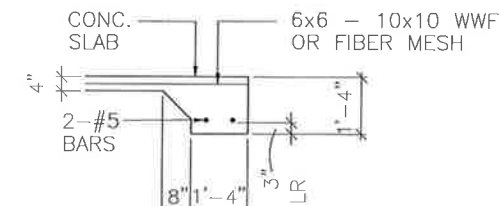
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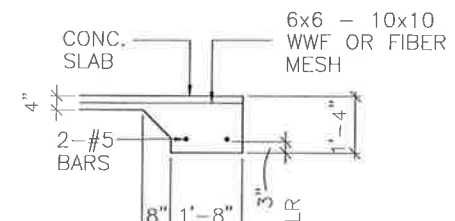
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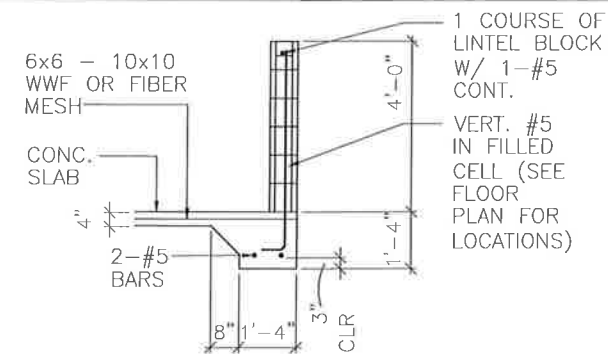
J DETAIL



L DETAIL



M DETAIL



N DETAIL



DATE	DESCRIPTION
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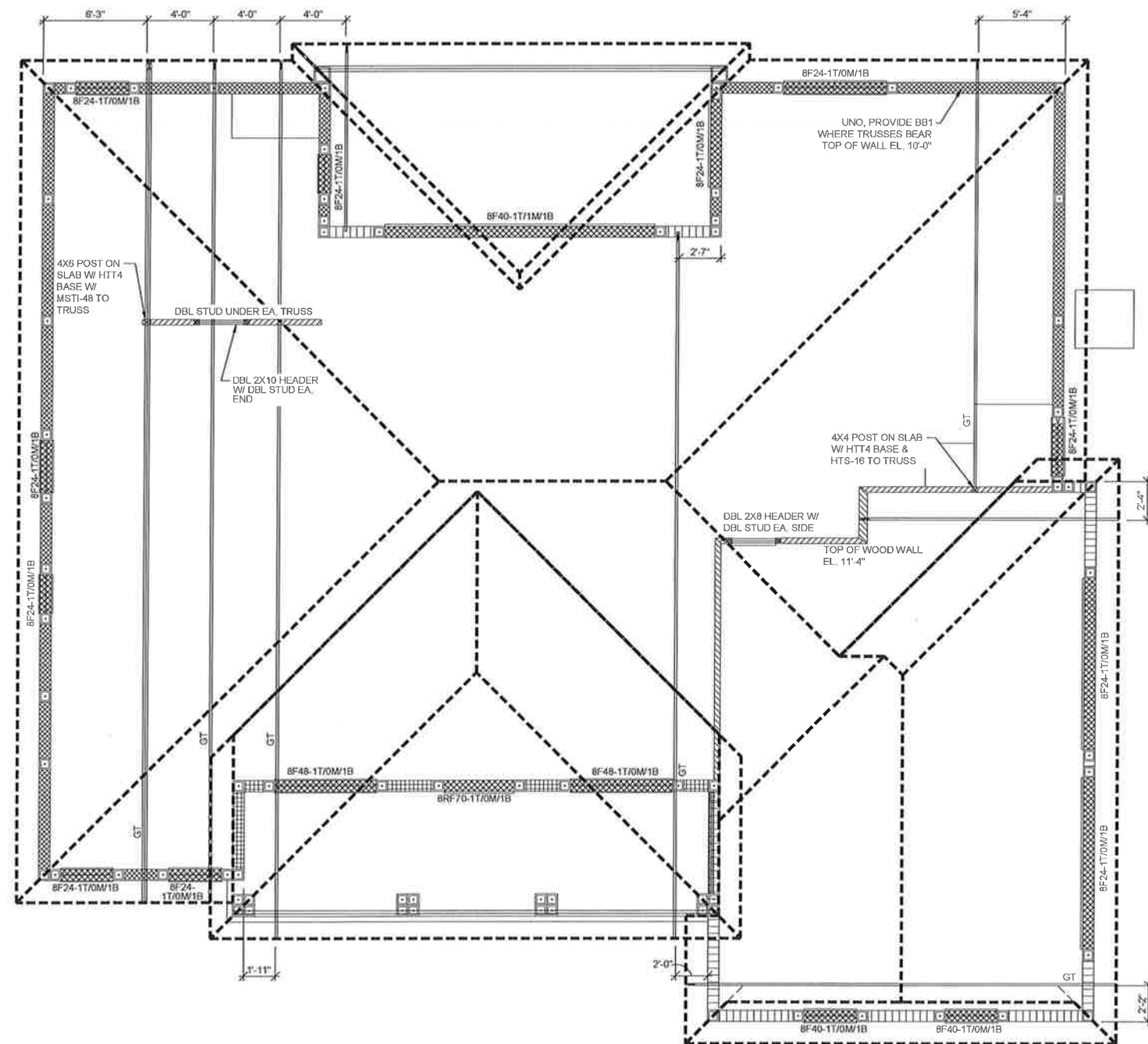


SUBDIV. & LOT:  
HOELZEL RESIDENCE  
400 BANYAN WAY,  
MELB. FL 32903  
PROJECT#  
20010.087/2022-125  
MODEL:  
CAPRI-C-R  
GARAGE SWING:  
RIGHT  
PAGE:  
DETAILS  
(LIFESTYLE)  
160 MPH EXP. C

ARCHITECT:  
STATE OF FLORIDA  
Michael C. Anderson  
on 2022-09-08  
MICHAEL C. ANDERSON  
AR NO 17305

PRINT  
DATE: 07/26/22  
SCALE: 1/4"=1'-0"  
SHEET  
S1.1B

S1.2 ]



LIFT BEAM PLAN  
SCALE: 1/4" = 1'-0"

FRAMING NOTES:

1. U.N.O. ALL STRAPS FOR ROOF TRUSSES TO BE CONCRETE TO WOOD ROOF: SIMPSON HETA16 W/ (S) 10d x 1 1/2" HDG NAILS, CONCRETE TO WOOD FLOOR: SIMPSON LTA2 W/ (S) 10d x 1 1/2" HDG NAILS, WOOD TO WOOD: SIMPSON HT10A OR LGT2 W/ 10d x 1 1/2" HDG NAILS, FILL ALL HOLES.
2. ALL PLYWOOD FOR WALL AND ROOF SHEATHING IS TO BE PER FASTENER SCHEDULE.
3. ALL PLYWOOD FOR FLOOR SHEATHING SHALL BE PER FASTER SCHEDULE MEETING THE REQUIREMENTS OF AFG-01 AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
4. ALL NAILS FOR TRUSS TO BEAM AND TRUSS TO TRUSS METAL CONNECTORS ARE TO BE GALVANIZED.
5. LINTELS AND MASONRY BEAMS WERE DESIGNED BASED ON CAST-CRETE, CONNECTORS ARE TO BE GALVANIZED.
6. LINTELS AND MASONRY BEAMS WERE DESIGNED BASED ON CAST-CRETE CONCRETE LINTELS.
7. BOTTOM OF LINTELS ARE TO BE PLACED AT TOP OF WINDOW, DOOR AND CLEAR SPAN OPENINGS.
8. LINTELS SHALL HAVE 4" NOMINAL BEARING (4")
9. THE TRUSS FRAMING SHOWN IS SCHEMATIC IN NATURE, HOWEVER THE SUPPORTING STRUCTURE HAS BEEN DESIGNED UNDER THE ASSUMPTION THE FRAMING SCHEME SHOWN WILL CLOSELY PARALLEL FINAL TRUSS DESIGNERS LAYOUT. SUBMIT FINAL TRUSS DRAWINGS FOR THE ENGINEER'S REVIEW AND APPROVAL.
10. PLACE 2x4 PT TO ALIGN WITH TOP AND BOTTOM CHORDS OF ROOF TRUSSES SECURE 2x MEMBERS TO WALL WITH HILTI X-ZF, POWDER ACTUATED FASTENER, 2F 72 P8S36, .177" x 2 7/8" LONG, WITH WASHER @ 16" O.C.
11. TRUSS REACTIONS AND UPLIFTS SHOWN ARE THE SAME ON EACH END UNLESS OTHERWISE SHOWN DIFFERENT.
12. WOOD BEARING WALLS AND HEADERS HAVE BEEN DESIGNED BASED ON RATIONAL ANALYSIS.
13. ALL ELEVATIONS ARE REFERENCED FROM 0'-0", FINISH FLOOR, UNLESS NOTED OTHERWISE.

SEE SHEET  
S2.1A FOR  
SAFE LOAD TABLES

MASONRY / FRAME WALL LEGEND	
	10'-0" BRG.
	11'-4" BRG.
	14'-0" BRG.
	INTERIOR LOAD BRG. WALL UNO. ON PLANS
	4" INTERIOR NON LOAD BRG. WALL UNO. ON PLANS
	4" LOAD BEARING KNEEWALL SEE FRAMING PLAN
-ALL INTERIOR DOORS TO BE 8'-0" -ALL EXTERIOR DOORS TO BE 8'-0" UNLESS NOTED OTHERWISE	



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INDIAN HARBOUR BEACH,  
FLORIDA 32937  
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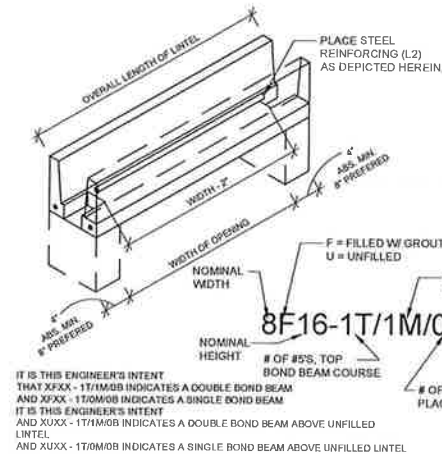
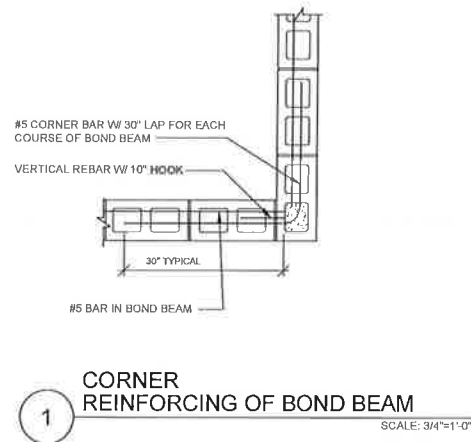
DATE	DESCRIPTION
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SUBDIV. & LOT:  
HOELZEL RESIDENCE  
400 BANYAN WAY,  
MELB. FL. 32903  
PROJECT#  
20010.087/2022-125  
MODEL:  
CAPRI-C-R  
GARAGE SWING:  
RIGHT  
PAGE:  
FIRST FLOOR  
LIFT BEAM PLAN  
AND NOTES  
160 MPH EXP. C

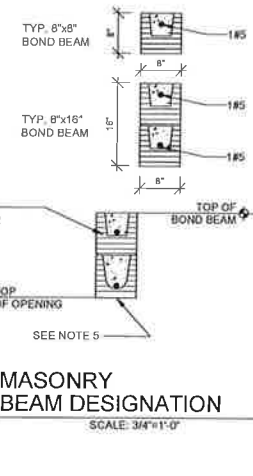
ARCHITECT:  
STATE OF FLORIDA  
Michael C. Anderson  
on 2023-08-08  
MICHAEL C. ANDERSON  
AR NO 17305

PRINT  
DATE: 07/26/22  
SCALE: 1/4"=1'-0"  
SHEET  
S2



## NOTES TO THE INSPECTOR/CONTRACTOR

1. PLACE LINTEL ACROSS TOP OF OPENING.
2. IF BOTTOM STEEL IS REQUIRED PLACE #5 BAR IN LINTEL.
3. PLACE MASONRY UNITS AS REQUIRED TO ACHIEVE THE REQUIRED BEARING HEIGHT.
4. THE LAST COURSE WILL BE A BOND BEAM WITH (1) #5 BAR CONTINUOUS AROUND STRUCTURE. A DOUBLE BOND BEAM MAY BE SPECIFIED SO THAT THEN THE LAST TWO COURSES ARE BOND BEAMS WITH A #5 BAR IN EACH COURSE.
5. SHOULD THE DOUBLE BOND BEAM COINCIDE WITH A LINTEL THE BOTTOM COURSE OF BOND BEAM IS OMITTED AND A LINTEL IS PLACED. THE STEEL REINFORCING FOR THE BOTTOM BOND BEAM IS TO BE CONTINUOUS THROUGH THE TOP OF THE LINTEL.
6. UNO COMPOSITE MASONRY BEAM IS TO BE NOT LESS THAN 16" DEEP.



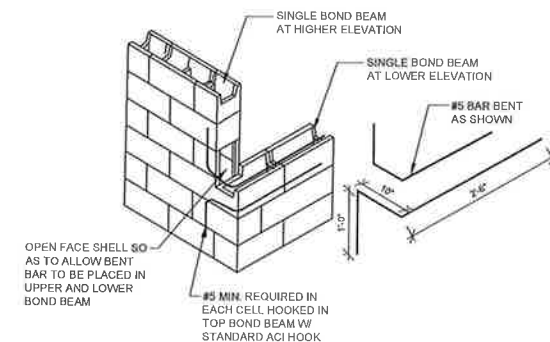
## MASONRY BEAM DESIGNATION

SCALE: 3/4"=1'-0"

"LOTT'S CONCRETE" / "CAST-CRETE" / "QUALITY" SAFE LOAD TABLES									
SAFE GRAVITY LOADS FOR 8" PRECAST & PRESTRESSED U-LINTELS									
LENGTH	TYPE	SAFE LOAD - POUNDS PER LINEAR FOOT	SAFE LATERAL LOADS FOR						
			SAFE LOAD PLF		SAFE UPLIFT LOADS FOR 8" PRECAST & PRESTRESSED U-LINTELS				
LENGTH	TYPE	SAFE LOAD - POUNDS PER LINEAR FOOT	TYPE	SAFE LOAD PLF	LENGTH	TYPE	SAFE LOAD - POUNDS PER LINEAR FOOT	TYPE	SAFE LOAD - POUNDS PER LINEAR FOOT
3'-0"	PRECAST	1436	8/8 PLAIN	689	3'-0"	PRECAST	1436	8/8 PLAIN	689
4'-0"	PRECAST	1065	8/8 SOLID	1024	4'-0"	PRECAST	1065	8/8 SOLID	1024
4'-6"	PRECAST	819			4'-6"	PRECAST	819		
5'-4"	PRECAST	931			5'-4"	PRECAST	931		
5'-10"	PRECAST	817			5'-10"	PRECAST	817		
6'-8"	PRECAST	692			6'-8"	PRECAST	692		
7'-6"	PRECAST	570			7'-6"	PRECAST	570		
8'-4"	PRECAST	428			8'-4"	PRECAST	428		
10'-6"	PRECAST	388			10'-6"	PRECAST	388		
11'-4"	PRECAST	330			11'-4"	PRECAST	330		
12'-0"	PRECAST	308			12'-0"	PRECAST	308		
13'-4"	PRECAST	270			13'-4"	PRECAST	270		
14'-0"	PRECAST	254			14'-0"	PRECAST	254		
14'-6"	PRESTRESSED	N.R.			14'-6"	PRESTRESSED	N.R.		
15'-4"	PRESTRESSED	N.R.			15'-4"	PRESTRESSED	N.R.		
17'-4"	PRESTRESSED	N.R.			17'-4"	PRESTRESSED	N.R.		
19'-4"	PRESTRESSED	N.R.			19'-4"	PRESTRESSED	N.R.		
21'-4"	PRESTRESSED	N.R.			21'-4"	PRESTRESSED	N.R.		
22'-0"	PRESTRESSED	N.R.			22'-0"	PRESTRESSED	N.R.		
24'-0"	PRESTRESSED	N.R.			24'-0"	PRESTRESSED	N.R.		

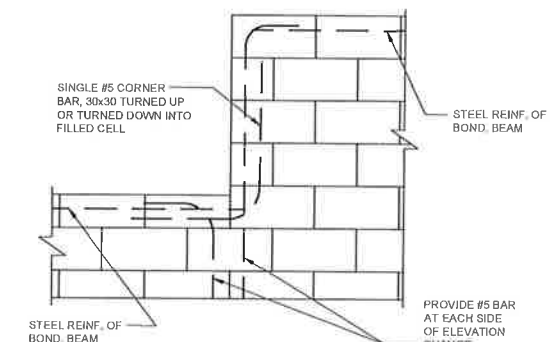
- ALL VALUES TAKEN AS THE LESSER FROM "SAFE LOAD TABLES" BY "QUALITY" 2018 EDITION, LOTT'S MAY 2015 EDITION AND CASTCRETE MAY 2015 EDITION.  
- ALL PRECAST PRODUCTS ARE TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS

- PRECAST PRODUCTS BY OTHERS TO MEET OR EXCEED VALUES STATED ABOVE  
- PROVIDE MINIMUM 4" OF BEARING PAST EACH SIDE OF WINDOW OPENING



## TYPICAL MASONRY WINDOW SILL CONSTRUCTION

SCALE: 1 1/2"=1'-0"



## CHANGE IN ELEVATION OF BOND BEAM

SCALE: 3/4"=1'-0"

WOOD SECTION	FASTENER SPACING
(2) 2x4	$d_s = 2"$ MIN, $2\frac{1}{2}"$ MAX $s_s = 2\frac{1}{2}"$ MIN, $9"$ MAX $e_s = \frac{1}{2}"$ MIN, $2\frac{1}{2}"$ MAX
(2) 2x6	$d_s = 2"$ MIN, $2\frac{1}{2}"$ MAX $s_s = 2\frac{1}{2}"$ MIN, $9"$ MAX $e_s = \frac{1}{2}"$ MIN, $2\frac{1}{2}"$ MAX
(2) 2x8	$d_s = 2"$ MIN, $2\frac{1}{2}"$ MAX $s_s = 2\frac{1}{2}"$ MIN, $9"$ MAX $e_s = \frac{1}{2}"$ MIN, $2\frac{1}{2}"$ MAX

NOTE:  
• ADJACENT NAILS ARE DRIVEN FROM OPPOSITE SIDES OF THE COLUMN  
• ALL NAILS PENETRATE ALL LAMINATIONS AND AT LEAST  $1\frac{1}{2}"$  OF THE THICKNESS OF THE OUTERMOST LAMINATION

WHERE:  
 $d_s$  = END DISTANCE  
 $s_s$  = SPACING BETWEEN ADJACENT FASTENERS IN A ROW  
 $e_s$  = SPACING BETWEEN ROWS OF FASTENERS  
 $e_d$  = EDGE DISTANCE

\*MUST HAVE 2 OR MORE LONGITUDINAL ROWS OF NAILS

## DOUBLE STUD W/ 10d NAIL ATTACHMENT

SCALE: N.T.S.

**ARCHITECTS**  
**Design Group, Inc.**  
2194 HWY A1A, SUITE 301  
INDIAN HARBOUR BEACH,  
FLORIDA 32937  
PH: 321-902-3591  
www.abdesigngroup.com  
AA #: 0003325

NO.	DESCRIPTION	DATE
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7		
8		
9		
10		

**LifeStyle HOMES**  
SUBDIV. & LOT:  
HOELZEL RESIDENCE  
400 BANYAN WAY,  
MELB. FL. 32903  
PROJECT:  
20010.087/2022-125  
MODEL:  
CAPRI-C-R  
GARAGE SWING:  
RIGHT  
PAGE:  
DETAILS  
160 MPH EXP. C

ARCHITECT:  
STATE OF FLORIDA  
Michael C. Anderson  
on  
MICHAEL C. ANDERSON  
AR NO 17305

PRINT DATE: 07/26/22  
SCALE: 1/4"=1'-0"  
SHEET  
S2.1A



FRAMING NOTES

1. HURRICANE STRAPS TO BE SIMPSON STRONG, U.N.O.  
2. TYPICAL HURRICANE STRAPS ARE AS FOLLOWS, U.N.O:  
\* FOR OPEN WEB TRUSSES - TRUSS TO MASONRY /CONCRETE SHALL BE HETA-16 (INCLUDING FLOOR TRUSSES).  
\* FOR FLOOR JOISTS (I-JOISTS) - STRUCTURAL RIM BOARD TO MASONRY /CONCRETE SHALL BE HETA-16 AT 32" ON CENTER MAX, STRUCTURAL RIM BOARD W/ PERPENDICULAR I-JOIST STRAP TO MASONRY/CONCRETE SHALL BE HETA-16 AT 24" ON CENTER MAX.  
\* TRUSS TO WOOD FRAMING SHALL BE HTS-16 (INCLUDING FLOOR TRUSSES).  
3. TRUSS TO TRUSS CONNECTIONS AND HANGERS SHALL BE DESIGNED AND SUPPLIED BY TRUSS MANUFACTURER.  
4. REFER TO TRUSS MANUFACTURER'S SIGNED AND SEALED DRAWINGS FOR LOCATIONS, PROFILE, AND SIZE OF ROOF/FLOOR TRUSSES.  
5. HEADER SPAN CHART & MINIMUM WALL & HEADER STUD REQ. ARE STANDARD U.N.O ON FRAMING PLAN  
6. MIN. 2X4 HIP CUT BLOCKING SECURED W/3-10d GUN NAILS OR 3-12d HAND DRIVES @ EA. END, CUT PITCH & BEVEL TO FIT TIGHT TO TRUSS AS PER APA REQUIREMENTS.  
7. EXTEND AND ATTACH WALL SHEATHING PAST FLOOR TRUSSES TO TOP OF TRUSS BEARING.  
8. PROVIDE DRAFT STOPPING IN FLOOR TRUSSES AS REQUIRED FOR MAX 1000 SF, COMPARTMENT PER 2014 FBC RESIDENTIAL-SECTION R302.12.  
9. REFER TO DETAIL 8 SHEET D4 FOR 1-STORY INTERIOR LOAD BEARING WALL STRAPS & DETAILS.  
10. A 4'-0" 2"x4" MAY BE ADDED W/ 10d NAILS, 2 ROWS, 3" O.C. TO FACILITATE ONE ADDITIONAL PLYMAX, TO ACCOMMODATE TRUSS/TIEDOWN REQUIREMENTS.

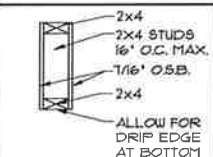
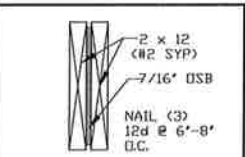
CONNECTOR SCHEDULE										CONTROL DATE: 01/21/2021									
MASONRY	MITek USP			SIMPSON			MITek USP			SIMPSON									
	DES.	UPLIFT	GRAVITY	DES.	UPLIFT	GRAVITY	FASTENER			FASTENER									
	HTA 16-18	1625		META-16	1450		(8) 10d X 1 1/2" 1-PLY, (7) 16d 2-PLY, EMBED 4"			(8) 10d x 1 1/2" 1-PLY, (6) 16d 2-PLY, EMBED 4"									
	(2) HTA 16-18	2430		(2) META-16	1985		(12) 10d x 1 1/2" 1-PLY, EMBED 4"			(10) 10d x 1 1/2" 1-PLY, EMBED 4"									
	HTA 16	1870		HETA-16	1810		(10) 10d X 1 1/2", (8) 16d 2-PLY, EMBED 4"			(9) 10d x 1 1/2" 1-PLY, (8) 16d 2-PLY, EMBED 4"									
	HTA 20	1870		HETA-20	1810		(10) 10d x 1 1/2", (8) 16d 2-PLY, EMBED 4"			(9) 10d x 1 1/2" 1-PLY, (8) 16d 2-PLY, EMBED 4"									
	(2) HTA-20	2430		(2) HETA-20	2035		(12) 10d x 1 1/2", 1-PLY, EMBED 4"			(10) 10d x 1 1/2" 1-PLY, EMBED 4"									
					2500		(10) 16d 2-PLY, EMBED 4"			(12) 16d 2-PLY, EMBED 4"									
	LUGT-2	1655		LGT-2	1885		BLX (5) 1/4"x 3" Wedge-Bolt+ Anchors, WOOD (16) 10d			(7) 1/4" x 2 1/4" TITEN, WOOD (16) 16d									
	LUGT-3	3380		LGT3-SDS2.5	3480		CONC (4) 3/8" X 5" Wedge-Bolt+ Anchors, WOOD (12) W525			(12) SDS 1/4"x3" TO GIRDER, (4) 3/8" x 5" TITEN HD TO WALL									
DHTA-20	2430		DETAL-20	2480		(16) - 10d x 1 1/2", 1 PLY ALTERNATE USE OF (2) HTA-20 ACCEPTABLE			(18) - 10d x 1 1/2", 1 PLY ALTERNATE USE OF (2) HETA-20 ACCEPTABLE										
MUGT15 +	3945		MG1 +	3965		(1) 5/8" A.T.R. IN HIGH STRENGTH EPOXY (MIN. 12" EMBED), (22) 10d TO WOOD			(1) 5/8" A.T.R. IN HIGH STRENGTH EPOXY (MIN. 12" EMBED), (22) 10d TO WOOD										
HUGT2 +	9575		HGT-2 +	10690		WOOD (8) 10d, MASONRY (2) 3/4" A.T.R			(2) 3/4" A.T.R. IN HIGH STRENGTH EPOXY (MIN. 12" EMBED), (16) 10d TO WOOD										
HUGT3 +	9860		HGT-3 +	10690		WOOD (8) 10d, MASONRY (2) 3/4" A.T.R			(2) 3/4" A.T.R. IN HIGH STRENGTH EPOXY (MIN. 12" EMBED), (16) 10d TO WOOD										
	1510 PARALLEL TO WALL 1470 PERPENDICULAR TO WALL			LTA2	1210 PARALLEL TO WALL 1210 PERPENDICULAR TO WALL			(10) 10d x 1 1/2"		(10) 10d x 1 1/2"									
MUGT15	3945		VG1	4940		(1) 5/8" A.T.R. IN HIGH STRENGTH EPOXY (MIN. 12" EMBED), (4) 10d TOP/(6) 10d FACE/(12) 10d BACK OF TRUSS			(1) 5/8" A.T.R. IN HIGH STRENGTH EPOXY (MIN. 12" EMBED), (16) SDS 1/4"x3"										
HUGT	9575		(2) VG1	7185		(2) 5/8" A.T.R. IN HIGH STRENGTH EPOXY (MIN. 12" EMBED), (8) 10d			(2) 5/8" A.T.R. IN HIGH STRENGTH EPOXY (MIN. 12" EMBED), (32) SDS 1/4"x3"										
STRAPS	MTW 12	965	MTS-12	990		(14) 10d x 1 1/2", (14) 10d			(14) 10d X 1 1/2"										
	HTW 16	1355	HTS-16	1310		(16) 10d X 1 1/2", (16) 10d			(16) 10d X 1 1/2"										
	HTW 20	1355	HTS-20	1310		(24) 10d X 1 1/2", (20) 10d			(24) 10d X 1 1/2"										
	HTW 24	1355	HTS-24	1310		(24) 10d X 1 1/2", (20) 10d			(24) 10d x 1 1/2"										
	LSTA 12 ++	930	LSTA-12 ++	925		(10) 10d			(10) 10d										
	LSTA 18 ++	1235	LSTA-18 ++	1235		(14) 10d			(14) 10d										
	MSTA-18 ++	1310	MSTA-18 ++	1315		(14) 10d			(14) 10d										
	MSTA-24 ++	1640	MSTA-24 ++	1640		(18) 10d			(18) 10d										
	MSTA-30 ++	2065	MSTA-30 ++	2050		(22) 10d			(22) 10d										
	MSTA-36 ++	2065	MSTA-36 ++	2050		(26) 10d			(26) 10d										
KST236	2765	MST1-36	3800		(36) 10d X 1 1/2"			(36) 10d X 1 1/2"											
KTS248	5105	MST1-48	5070		(48) 10d X 1 1/2"			(48) 10d X 1 1/2"											
LFTA6	980	H6	1055		(16) 8d x 1 1/2", (16) 8d			(8) 8d TO PLATES, (8) 8d TO STUDS											
SPT4	875	SP4	825		(6) 10d TO STUDS (6) 10d TO PLATE			(6) 10d x 1 1/2" TO STUDS											
MP34	525 IN F1 @ 160%	A34	430		(4) 8d x 1 1/2" TO BEAM, (4) 8d x 1 1/2" TO POST.			(4) 8d x 1 1/2" TO BEAM, (4) 8d x 1 1/2" TO POST.											
HHCP2	680	HCP2	590		(10) 10d x 1 1/2" TO TRUSS, (10) 10d X 1 1/2" TO PLATE			(12) 10d X 1 1/2"											
RT16A	1020	H10A	1040		(9) 10d x 1 1/2" TO TRUSS, (8) 10d X 1 1/2" TO PLATE			(18) 10d X 1 1/2"											
MUGT15 & PHD4A	4175	VG1 & HDU4	4940		(28) 10d TO TRUSS, (10) W33 WOOD SCREWS TO POST W/ 5/8" THREADED ROD			(16) SDS 1/4"x3" TO WOOD, (10) SDS 1/4"x2 1/2" W/ THREADED ROD, (2) NUTS/WASHER/2 PLY											
MUGT15 & PHD4A	4175	VG1 & HD7B	4940		(28) 10d TO TRUSS, (10) W33 WOOD SCREWS TO POST W/ 5/8" THREADED ROD			(16) SDS 1/4"x3" TO WOOD, (3)-3/4" STUD BOLTS W/ THREADED ROD, (2) NUTS/WASHER/2PLY											
PAU44	2535	ABU 44Z	2300	7750	(1) 5/8" A.T.R. IN HIGH STRENGTH EPOXY, (MIN. 7" EMBED) IN CONC., (12) 16d TO WOOD			(1) 5/8" A.T.R. IN HIGH STRENGTH EPOXY, (MIN. 7" EMBED.) IN CONC., (12) 16d TO WOOD											
PAU66	2455	ABU 66Z	2190	18205	(1) 5/8" A.T.R. IN HIGH STRENGTH EPOXY, (MIN. 7" EMBED) IN CONC., (12) 16d TO WOOD			(1) 5/8" A.T.R. IN HIGH STRENGTH EPOXY, (MIN. 7" EMBED.) IN CONC., (12) 16d TO WOOD											
LTS19 ++	1205	LTT19 ++	1310		(1) 3/4" A.T.R. IN HIGH STRENGTH EPOXY, (MIN. 7" EMBED) IN CONC., (8) 10d TO WOOD			(1) 3/4" A.T.R. IN HIGH STRENGTH EPOXY, (MIN. 7" EMBED.) IN CONC., (8) 10d TO WOOD											
LTS20B ++	1100	LTT20B ++	1500		(1) 3/4" A.T.R. IN HIGH STRENGTH EPOXY, (MIN. 7" EMBED) IN CONC., (10) 10d x 1-1/2 TO WOOD			(1) 1/2" A.T.R. IN HIGH STRENGTH EPOXY, (MIN. 7" EMBED.) IN CONC., (10) 10d TO WOOD											
HTT45	4160	HTT4	4455		(1) 5/8" A.T.R. IN HIGH STRENGTH EPOXY (MIN. 7" EMBED) IN CONC., (18) 16d X 2 1/2"			(1) 5/8" A.T.R. IN HIGH STRENGTH EPOXY (MIN. 7" EMBED.) IN CONC., (26) 16d X 2 1/2"											
HTT45	5005	HTT5	5090		(1) 5/8" A.T.R. IN HIGH STRENGTH EPOXY (MIN. 7" EMBED) IN CONC., (26) 16d X 2 1/2"			(1) 5/8" A.T.R. IN HIGH STRENGTH EPOXY (MIN. 7" EMBED.) IN CONC., (26) 16d X 2 1/2"											
UPHD11 +	14395	HHQ11 SDS 2.5+	11810		(1) 1" A.T.R. IN HIGH STRENGTH EPOXY, (MIN. 10" EMBED) IN CONC., (24) W33 WOOD SCREWS			(1) 1" A.T.R. IN HIGH STRENGTH EPOXY, (MIN. 10" EMBED.) IN CONC., (24) SDS 3/4" x 2x2 WOOD SCREWS											
PHD5A	6525	HD7B	6645		(1) 5/8" A.B. IN HIGH STRENGTH EPOXY, (MIN 7" EMBED) IN CONC., (14) W33 WOOD SCREWS			(1) 7/8" A.B. IN HIGH STRENGTH EPOXY, (MIN. 7" EMBED.) IN CONC., (3) 3/4" STUD BOLTS TO WOOD											
TDX8	7870				(1) 7/8" A.B. IN HIGH STRENGTH EPOXY, (MIN. 7" EMBED) IN CONC. (3) 7/8" STUD BOLTS TO WOOD														
NFM35X12U	2580	MBHA 3.56/11.25	3475	5330	(1) 1/2" I-BOLT W MIN 6" EMBED & NOT LESS THAN 4" FROM EDGE OF CONC W/ 3/4" DIA ITW RAMSET/REDHEAD DYNA BOLT SLEEVE ANCHOR OR EQ W/MIN 5" EMBED INSTALLED IN FACE. (14) 10d AT JOIST			(1) 3/4" A.T.R. IN HIGH STRENGTH EPOXY, (MIN. 6.75" EMBEDMENT) IN C.M.U. TOP, (1) 3/4" A.T.R. IN HIGH STRENGTH EPOXY, (MIN. 6.75" EMBEDMENT) IN C.M.U. FACE, (18) 10d TO BEAM											
HANGERS	HUS4121F	3615	HUSC412 (WOOD)	3435	2635 (100%) 3220 (125%)	(10) 16d TO HEADER, (10) 16d TO WOOD			(10) 16d TO HEADER, (10) 16d TO WOOD										
	HD410IF (CMU)	1950	3080	HUC410 (CMU)	1800	4500	(18) 1/4"x3" x 3" W33 SCREWS, (10) 10d TO WOOD, USP (20) 3/16" TAPPER+, (10) 10d TO WOOD		(18) 1/4 x 2-3/4" TITEN (9 PER FLANGE) TO CMU, (10) 10d TO WOOD:										
	HD210-21F (CMU)	1950	3080	HUC210-2 (CMU)	1800	4500	(18) 1/4"x3" x 3" W33 SCREWS, (10) 10d TO WOOD, USP (20) 3/16" TAPPER+, (10) 10d TO WOOD		(18) 1/4" x 2-3/4" TITEN (9 PER FLANGE) TO CMU, (10) 10d TO WOOD:										
	HD210-31F (CMU)	2795	5015	HUC210-3 (CMU)	1800	4500	(18) 1/4"x3" x 3" W33 SCREWS, (10) 10d TO WOOD, USP (20) 3/16" TAPPER+, (10) 10d TO WOOD		(18) 1/4 x 2-3/4" TITEN (9 PER FLANGE) TO CMU, (10) 10d TO WOOD:										
LGUM26-2	2125	6065	LGM26-2-SDS	1430	5595	(4) 3/8" X 4" Wedge Bolt+ Anchors, WOOD (4) W33 WOOD SCREWS			(4) 3/8 x 4 TITEN HD ANCHORS (2 PER FLANGE) TO CMU, (4) 1/4 X 2-1/2 SDS SCREWS TO WOOD										
HIGH STRENGTH EPOXY = SIMPSON SET-3G, CONTACT THE ARCHITECT/ENGINEER OF RECORD FOR WRITTEN APPROVAL PRIOR TO SUBSTITUTING FOR SIMILAR EPOXY PRODUCTS.																			
++10d COMMON NAILS CAN BE SUBSTITUTED WITH 10d x 1 1/2" NAILS IN CONJUNCTION WITH A 23% REDUCTION IN THE ALLOWABLE LOAD. WRITTEN APPROVAL FROM THE ARCHITECT IS REQUIRED FOR THIS APPLICATION PRIOR TO INSTALLATION.																			
+++ MINIMUM EMBEDMENT INTO THE TOP OF A BOND-BEAM WILL BE 5", MINIMUM EMBEDMENT INTO THE FOUNDATION WILL BE 7"																			
A.T.R. = A-307 ALL THREAD ROD (SIZE, PROTECTION TYPE, LENGTH, ETC. VARIES)																			
BECAUSE OF THE WIDE VARIETY OF MATERIALS, LOCATIONS, AND CONDITIONS THAT MAY AFFECT CONNECTORS, THE CONTRACTOR MUST BE RESPONSIBLE FOR MAKING SURE THAT THE PROPER CORROSION PROTECTION IS USED.																			
WHEN USING STAINLESS STEEL CONNECTORS, USE STAINLESS STEEL FASTENERS. WHEN USING TZ / HDG GALVANIZED CONNECTORS, USE FASTENERS GALVANIZED PER ASTM-A153																			
USE OF EXPANSION ANCHORS WILL BE EVALUATED ON AN INDIVIDUAL BASIS AND MUST HAVE WRITTEN APPROVAL FROM THE ARCHITECT/ENGINEER OF RECORD PRIOR TO USE.																			
ALL CONNECTOR VALUES BASED ON SIMPSON WOOD CONSTRUCTION CONNECTORS C-C2017", "HIGH WIND-RESISTANT CONSTRUCTION F-C-HWR-CAG16, AND ANCHORING & FASTENING SYSTEMS FOR CONCRETE & MASONRY CATALOG C-SAS-2012 & USP STRUCTURAL CONNECTORS 2015-2016.																			

SOFFIT SHALL COMPLY WITH FBC R704.2.1

CONTROL DATE: 01/21/2021

MINIMUM WALL AND HEADER STUD REQUIREMENTS

MAXIMUM HEADER SPAN (FT.) UNO,	UP TO 4'-11 1/2"	5'-0" TO 7'-11 1/2"	8'-0" AND UP
NUMBER OF HEADER STUDS SUPPORTING END OF HEADER	1	2	3
NUMBER OF FULL LENGTH STUDS AT EACH END OF HEADER	1	2	3



HEADER SPAN CHART

SINGLE STORY APPLICATION	
SIZE	CLEAR SPAN
DBL 2 x 6	UP TO 5'-4"
DBL 2 x 8	5'-4" TO 7'-0"
DBL 2 x 10	7'-0" TO 10'-0"
DBL 2 x 12	10'-0" AND OVER
TWO STORY APPLICATION DOWN STAIRS	
SIZE	CLEAR SPAN
DBL 2 x 6	UP TO 5'-0"
DBL 2 x 8	5'-0" TO 6'-4"
DBL 2 x 10	6'-4" TO 8'-0"
DBL 2 x 12	8'-0" AND OVER

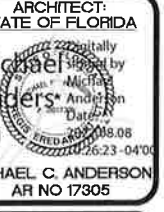


2194 HWY A1A, SUITE 301  
INDIAN HARBOUR BEACH,  
FLORIDA 32937  
PH: 321-802-3591  
www.abdesigngroup.com  
AA #: 0003325

DESCRIPTION	DATE
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	12

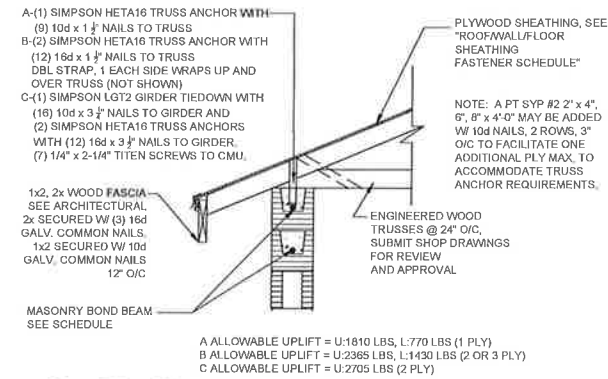


SUBDIV. & LOT:  
HOEIZEL RESIDENCE  
400 BANYAN WAY,  
MELB. FL 32903  
PROJECT#  
20010.087/2022-125  
MODEL:  
CAPRI-C-R  
GARAGE SWING:  
RIGHT  
PAGE:  
CONNECTOR  
SCHEDULE  
& DETAILS  
160 MPH EXP. C

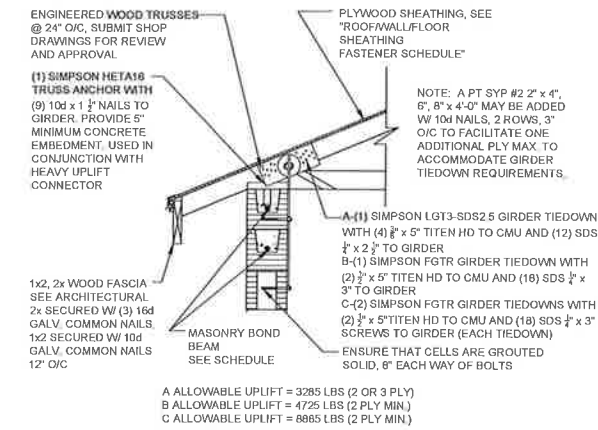


PRINT  
DATE: 07/26/22  
SCALE: 1/4"=1'-0"  
SHEET  
S3.0

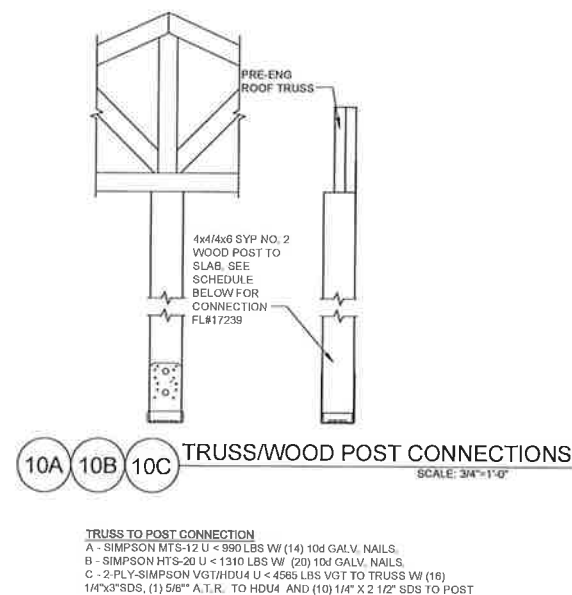
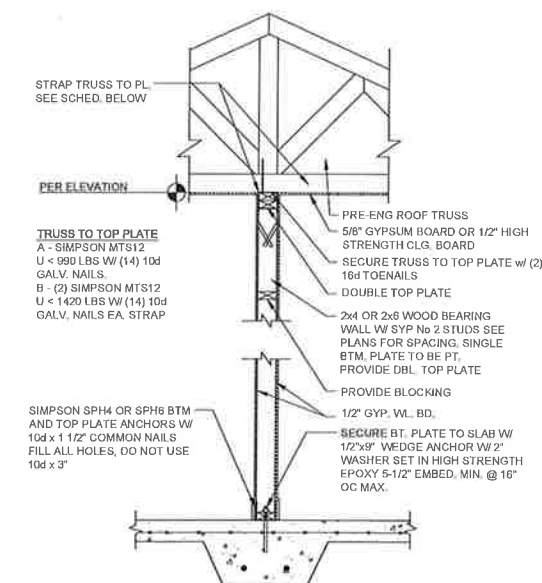
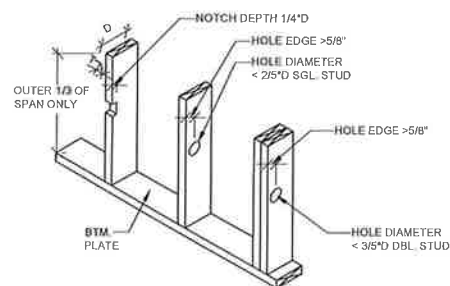
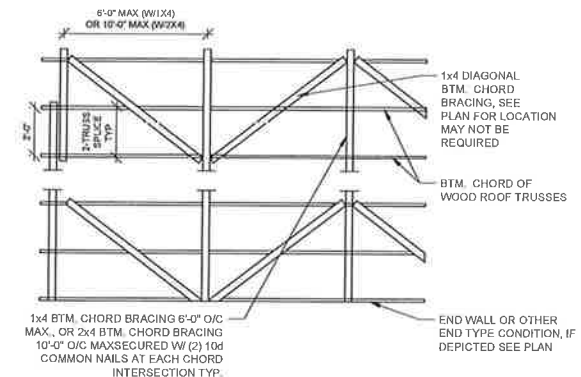
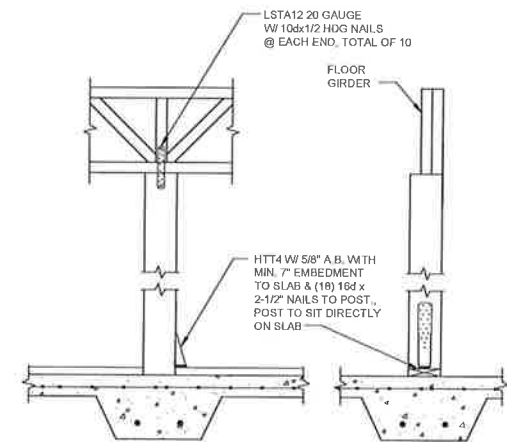
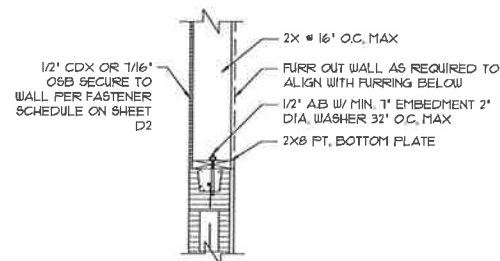
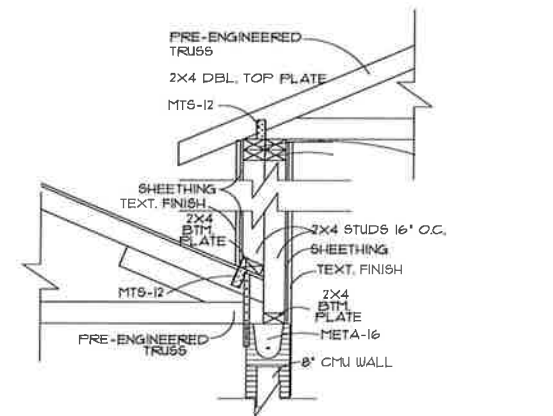
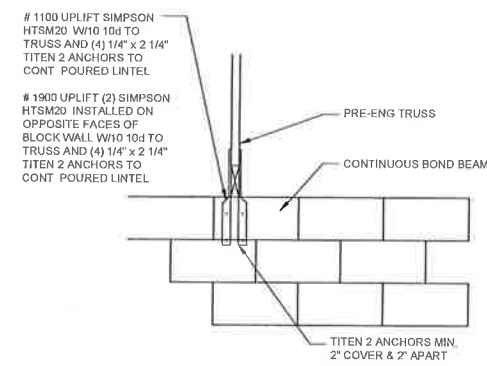
(B) DISSIMILAR BOTTOM CHORD BRACING @ MID RUN



TYPICAL TRUSS/  
GIRDER CONNECTOR(S) SCALE: 3/4"=1'-0"



TYPICAL ROOF  
GIRDER CONNECTOR(S) SCALE: 3/4"=1'-0"



THE USE OF ALTERNATE MATERIALS MAY BE USED SO LONG AS THEY CONFORM TO THE FOLLOWING

1. METAL STRAPS FOR ROOF AND FLOOR CONNECTIONS
- A) AN ALTERNATE STRAP MAY BE USED SO LONG AS THE NEW STRAP HAS EQUIVALENT OR GREATER UPLIFT AND LATERAL (F1 AND F2) LOAD CAPACITIES AS THE ONE SPECIFIED. CONCURRENTLY, IT SHOULD BE NOTED FLOOR AND ROOF TRUSSES ARE SUBJECT TO LATERAL LOADS DUE TO WIND AND REQUIRE THE CONNECTIONS INDICATED. A FLAT OR TWIST STRIP IS NOT EQUIVALENT TO A SIMPSON H10A OR LGT2. ROOF TRUSSES ARE SUBJECT TO UPLIFT, F1, AND F2 FORCES ALL AT THE SAME TIME. FLOOR TRUSSES NOT EXPOSED TO WIND ARE SUBJECT TO F1 AND F2 FORCES.

11 ALTERNATE MATERIALS SCALE: 3/4"=1'-0"





## Town Commission Meeting

**Section:** Presentation  
**Meeting Date:** September 21, 2022  
**From:** Julie Roye, Parks Board  
**Subject:** Children's Business Fair

### Background Information:

A life-changing experience for kids by exposing them to entrepreneurship. Kids bring a tent, table, and all other materials for their booth.

Play video on the website <https://www.childrensbusinessfair.org/>

**Recommendation:** Consider approving a Children's Business Fair

**Attachments:** Flyer

The Town of Melbourne Beach presents

# Children's Business Fair



In partnership with





# Why host a business fair?

- A positive town event
- Life changing experience for kids by exposing them to entrepreneurship
- Work with Gemini and local homeschool groups to promote community involvement



MAKE.  
SELL.  
DREAM.

## How does it work?

- Kids or teams of children register on the website.
- Kids bring tent, table and all other materials for booth.
- Door prizes: Tickets are provided to vendors for people who make a \$5 purchase at the fair. Purchasers can then drop the tickets into the raffle.
- The Town can charge a per table fee of \$10 or 10% of a Childs sales can be donated to a local charity.







# Hope to see you there!



## **Town Commission Agenda Item**

**Section:** New Business

**Meeting Date:** August 17, 2022

**Subject:** Town Manager Employment Agreement

**Submitted By:** Town Manager Mascaro and Town Attorney Repperger

**Background Information:**

Town Manager Mascaro's initial three(3)-year employment agreement is scheduled to terminate in September 2022.

Town Manager Mascaro has proposed a three(3)-year renewal with the following changes:

Salary to be increased by 6.0% in each year.

Severance Pay term modified from three (3) to four (4) months.

Sick Leave Payment Accrual at 50% as provided for other Town Employees.

The remainder of the Agreement stays the same.

**Recommendation:**

Consider Town Manager Employment Agreement Terms

**Attachments:**

Proposed Draft Agreement

## **EMPLOYMENT AGREEMENT** **TOWN MANAGER**

**THIS EMPLOYMENT AGREEMENT** (“Agreement”) is entered into as of the last date executed below by the TOWN OF MELBOURNE BEACH, FLORIDA, a Florida municipal corporation (“Town”) and ELIZABETH MASCARO (“Manager”).

### **Purpose of Agreement**

The purpose of this Agreement is to set forth and terms and conditions of the Manager’s employment by the Town.

### **Understandings**

In consideration of the mutual promises below, the Town and the Manager agree as follows:

1. **Appointment.** The Town hereby appoints ELIZABETH MASCARO as its Town Manager. ELIZABETH MASCARO hereby accepts such appointment.

2. **Duties.** The Manager will be the chief administrative officer of the Town and report to, and be directly responsible to, the Town Commission for all Town affairs. The Manager will perform all functions and duties as specified in the Town Charter (including Section 3.03), Town ordinances, Commission resolutions, any job description approved by the Commission, and as may be directed by the Commission. The Manager shall attend all Commission meetings, unless excused by the Commission, and shall have the right to take part in discussions, but not vote. As reasonably possible, the Manager will also attend meetings of the Town’s advisory and appointment boards, including the Planning and Zoning Board, Board of Adjustment and Code Enforcement Board.

3. **Performance.** The Manager agrees to devote the Manager’s full time and attention to the business of the Town and to perform all such duties and functions diligently, competently and professionally and within the time frames and deadlines imposed by law, Town policy, the Commission or, if no required deadline, within a reasonable period of time. The Commission shall be the sole judge of whether the Manager has performed such duties and functions in a competent, professional, efficient and effective manner. Except as approved by the Commission, the Manager will not undertake any outside employment or business activities. However, this paragraph will not be construed to prohibit or restrict the Manager from serving on non-profit boards or providing any other charitable or civic services.

4. **Compensation and Benefits.**

(a) **Salary.** The Town will pay the Manager a salary of \$2,038.46 per week (\$106,000.00 annualized) for the Manager’s active employment during the first year of this Agreement, a salary of \$2,160.77 per week (\$112,360.00 annualized) for the Manager’s active employment during the second year of this Agreement, and a salary of \$2,290.42 per week



(\$119,102.00 annualized) for the Manager's active employment during the third year of this Agreement. Any periods of inactive employment will be compensated in accordance with the Town's policies and procedures concerning paid leave. The Commission will conduct an annual review of the Manager's performance and, in consultation with the Manager, set goals and performance objectives. The Commission may from time to time in its discretion increase the Manager's salary based on performance and/or cost of living increases. The Town will not reduce the Manager's salary during the term of this Agreement without the consent of the Manager.

(b) **Benefits.** The Manager will be eligible to participate in such medical, retirement, paid leave (annual leave, sick leave, etc.), and other standard fringe benefits as may be provided from time to time generally to other full-time employees of the Town. Except as otherwise specified in this Agreement, the Manager's participation in such benefits will be governed by the normal requirements, terms and conditions of any applicable plans, policies or procedures, and as may from time to time be amended, changed or terminated by the Town in its discretion. The Manager will receive 120 hours of annual leave per year. The Manager will not be eligible for compensatory ("comp") time. ~~The Manager will not be~~ is eligible for payment of unused sick leave during employment or upon termination of employment consistent with the Town's employment policies for any reason.

(c) **Retirement.** In lieu of participating in the Town's FRS retirement plan, the Manager may elect to have the Town contribute an amount equal to an amount paid by the Town for that year as a contribution for Regular Class Town Employees to the Town's retirement plan into a deferred compensation plan, such as the International City Manager's Association (ICMA) Deferred Compensation Plan, that satisfies federal Internal Revenue Service deferred compensation plan requirements. Payment into a deferred compensation plan by the Town will negate the Town's responsibility to pay into any other retirement program provided by the Town. If the Manager elects to opt out of FRS participation, the Manager shall be responsible to make a proper election of withdrawal from FRS in accordance with Section 121.055, F.S. or as otherwise applicable. Upon separation from employment, any funds in the Manager's deferred compensation account will be transferrable to the extent allowed by such deferred compensation plan and applicable law.

(d) **Expenses.** The Town will pay the Manager a stipend of \$200 per month for the use of the Manager's personal vehicle (excluding normal commuting) for Town Business travel within the Brevard County. Use of a personal vehicle for business travel outside of Brevard County (excluding normal commuting) will be reimbursed at the rate specified in Town policies. The Town Manager will maintain commercial insurance on the Manager's personal vehicle and the Town will reimburse the Manager for the additional cost of this insurance over and above the Manager's normal personal vehicle insurance. Other travel expenses will be reimbursed per Town policy. The Town will supply the manager with a cellular phone and a computer at the Town's expense, which will be subject to Town policies and procedures. The phone provided by the Town will be subject to Florida's public records laws pursuant to Chapter 119, Florida Statutes.

(e) **Professional Organizations/Seminars.** The Town will pay or reimburse the Manager's professional dues and subscriptions and expenses for attending meetings at

professional organizations and seminars as are approved in the Town's annual budget on a line item basis or as separately authorized by the Commission.

(f) **Life Insurance.** The Town shall provide the Manager a term life insurance policy equivalent to two (2) times the Town Manager's base salary and shall pay the total premiums for the coverage, not to exceed \$2,000.00 annually. The beneficiary of the term of life insurance policy shall be determined by the Town Manager and the policy shall remain in effect during the term of the Agreement.

(g) **Withholdings and Deductions.** The above compensation and benefits will be subject to any required withholdings and deductions for state and federal taxes, social security, and other normal payroll deductions or for amounts due the Town by the Manager.

5. **Indemnification.** The Town will indemnify and defend the Manager in connection with any civil action arising out of and in the scope of the Manager's employment with the Town in accordance with and to the extent permitted by Sections 111.07 and 111.071, Florida Statutes and other applicable law.

## 6. **Term and Termination.**

(a) **Term.** The term of this Agreement will begin on **September 19, 2022** and will continue for three (3) years unless terminated earlier as provided in subsections (b), (c), or (d) as provided below. The Manager will provide the Town Commission the Manager's Notice of Intent to Renew or Extend this Agreement at least sixty (60) days prior to the end of the term of this Agreement. Upon receipt of a Notice of Intent to Renew or Extend this Agreement from the Manager, the Town Commission shall begin negotiations to Renew or Extend this Agreement. Such negotiations shall involve the entire Town Commission unless a delegate is formally appointed by the Town Commission. If the term of this Agreement is not extended or renewed, neither party will have any obligation to the other upon expiration of the term.

(b) **Termination By Town Without Cause.** The Town Commission may terminate this Agreement without cause by majority vote of the Town Commission.

(c) **Severance Pay.** The Manager, if terminated without cause as provided in Section 6 (b), will be paid severance, in the Amount of **three four (34)** months' base salary in exchange for the Manager executing a general release of claims in favor of the Town, in a form acceptable to the Town Attorney. The execution of this release of claims shall be made and received by the Town prior to any payment by the Town.

(d) **Termination For Cause.** The Manager may be immediately terminated upon a majority vote of the Commission for cause. For purposes of this Agreement, "cause" means:

(i) A failure to perform the Manager's duties as required by this Agreement (other than a failure enumerated in (ii) through (iv) below), provided the

Manager is provided written notice of such failure and fails to correct the deficiency within 30 days. Notwithstanding the foregoing, in the event the Commission determines that the deficiency is not correctable or another failure occurs again within a 12 month period after a 30-day written warning is given, the Town may immediately terminate this Agreement upon a majority vote of the Commission.

- (ii) Dishonest or unethical conduct;
- (iii) "Misconduct" as defined in Section 443.036 (29), Florida Statutes;
- (iv) Commission of an act that would constitute a felony of any kind or a misdemeanor involving moral turpitude.

If the Manager is terminated for cause, the Town will be obligated to pay the Manager's compensation and benefits through the date of termination only.

7. **Resignation By Manager.** This Agreement may be terminated by the Manager upon sixty (60) days' prior written notice to the Town. If the Manager fails to provide the required written notice, the Manager will be liable to the Town for liquidated damages in an amount equal to the Manager's salary during the sixty (60) days preceding the last day of the Manager's active employment with the Town. If the Manager provides the required written notice, the Town may elect to accelerate the Manager's last day of active employment and pay the Manager the Manager's normal pay and benefits in lieu of the Manager working some or all of such notice period. The Town may condition the payment of pay-in-lieu-of-notice on the Manager executing a general release of claims in favor of the Town, in a form acceptable to the Town Attorney. The execution of this release of claims shall be made and received by the Town prior to any payment by the Town. The Town Manager will not take leave, paid or unpaid, during the Notice period without permission of the majority of the Town Commission.

8. **Return of Town Property.** Upon separation of employment for any reason, the Manager will immediately return all Town property to the Town, including but not limited to keys, cell phone, laptop computer, credit cards, documents, and any and all other property of the Town in the Manager's possession or control. Upon separation of employment, the Manager will immediately cease accessing the Town's computer systems, except to the extent permitted by the general public.

## 9. **General Provisions.**

(a) **Headings.** The section and paragraph headings contained in this Agreement are for reference purposes only and will not affect in any way the meaning or interpretation of this Agreement.

(b) **Counterparts.** If multiple counterparts of this Agreement are executed, each will be deemed an original, but all counterparts together will constitute one and the same instrument.

(c) **Amendments.** This Agreement constitutes the entire agreement between the parties and supersedes all other understandings and agreements between the parties. Any amendment or change to this Agreement must be in a writing signed by both parties to this Agreement and approved by a majority vote of the Commission.

(d) **Waiver.** The waiver by any party of a violation of any provision of this Agreement will not operate as, or be construed to be, a waiver of any subsequent breach of the same or any other provision of this Agreement.

(e) **Governing law/venue/jury waiver/attorney's fees.** This Agreement will be governed by the laws of the State of Florida and venue for any action related to the terms of this Agreement shall be in Brevard County, FL. The parties hereby waive any right to a trial by jury in respect to any litigation based on or arising out of this Agreement. In any legal proceeding arising out of the terms of this Agreement filed by either party against the other, the parties shall bear their own attorney's fees and costs related to such action.

(f) **Plain meaning.** This Agreement will be interpreted in accordance with the plain meaning of its terms and not for or against the drafter of this Agreement.

(g) **Opportunity to Consult with Counsel.** The Parties hereby represent and acknowledge that they have been provided with the opportunity to discuss and review the terms of this Agreement with their respective attorneys before signing it and that they are freely and voluntarily signing this document in exchange for the benefits provided herein. The Parties further represent and acknowledge that they have been provided a reasonable period of time within which to review the terms of this Agreement.

**IN WITNESS WHEREOF**, the parties have hereunto set their hands and seals on the date first written below.

ELIZABETH MASCARO

THE TOWN OF MELBOURNE BEACH,  
FLORIDA

\_\_\_\_\_  
TOWN MANAGER

By: \_\_\_\_\_  
WYATT HOOVER, Mayor

Date: \_\_\_\_\_

Date: \_\_\_\_\_

ATTEST:

\_\_\_\_\_  
Interim Town Clerk, Amber Brown

Reviewed for legal form and content:

\_\_\_\_\_  
Clifford R. Repperger, Jr., Town Attorney

## Town Commission Meeting

**Section:** Old Business

**Meeting Date:** September 21, 2022

**From:** Elizabeth Mascaro, Town Manager

**Subject:** S. E. A Project – Ocean Avenue

### Background Information:

**I would like to sincerely thank Neal Tompkins for his unwavering support of this project and his brilliant organizational skills!**

Neal Tompkins hosted a resident's brainstorming event to cull and share ideas on what improvements the residents would like to have implemented in town.

At the beginning of the event the residents were encourage to visit each of the story boards. Each board had several different design styles to help the residents envision what could be possible. The residents were asked to choose which style (s) they like the best and make comments. Their suggestions were categories into the follows areas: traffic management and calming; landscaping; stormwater; recreation; and design elements. Each category lists the resident's suggestions. A similar study was done in January of 2007. The results are very similar.

Neal was able to summarize an over aching vision of Lead By Example, with specific steps the Town can take to continue moving forward with the wished of the residents and the Commission.

1. Defined area from the river to the Fire Department entrance on Ocean Avenue.
2. Define entrances with smooth wide walks that lead to the main "attraction"
3. Define using common design "language" for all elements
4. Define the area with simple and well maintained landscaping.
5. Preserve all trees for shade.
6. Direct stormwater to underground retention or park.
7. Use examples from others, e.g. the new Chapel entrance and Bi-Centennial Park's new walk way.



**Recommendation:** Review and prioritize next steps.

1. A suggestion would be to look at feasibility and cost of expanding walkway and reducing length of parking spaces.
2. Provide estimate to install the black framed street poles for intersection of Pine and Ocean to include stop signs, street name signs and other FDOT signs as required.
3. Review defined entrances to incorporate common elements for: Ryckman Park, Ryckman House, Community Center, Children's play area, Town Hall Complex.

**Attachments: Next Steps for S.E.A. Project (2 pgs.)**

**S.E.A Resident Ideas (3pgs)**

**S.E.A Story Boards (9pgs)**

**2007 Visioning Workshop Findings (4pgs)**

### More details on next steps for SEA Project

9/16/2022

- 2007 vision statement has major thematic commonality with current desires
- There has been limited implementation of those ideas (mostly keeping MB character in place)
- Now add a layer of detailed concepts, plans and implementation to lead by example
- Start with River to the Fire Department entrance on south side of Ocean Ave
  - Smooth wide walk with defined entrances from walk to main “Attractions”
    - Park
    - Ryckman House
    - Children’s area
    - Community Center
    - Town Hall/Police Dept
  - Common design “language” for all elements
    - Walkway materials and design
    - Signage design
    - Lighting
    - Edging design for walkways, planters, stem walls
    - Plantings
    - Bench design, locations and lighting
  - Simple and well maintained (trimmed, mulched, painted, mowed, weeded etc)
  - Preserve all trees for shade
  - Add curbing to direct storm water to underground retention or the park)
  - Use example of others (e.g. new Chapel entrance and Bicentennial park)



**Lead by example: Chapel and Bicentennial Park**



Create wide “promenade” from River to Fire station with common defined entrances to “Attractions”

- Explore parking alternatives
  - Improve storm water management
  - Trade off spaces versus improved pedestrian traffic (e.g. parallel parking would allow for a very wide walk, but would dramatically reduce parking spots, pull in parking with a reduced depth could provide some additional space but need barrier for pedestrian safety)

## **S.E.A. Resident Ideas August 24, 2022**

### **Traffic Management and Calming:**

- Create a turn lane into Mel Beach Market in the eastbound lane of Ocean Ave
- Create a left turn lane onto Oak St from Ocean Ave from the east
- Move sides into the roadway to create traffic calming
- Using an S-Curve to create traffic calming
- Directional signs on A1A
- UP lighting to slow traffic
- Ocean Ave should be safe, well lit, walkable have speed tables, and parking
- Curbing for safety, hedge or fence between vehicles and walkers

### **Landscaping**

- Plant trees to create a canopy
- Increase maintenance of current landscaping and curbs
- Less is more!
- Use flora and fauna as our artwork
- Native plants = low maintenance and less watering
- Community garden
- Utilize multipurpose planters/benches
- Plant more trees for shade and to separate park play area from road
- Need to be sure to maintain the landscaping

### **Stormwater**

- Stormwater where the Williams Building is currently located
- Stormwater “living wall”
- Incorporate Stormwater into the areas

### **Recreation**





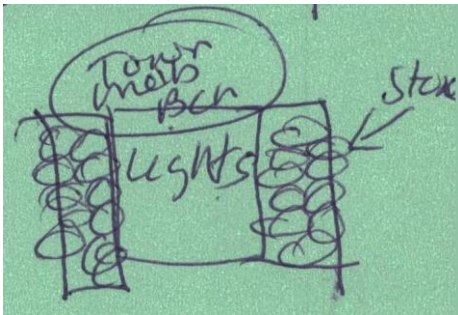
- Bike share and greenway with at least three towns participating
- Create a boardwalk with benches at the east end of Ocean Park, or extend the current boardwalk

- Uniform, paved, wide sidewalks
- Educational boards around town



## **Design**



- Use the look of our historic properties to define our style
- One theme throughout town
- Engage with Gemini Elem for artwork
- Upgrade light poles with uniform lighting from east to west ends of Ocean Ave
- Upgrade Town signage
- Keep the road and town simple
- Update code for conformity in building, styles, and design







Commercial Development	
Like/Dislike/ Suggestion	Idea/Concept
3 Likes	Bike U-Racks with town name/design
	 
1 Like	Directory sign with map
	 
1 Like	Residential spaces above commercial spaces
1 Like	Outdoor restaurant seating along sidewalk
Suggestion	New town signs
	<p>Concept Idea:</p> 
Suggestion	Subsidize updating the look of the strip area along Ocean
Suggestion	Use open area on East end of Ocean Ave for public seating/gathering space. Weekly farmers markets?



Murals	
Like/Dislike/ Suggestion	Idea/Concept
Suggestion	Murals with animal life
Suggestion	Murals are great if artist is carefully vetted
Suggestion	Murals are okay but questioning where they would be put up
Suggestion	Thinks a cohesive design/theme would be best
Dislike	Not a fan of murals – too many already around town
1 Like	<div></div> <div></div>

Gathering Spaces	
Like/Dislike/ Suggestion	Idea/Concept
2 Likes	<div></div> <div></div>

1 Like		
Public Seating		
Like/Dislike/ Suggestion	Idea/Concept	
Suggestion	Seating at each corner of the traffic light	
Suggestion	More swings	
2 Suggestions	Love the idea of public seating but questioning where that would work in town	
Suggestion	Good idea when covered and shaded	
1 Like	<div></div>	
Misters		
Like/Dislike/ Suggestion	Idea/Concept	
1 Dislike	Does not want misters	
Suggestion	Misters in the playground and bike areas	
Suggestion	Fillable water bottle stations and water drinking fountains	
Suggestion	Misters would be especially good on Founder's Day and July 4th	

3 Likes	Want misters in the park	
2 Likes		
3 Likes		
Streetscape		
Like/Dislike/ Suggestion	Idea/Concept	
Suggestion	Utilize xeriscaping – a process reduces or eliminates the need for irrigation	
Suggestion	Use native landscaping	
Suggestion	Could we use planter boxes to divert stormwater into them?	
Suggestions	Plant boxes along streets that can provide them shade and water	
Suggestion	Would like streetscaping on Oak St	
2 Suggestions	Keep landscaping low maintenance and drought tolerant. Who will handle gardening and watering? Concerned that town has a poor history of maintaining landscaping.	
2 Likes	 	



1 Like



## Painted Crosswalks

Like/Dislike/  
Suggestion




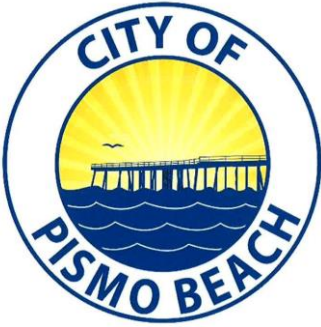



Idea/Concept

1 Dislike



4 Dislikes	2 people said: do not like the idea of painted crosswalks, worried about it be confusing for drivers and the designs not cohesive. "We are not an art district" 2 person said: not for it !	
1 Dislike	All the ideas presented are too busy	
2 Likes		
1 Like	 	
1 Like	Love the idea of painted crosswalks	
Suggestion	Turtles, dolphins, manatees	
Suggestion	Local streets only, not Ocean Ave or A1A	
Suggestion	Turtle tracks along crosswalks	
Traffic Calming		
Like/Dislike/ Suggestion	Idea/Concept	
1 Like	  	



Suggestion	Change light out for a roundabout
Suggestion	Keep bike lanes on east & westbound Ocean Ave, eastbound bike lane west of A1A was removed
Miscellaneous Suggestions	
Suggestion	Have the crossovers roped off with a "Keep off the dunes" signs
Suggestion	Replace street signs with special/different ones
New Town Logo	
Like/Dislike/ Suggestion	Idea/Concept
3 Dislikes	 <ul style="list-style-type: none"> <li>- Looks like a mustache</li> <li>- ☹️</li> <li>- Hate it</li> </ul>
2 Dislikes	 <p>← Looks too California</p> <p>Looks too "Cracker Barrel" →</p> 
1 Dislike	 <p>← Don't like the crooked pier</p>  <p>↑ Looks too much like other town logos</p>  <p>← Too Ron Jon</p> 



<p>4 Likes</p>	 <ul style="list-style-type: none"> <li>- Like the simplicity</li> <li>- Simple but pretty</li> </ul>
<p>3 Likes</p>	 <ul style="list-style-type: none"> <li>- Likes the waves</li> <li>- Incorporate a turtle</li> <li>- Maybe a little less busy in the sky or pier</li> <li>- Looks cool</li> </ul>
<p>2 Likes</p>	<div>    </div> <ul style="list-style-type: none"> <li>- Incorporate a turtle</li> <li>- Simple but pretty</li> <li>- Would look cool with a pineapple to incorporate town's history (2 of these comments)</li> </ul>
<p>1 Like</p>	<div>     </div> <ul style="list-style-type: none"> <li>- Like this font</li> <li>- Like it but a little too similar to Melbourne</li> <li>- Incorporate a turtle</li> <li>- Really cool and simple</li> <li>- Likes that it highlights the pier</li> </ul>

Suggestion	Would like to keep "Oldest Beach Town Est. 1883"
Suggestion	The state of Alaska opened their flag design to its citizens, and the design of the big dipper stars came from a 13 year old resident. Maybe we could do something similar.

**CITIZEN RESPONSES**  
**TOWN OF MELBOURNE BEACH**  
**VISIONING WORKSHOP – BRAINSTORMING**  
**JANUARY 30, 2007**

1. What do you like about Melbourne Beach?

- Diversity of people (not cookie cutter)
- Sense of Community
- Small population
- Ocean, beach, and river
- Pier
- Town is “walkable”
- School
- Volunteer Fire Department
- Local Police Department
- Local Library –small Town
- Cleanliness
- Public access to Ocean, River, and Park areas
- Distinct character – quaintness, tranquility, quiet
- Nature and wildlife
- Public safety, low crime
- Diversity of businesses
- Historical assets
- friendly involved citizens
- open government
- Sidewalks – bike paths
- Community activities (founders day)
- Existence of Ocean Avenue (Main street)
- Friendly police force
- Well kept homes
- Traffic light
- No parking meters
- Wildlife

441c5a

2. What do you dislike about Melbourne Beach?

- Lack of community activities
- No flexibility in development code/redevelopment code
- Lack of children's activities
- Frequent administrative changes
- Commissioners breaking promises
- No water feature/fountain at Ryckman Park
- No drinking fountain at Ocean Park
- Lack of stores
- Traffic light
- Lack of pedestrian crossings and crossing enforcement
- Infrequent newsletters
- Commission infighting
- Lack of youth involvement
- Lack of senior center
- Insufficient right-of-way maintenance (North Oak to Ocean Avenue)
- Lack of sidewalks
- No dog park (places to walk dogs except right-of-way)
- No skateboard park
- Administrative accountability
- Response to citizens needs by Town staff
- Public notices of Town activities are not sufficient
- Too many speed traps and speed enforcement
- Speed limit on Riverside Drive is too low
- Political ridicule
- Not enough Code enforcement
- Not enough protection of the Environment, environmental education or use of Florida native plant species
- Home/yard upkeep needs to be improved
- Ocean Avenue is not cohesive, no pizzazz
- Downtown gossip
- Tall buildings

4. What about Melbourne Beach do you not want to change?

- Reduction of river, beach, or pier access
- Increasing speed limit on State Road A-1-A
- Destruction of historical buildings
- Eliminating the local police department
- Eliminating the volunteer fire department
- Removing Ryckman Park
- Replacing local (owned) businesses with chain stores
- Election system – keep elections at large
- Removal of the Post Office
- The bells tolling at the community chapel
- The Code to allow vacation rentals
- Strip clubs
- No Removal of Oak trees
- Width of A-1-A (no additional lanes)
- Building heights
- Speed bumps (no more)
- No parking meters or parking stickers for public access points
- No additional restriction or reduction in property rights
- No reductions in protection for turtles or other environmental regulations
- Do not remove the traffic light
- No conversion of residential to commercial
- No reduction in public safety

### 3. What do you what to change about Melbourne Beach?

- More sidewalks
- More Community Activities (children's)
- Tolls to enter Melbourne Beach
- Add a water-feature Fountain to Ryckman Park
- Resurface Streets
- Replace stop sign where A-1-A turns east/west
- Allow dogs on beach
- Reduce cut through traffic in residential areas
- Have Town administrative staff more available to public
- Better utilization of public facilities (Ryckman House)
- Control public participation by non-residents
- Enforce pedestrian crosswalk laws
- Have an annual hazardous waste pickup
- Improve on line access to information, minutes, agendas etc.
- Use technological advances
- Improve reverse 911 system
- Use a common sense approach to application of the Building Code
- Require parking to be located behind commercial buildings
- Provide more details of new ordinances prior to adoption
- Explore incentives, tax breaks, grants for sprucing up Ocean Avenue
- Add a community swimming pool
- Add a community senior center
- Add restrooms to ocean park
- Establish a business owners association for Ocean Avenue
- Create architectural guidelines
- Add a tram for Ocean Avenue
- Use Beach Oriented Landscaping for beautification projects
- Add benches to public places and beach
- Establish a farmers market
- Redesign Ocean Avenue to be people friendly
- Create a community yard trash recycling program
- Enhance senior services – transportation
- Encourage age diversity in community
- Web cast all public meetings
- Email public announcements



## 2023

### Town Of Melbourne Beach

#### Planning & Zoning, Commission

<b>Application Deadline</b>	<b>P &amp; Z Meeting Date</b>	<b>Town Commission Date</b>
December 06, 2022	January 10, 2023	January 18, 2023
January 10, 2023	February 07, 2023	February 15, 2023
February 07, 2023	March 07, 2023	March 15, 2023
March 08, 2023	April 04, 2023	April 19, 2023
April 04, 2023	May 02, 2023	May 17, 2023
May 09, 2023	June 06, 2023	June 21, 2023
June 06, 2023	July 11, 2023	July 19, 2023
July 05, 2023	August 01, 2023	August 16, 2023
August 08, 2023	September 05, 2023	September 20, 2023
September 06, 2023	October 03, 2023	October 18, 2023
October 10, 2023	November 14, 2023	November 15, 2023
November 07, 2023	December 05, 2023	December 20, 2023
December 05, 2023	January 09, 2024	January 17, 2024

#### Board of Adjustment Schedule

<b><u>Application Deadline</u></b>	<b><u>Meeting Date</u></b>
November 14, 2022	January 19, 2023
December 13, 2022	February 16, 2023
January 18, 2023	March 16, 2023
February 07, 2023	April 20, 2023
March 13, 2023	May 18, 2023
April 05, 2023	June 15, 2023
May 16, 2023	July 20, 2023
June 12, 2023	August 17, 2023
July 12, 2023	September 21, 2023
August 22, 2023	October 19, 2023
September 14, 2023	November 16, 2023
October 10, 2023	December 21, 2023
November 13, 2023	January 18, 2024

# ***Nature for Change***

**A Community Awareness & Wellness Initiative**

**2022 Eagle Project**

**Jack Byrd**

## Who I Am

My name is Jack Byrd. I am a senior at West Shore Jr/Sr High and a Life Scout of Troop 323 in Melbourne, Florida. I began scouting in first grade as a tiger scout and after 12 years I am finally working towards the rank of Eagle Scout.

Eagle Scout is the highest rank in scouting that you can achieve. It is only earned by about 4% of scouts as it demonstrates your long-term commitment to scouting by requiring you to participate, lead, learn, teach, and explore over multiple years. Eagle Scouts you may be familiar with include astronaut Neil Armstrong, Olympic track star and world record holder Willie Banks, and movie producer Steven Spielberg.

Other former scouts who have made history include civil rights leader, Rev. Martin Luther King, Jr as well as former presidents George W. Bush, Bill Clinton, John F. Kennedy, and Barack Obama.

The purpose of an Eagle Scout project is to apply the skills you've learned over the years in scouting in order to lead a team on a project that benefits your community.

## How I Chose My Project

During my time in scouting and throughout my school years there have been many major events that shaped how my peers and I navigated our worlds. The Sandy Hook Elementary School shooting in my elementary years and later the Marjory Stoneman Douglas High School shooting during my high school years were pivotal events that changed how schools and students interacted with the world. As I was entering junior high school in 2018, Brevard Public Schools tragically lost 13 students to suicide in an 18-month period and my first year of high school came with the loss of classmate from elementary school to suicide. Of course, the COVID-19 pandemic offered increased challenges, losses, and changes like none our world has ever seen.

These events along with growing up as the son of a former teacher and mental health professional created an awareness of the impact mental health has on individuals, families, and communities, the stigma that still surrounds the topic, inequities in access to information and care, and a desire to leave a positive impact.

## Project Proposal

For my project I decided to collaborate with [Counselors for Change](#), a local nonprofit dedicated to increasing mental health awareness, education, outreach, and advocacy in our communities. Counselors for Change has been working on an initiative to create and place plaques in shared green spaces that contain information about the benefits of nature on mental health along with a QR code that links people to free mental health hotlines, information, and other wellness resources.

The placement of these plaques in shared public green spaces is intentional and well thought out as people often seek out green spaces as a safe, quiet, and private place to process life events.

As the project leader I have assisted in editing the plaques, worked with a sign company to print the plaques on weather-resistant, sturdy material, and will be working with other scouts and community members to place the plaques on existing structures such as park benches and picnic tables where they will be visible to visitors. The costs associated with this project are being covered by a generous discount from [A Affordable Signs](#), funding from [Counselors for Change](#), and donations made to Counselors for Change for an opportunity to “adopt” plaques in honor or memory of someone.

### **Benefits to Communities**

City leaders who choose to incorporate these plaques into shared natural spaces can play an active role in increasing access to mental health information and free resources to their citizens.

According to the Centers for Disease Control and Prevention, in 2020 suicide was among the top 9 causes of death overall for people ages 10-64 in United States, with nearly 46,000 deaths per year. That is 1 death every 11 minutes. Suicide was the second leading cause of death for children ages 10-14 and young adults ages 25-34 years of age. The leading cause of death for children is sadly firearms. Two preventable causes. Having access to all the hotlines, text lines, and suicide prevention resources could potentially save many lives in our local communities and beyond.

Increasing awareness of the benefits of nature on mental health can encourage people to engage in more time and activities outdoors which is proven to improve both mental and physical health. Promoting this relationship with nature can also lead to more people seeking to protect our natural resources.

[Resources](#) linked to the QR code include:

- Direct links to mental health and suicide prevention help lines.
- A suicide risk assessment that family and friends can use to assess for suicide risk in their loved ones.
- Information about what mental health is and why it is important.
- Links to counseling resources.
- Mental Health resources specific for BIPOC, LGBTQ+, and other marginalized groups.
- Links to research and resources related to the benefits of nature on mental health.

## Example Plaque

# Benefits of Nature on Mental Health

*In every walk with nature, one receives far more than he seeks. — John Muir*

**↑ Nature = ↓ Stress**

Did you know that nature lowers mind-body stress? Time outdoors lowers blood pressure, heart rate, & stress hormones.  
\*Focus on a plant or animal and take 5 slow, deep breaths. What do you notice?

**↑ Nature = ↑ Mood ↑ Kindness**

Did you know that nature makes us happier? Walks in nature have been shown to reduce symptoms of anxiety, depression, and PTSD while improving mood and kindness.

**↑ Nature = ↑ Attention ↑ Behavior**

Did you know time in nature can reduce symptoms of ADHD? Spending time in nature has been shown to improve attention, behavior, and impulse control.

**↑ Nature = ↑ Brain Health**

Did you know time in nature improves memory, focus, and creativity?  
\*Focus on your surroundings and 5 senses. Name something you can see, hear, touch, taste, & smell.

\*Simple activities that can calm the nervous system, disrupt negative thought patterns, and ground you in the present moment.

**Scan Here to Find Help & Learn More**

This Nature per Charge Project was made possible by BSA Troop 323 & Quince Orchard per Charge



## Example Plaque Mounting Options



Bench Seat Option



Back of Bench Option



Front of Bench Option



Tabletop Option



## **Town Commission Meeting**

**Section: New business**

**Meeting Date: September 21, 2022**

**Subject: Landscape/Mowing Contract**

**Submitted By: Public Works Director Tom Davis**

**Background Information:** The Commission had approved funds to have a landscape maintenance contractor. The plan being that that person/company would maintain all of the current and new planted areas. As evidenced by the Bicentennial Park project we are beautifying our Town. With that comes the need for special attention to maintain these areas and keep them beautiful.

**Working with the Manager** we have considered a plan that we feel may be a viable option.

**In substance** the plan would be use funds for landscaping company (\$50,000) and bring the mowing maintenance back in house. The existing mowing contract ends in December. The minimum projected cost for contracting the mowing is \$38,654. Making available approximately \$90,000.

**Working with that figure** it appears we should see return on our investment in less than 2 years. One of the big benefits also is the fact we have in house control on a daily basis as to where the work is done.

**Please see attachment** for detailed explanation as to this plan would work.

**Recommendation :** Consider purchasing the equipment fit to our needs and landscape person.

**Attachments:** One document describing purposed plan.

### Discussion of mowing/landscape plan

As you know the Town made the decision several years ago to contract out mowing and landscaping responsibilities. The Public Works Department consisted of as few as two workers for quite some time. Because of this it made maintaining mowing and landscaping a nearly impossible task. Also there was some thought that contracting out these task was a wiser financial choice.

While this may have been what appeared to be the best choice it came with pitfalls. One being the limited control of a contractor. While a contract exists it is very difficult to spell out every unforeseeable need to maintain a nice landscape and mowing.

With those thoughts in mind it is our opinion that bringing these areas of responsibilities back in house would be a positive move. By doing so we have direct control over mowing schedules, soil enrichment and maintaining the planted areas we have and are expanding. Additionally we could respond to any situation that required immediate attention.

Realizing that this action is a very big commitment we have researched the equipment and personnel needed to properly carry it out. Our analysis resulted in our belief that we must have one person devoted to these task.

In order for that individual to effectively carry out these task we must provide the best equipment. With the proper equipment the job can be done not only timely but produce a very nice end product. The end product being a very well kept and attractive grounds.

The equipment we are presenting Ventrac subcompact tractor and the Zero Turn mower fits our needs. It is worthy of noting this equipment can also be used to **edge the streets and trim bushes and trees.** The zero turn mower would be utilized to maintain areas in which the Ventrac would fit. For example along the river's edge, exercise areas, behind the pavilion and several other areas.

We believe that with the huge commitment you made to beautify our parks and the Town in general we must have the personnel and equipment.





# MK960

WIDE AREA MOWER



- Drastically reduce mowing times
- Perfect for athletic fields and campuses
- 4" Full width striping roller
- Largest Ventrac mower
- Smooth underside shell
- Tool-free dual lever height adjust



## WIDE AREA MOWER

Model	MK960
Stock Code	39.55155
Cut Width	95" (241 cm)
Discharge	Rear
Cut Height	1"-5" (25-127 mm)
Deck Construction	High Strength Steel
Anti-Scalp Rollers	3 Front
Length	61" (155 cm)
Height	19.5" (49.5 cm)
Overall Width	96" (244 cm)
Weight	580 lbs (263 kg)

All specifications subject to change without notice or obligation



The MK960 Wide Area Mower is made to tackle large scale jobs in a fraction of the time. With a 95" cutting width this will be the most productive mower in your fleet. Able to mow a soccer field in 15 minutes 22 seconds, the Wide Area Mower is perfect for anyone mowing athletic fields, large acreage campuses and estates. Cutting the time it takes to mow means reducing labor costs, improving efficiencies and having more time to dedicate on other jobs.

### Standard Features:

- 4" Full width striping roller
- Five 20" mower blades (all identical and right hand direction)
- Tool-free dual lever height adjust
- Underside of deck features smooth shell for minimal build up
- Manual flip up

### Optional Accessories:

- Hydraulic flip-up kit
- Flat-free wheels
- High lift blades

TRACTOR COMPATIBILITY KEY:



4500





# MA900

BOOM MOWER



- Mow steep ditches
- Cut vegetation around ponds, lakes, & streams
- Trim hedges and other shrubs
- Reach under fences and guardrails
- Trim tree branches along trails, pathways or roads



## BOOM MOWER

Model	MA900
Stock Code	39.55170
Overall Height	87 1/2" (222.3 cm)
Overall Length	58" (147.3 cm)
Overall Width	63" (160 cm)
Weight	880 lbs (399.2 kg)
Cutting Width	39" (99.1 cm)
Material Cut Diameter	1/2" (13 mm)
Vertical Reach (from ground)	142" (361 cm)
Horizontal Reach (outside of single wheels)	115" (292 cm)
Horizontal Reach (outside of dual wheels)	103" (262 cm)
Max Flat Top Cut (from ground)	82" (208 cm)

All specifications subject to change without notice or obligation

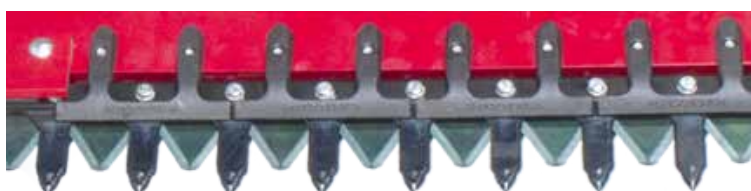


### Standard Features:

- Out front design increases visibility
- Maintains head angle when extending or retracting boom arms  
39" (99.1 cm) double action sickle bar
- Head angle ranging from 45° below horizontal to 90° vertical (135° total range)
- Ability to operate on 10° slopes when used with power unit equipped with single wheels or 18° slopes when used with power unit equipped with dual wheels

### Accessories:

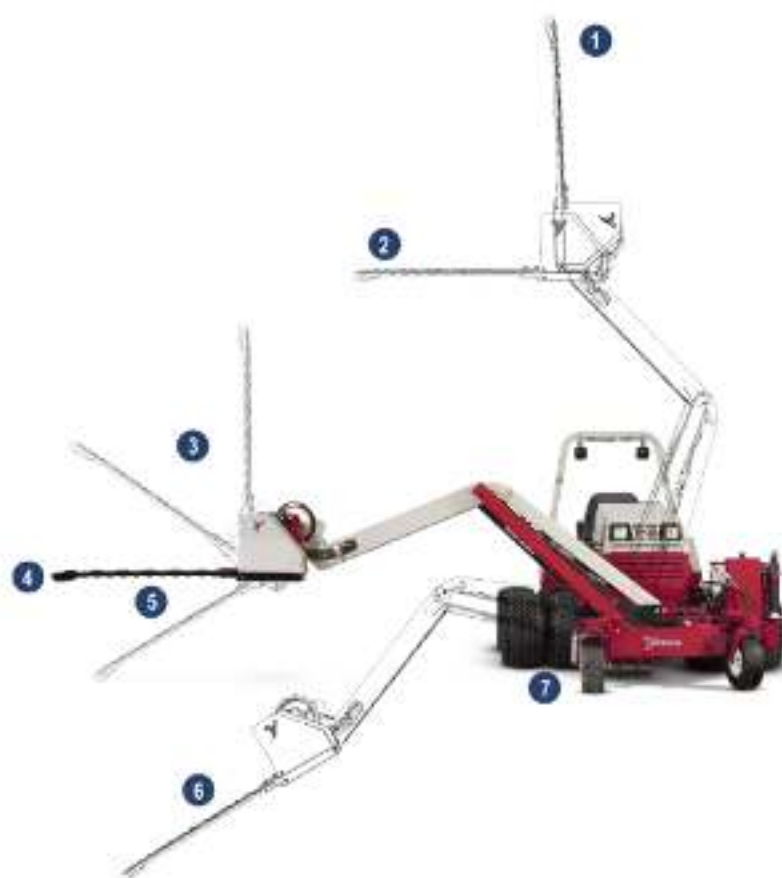
- 12V Front Kit 4500
- Dual Front Auxilliary Hydraulic Kit 4500
- Spool Float Hydraulic Valve Kit 4500
- Mid Weight Bar Kit 4500
- Suitcase Weight - 42 lbs w/box



TRACTOR COMPATIBILITY KEY:



## BOOM MOWER FEATURES



### 1 VERTICAL REACH

142" from ground

### 2 MAX FLAT TOP CUT

82" from ground

### 3 VERTICAL HEAD ANGLE

90° vertical / 135° total range

### 4 HORIZONTAL REACH

115" from outside of single wheels / 105" from outside of dual wheels

### 5 CUT WIDTH

29" double action sickle bar

### 6 HORIZONTAL HEAD ANGLE

45° below level / 135° total range

### 7 SINGLE WHEEL SLOPE RATING

10° with single wheels / 10° with dual wheels

## AREAS TO USE THE MA900

- Mow steep ditches
- Reach under fences and guardrails
- Cut vegetation around ponds, lakes & creeks
- Trim hedges and other shrubs
- Trim tree branches along trails, pathways or roads



All cooperative purchasing agreements offered through OMNIA Partners have been awarded via a thorough Request for Proposal (RFP) competitive solicitation by a public agency/governmental entity (e.g., [state](#), [city](#), [county](#), [public university](#) or [school district](#)). The [lead agency](#) cooperative contracting process is the foundation of OMNIA Partners and sets us apart from other cooperatives. In order for even the most restrictive agencies nationwide to realize the best value offered by cooperative purchasing, OMNIA Partners ensures that industry best practices, processes and procedures are applied.

## Competitive Solicitation Process

1. The lead agency prepares a competitive solicitation while incorporating language to make the agreement accessible nationally to other public agencies.
2. The lead agency issues the solicitation and any required amendments and notifications. A pre-proposal conference is conducted.
3. Interested suppliers respond to the solicitation.
4. The lead agency evaluates the responses, negotiates the final terms and ultimately awards the cooperative contract, also referred to as the master agreement.
5. The cooperative contract is made available to public agencies, educational institutions and nonprofits nationwide as a "piggyback" contract.



Tom Davis

Melbourne Beach  
507 Ocean Avenue  
Melbourne Beach, FL 32951

Dear Tom Davis,

Thank you for your interest in Wesco Turf. Per your request, I am pleased to submit the enclosed quotation for your review.

Should you have any further questions regarding this proposal, please do not hesitate to contact me or our office. My direct phone number and email address are listed below for your convenience. Once again, thank you for your consideration of Wesco Turf.

Best Regards,

*Tanner Fleming*

Commercial Sports Fields & Grounds Territory Manager  
(941) 993-7947, [tanner.fleming@wescoturf.com](mailto:tanner.fleming@wescoturf.com)



2101 Cantu Court, Sarasota FL 34232  
 300 Technology Park, Lake Mary FL 32746  
 7037-37 Commonwealth Avenue, Jacksonville FL 32220

**Q-10634**

Date: September 9, 2022  
 Expires: September 24, 2022

**Prepared For:**

Tom Davis  
 Melbourne Beach  
 507 Ocean Avenue  
 Melbourne Beach, FL 32951

**Bill To: TBD**

Melbourne Beach  
 507 Ocean Avenue  
 Melbourne Beach, FL 32951

**Ship To: TBD**

**Special Considerations:**

Account setup required upon acceptance of this quote.

OMNIA Partners (IPA), City of Mesa Cooperative Contract Number: 2017025

Total Units	Qty	Model No.	Description	MSRP Each	Price Each	Extended Price
1	1	39.51215	Ventrac 4520Z Kubota 32HP Gas 3LC	\$29,915.00	\$26,325.20	\$26,325.20
	1	70.4067	Ventrac 4500 Series Dual Wheel Kit - All Terrain Tires	\$1,550.00	\$1,364.00	\$1,364.00
	1	70.4160	Kit, 3 Point Hitch 4520	\$2,340.00	\$2,059.20	\$2,059.20
	1	47.0452	Kit, Armrest Suspension Seat	\$175.00	\$154.00	\$154.00
	1	70.4140	Slope Indicator Kit	\$420.00	\$369.60	\$369.60
	1	70.4161	Kit, 12V Switch & Plug Front 4500/4520	\$375.00	\$330.00	\$330.00
	1	70.4164	Kit, Hydraulic Front Dual Valve 4500/4520	\$595.00	\$523.60	\$523.60
	1	39.55110	Ventrac MS600 Mower SD	\$4,985.00	\$4,386.80	\$4,386.80
	1	39.55170	Ventrac MA900 4500 Series Boom Sickle Mower	\$18,165.00	\$15,985.20	\$15,985.20
	4	47.0115	42 lb Suitcase Weight, Each	\$115.00	\$101.20	\$404.80
	1	23.0111-7	Spool Float Hydraulic Valve Kit MR740, MA900	\$130.00	\$114.40	\$114.40
	1	39.55332	Ventrac ED202 Edger	\$2,660.00	\$2,340.80	\$2,340.80
	1	70.8020	Kit, Opt Blower ED	\$1,450.00	\$1,276.00	\$1,276.00
	3	47.0115	42 lb Suitcase Weight, Each	\$115.00	\$101.20	\$303.60
	4	VSETUP	Ventrac Setup Fee	\$125.00	\$125.00	\$500.00
	1	VDELIVERY	Ventrac Delivery Fee	\$95.00	\$95.00	\$95.00
	1	VFREIGHT	Ventrac Freight Charge		\$1,678.12	\$1,678.12
			<b>Total</b>			<b>\$58,210.32</b>

<b>Terms:</b>	Net 30
Equipment Total	\$58,210.32
Sales Tax	\$0.00
<b>Totals:</b>	<b>\$58,210.32</b>

**Warranty**

The above quote meets or exceeds ANSI Safety Specification. All new Ventrac tractors and attachments are covered by Ventrac's V-Plus Warranty. Two year commercial limited warranty with unlimited hours.

**Q-10634**

The undersigned hereby orders from Wesco Turf the equipment detailed in this quotation. This order is subject to our ability to obtain such equipment from the manufacturer and Wesco Turf shall be under no liability if delivery of the equipment is delayed or prevented due to labor disturbances, transportation difficulties, or for any reason beyond our control. The price indicated is subject to your receipt of the Equipment prior to any change in price by the manufacturer.

Please indicate your acceptance of this quote as an order by signing below and returning via email to [tanner.fleming@wescoturf.com](mailto:tanner.fleming@wescoturf.com) or fax 941.487.6889. Payment terms are subject to credit approval. Time of delivery may vary; please check when placing order.

Signed: \_\_\_\_\_

Name: \_\_\_\_\_

Date: \_\_\_\_\_

Thank you for considering Wesco Turf, Inc. for your equipment needs. If I can be of any further assistance, please do not hesitate to contact me.

Sincerely,

***Tanner Fleming***

Commercial Sports Fields & Grounds Territory Manager  
(941) 993-7947, [tanner.fleming@wescoturf.com](mailto:tanner.fleming@wescoturf.com)



Tom Davis

Melbourne Beach  
507 Ocean Avenue  
Melbourne Beach, FL 32951

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Best Regards,

*Tanner Fleming*

Commercial Sports Fields & Grounds Territory Manager  
(941) 993-7947, [tanner.fleming@wescoturf.com](mailto:tanner.fleming@wescoturf.com)



2101 Cantu Court, Sarasota FL 34232  
 300 Technology Park, Lake Mary FL 32746  
 7037-37 Commonwealth Avenue, Jacksonville FL 32220

**Q-10691**

Date: September 14, 2022  
 Expires: September 29, 2022

**Prepared For:**

Tom Davis  
 Melbourne Beach  
 507 Ocean Avenue  
 Melbourne Beach, FL 32951

**Bill To: TBD**

Melbourne Beach  
 507 Ocean Avenue  
 Melbourne Beach, FL 32951

**Ship To: TBD**

**Special Considerations:**

Account setup required upon acceptance of this quote.

OMNIA Partners (IPA), City of Mesa Cooperative Contract Number: 2017025

Total Units	Qty	Model No.	Description	MSRP Each	Price Each	Extended Price
1	1	74035	Toro 26.5 HP Kohler CP EFI w/ 60" TF Deck - Turf Tires	\$14,875.00	\$10,859.00	\$10,859.00
			<b>Total</b>			<b>\$10,859.00</b>

**Terms:**

Net 30

Equipment Total

\$10,859.00

Sales Tax

\$0.00

**Totals:**

\$10,859.00

**Warranty**

The above quote meets or exceeds ANSI Safety Specification. Toro Consumer / Landscape Contractor Equipment carries a two-year unlimited hours or 5 year 1200 hour warranty.

The undersigned hereby orders from Wesco Turf the equipment detailed in this quotation. This order is subject to our ability to obtain such equipment from the manufacturer and Wesco Turf shall be under no liability if delivery of the equipment is delayed or prevented due to labor disturbances, transportation difficulties, or for any reason beyond our control. The price indicated is subject to your receipt of the Equipment prior to any change in price by the manufacturer.

Please indicate your acceptance of this quote as an order by signing below and returning via email to [tanner.fleming@wescoturf.com](mailto:tanner.fleming@wescoturf.com) or fax 941.487.6889. Payment terms are subject to credit approval. Time of delivery may vary; please check when placing order.

Signed: \_\_\_\_\_

Name: \_\_\_\_\_

Date: \_\_\_\_\_

Thank you for considering Wesco Turf, Inc. for your equipment needs. If I can be of any further assistance, please do not hesitate to contact me.

Sincerely,

*Tanner Fleming*

Commercial Sports Fields & Grounds Territory Manager  
 (941) 993-7947, [tanner.fleming@wescoturf.com](mailto:tanner.fleming@wescoturf.com)

## Town Commission Agenda Item

**Section: New Business**

**Meeting Date: September 21, 2022**

**Subject:** Boat ramp area 6<sup>th</sup> Ave.

**Submitted By:** Public Works Director Tom Davis

**Background Information:** At the direction of the Commission PW Director Davis explored various options to consider for beautification and general overall use of the river park area at the west end of 6<sup>th</sup> Avenue. Please see the attachment that addresses some of those areas.

**Recommendation:** Prepare a plan for the area as directed by the Commission and present to the Commission for approval.

**Attachments: one report reflecting actions/information to date.**

Note: The Town of Melbourne Beach is undergoing modifications to provide enhanced access to documents for individuals who are visually impaired and to comply with the requirements of the Americans with Disabilities Act (ADA) to make reasonable accommodations. While these modifications are being made some attachments may not be included as part of the online agenda packet. If you would like to obtain a document not currently provided, please contact our Town Clerk at (321) 724-5860 or [townclerk@melbournebeachfl.org](mailto:townclerk@melbournebeachfl.org)

Pursuant to the request of the Town Commission I have explored the possibilities for making improvements at the boat ramp area located at the west end of 6<sup>th</sup> Avenue. The following is a synopsis of my discoveries to date:

The area measures 50 feet wide by 260 feet from Pine Street to the water's edge. There are residences that border the area on both the North side and South side. Each of those residences has entries into the area of focus. The entrance located on the south side appears to serve as the access and egress for vehicles at that residence. The residence on the north side has a gated entrance wide enough to accommodate a motor vehicle but appears unused on a regular basis.

Groundcover in the area consists of primarily gravel with some grassy areas. The west end of the area is bordered by a sea wall with a block wall on top. The wall was constructed by Public Works approximately two years ago to stop the waters of the ICW from breaching the sea wall. Previously the waters during high winds had breached the sea wall and caused serious erosion. The erosion problem has caused sea wall damage on the south side.

There is currently a concrete boat ramp. This ramp leads into very shallow water making launching larger boats (15 ft.+) a very difficult if not impossible feat. Once a watercraft is unloaded in the water because of the shallow water navigation can be a problem.

It should be noted that for many years one could take a small boat to the ends of several streets in Town and launch under similar circumstances. Once the streets in Town began to be paved most of those areas were higher and no longer could offer launching locations for the boats. For reasons factually unknown concrete pavers were placed at the 6<sup>th</sup> Avenue launch area and it was preserved. In recent years the Town actually had a concrete slab boat ramp constructed.

On the north side of the ramp area is located one of our stormwater outlets. That area is very shallow offering little if any use for mariner use. I would discourage causing any type obstruction in that area to possibly impede water flowing from the stormwater outflow.

I have spoken with Jerry Sampson who is our Commissioner on the Inland Waterway Commission. I explained our desire to make the area more appealing to our residents and others. Mr. Sampson spoke very favorably of our possibilities as to financial assistance in such a venture. The grant if we should be successful in obtaining it would be matching dollar for dollar.

My next action was to contact St. Johns Water Management District (SJWMD). This agency is charged with overseeing the shoreline areas of the ICW. Dock construction, sea wall repairs and construction etc. fall under their purview. Any permitting would likely fall under that agency's authority excluding any efforts to dredge.

If we should make the decision to proceed with this project I would then submit the proper paperwork to ascertain what permits would be required. Initially there would be no cost.

The Army Corps of Engineers was contacted based on the advice of SJWMD. I spoke with three different people. In each case, I was referred to another person. Person number 3 took my contact information

and advised that someone would contact me. That was 4 days prior to this writing and have not been contacted.

Marine Resources Council was consulted. They prefer using coquina rocks if we do sea wall repair/replacement. And as expected there are concerns over efforts to dredge up areas where our seagrass may be showing signs of recovery. I share those same concerns.

I have prepared three photos of the area for discussion purposes. The first photo shows the area as it exists now. Photo 2 shows basic ideas if we continued to allow boat trailer parking there. (For many years the area was posted "No Boat Trailers overnight". Finally, photo 3 depicts ideas if we landscaped the area to make it more conducive to use by the residents and others.

SIXTH AVENUE BOAT

RAMP AREA

KEY TO PHOTOS

Photo #1 – area as it currently exist

Photo #2 – area with modifications ALLOWING boat trailer parking – 3 trailers fills area

Photo #3 – area with modifications NO BOAT TRAILER PARKING

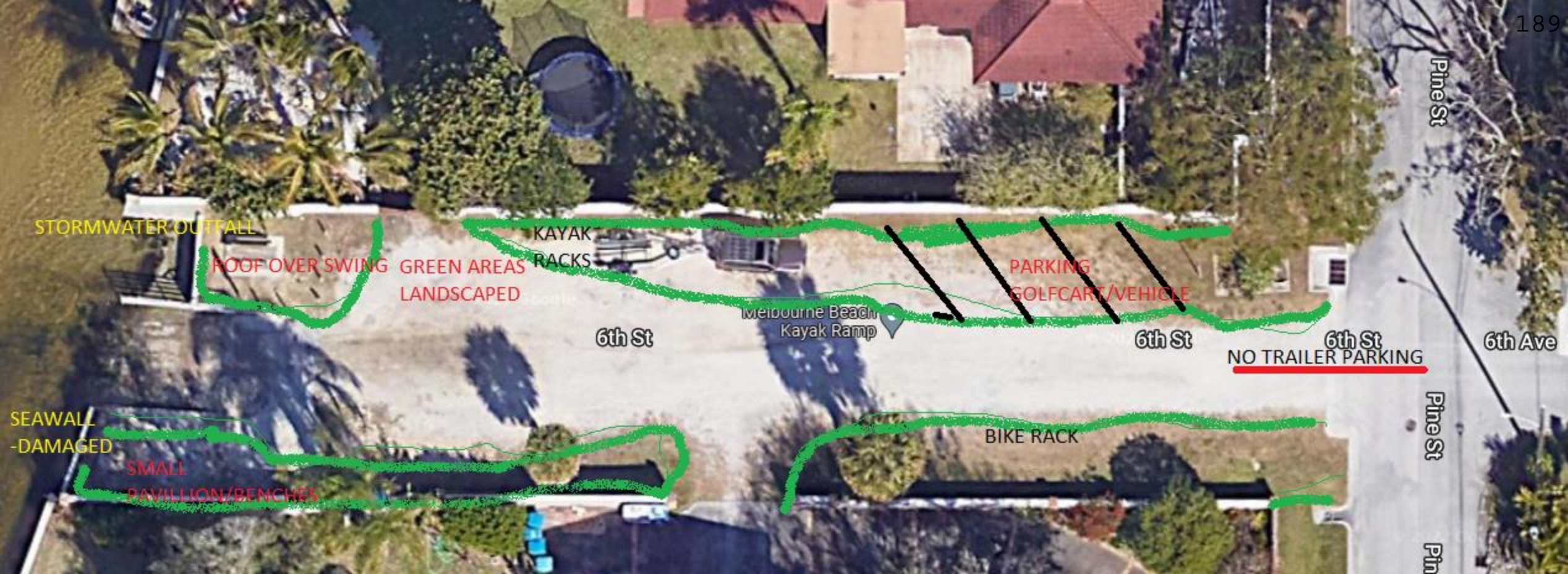












**East Coast Docks, Inc.**  
 5235 Palmetto Drive  
 Melbourne Beach, FL 32951 US  
 321-951-1222  
 info@eastcoastdocks.com  
 www.eastcoastdocks.com

## Proposal



### ADDRESS

Town of Melbourne Beach  
 Public Works  
 507 Ocean Avenue  
 Melbourne Beach, FL 32951

PROPOSAL #	DATE	
22-0173	09/14/2022	

### JOB LOCATION

6th Avenue Boat Ramp

### CUSTOMER PHONE

321-288-7230-Tom Davis

### CUSTOMER EMAIL

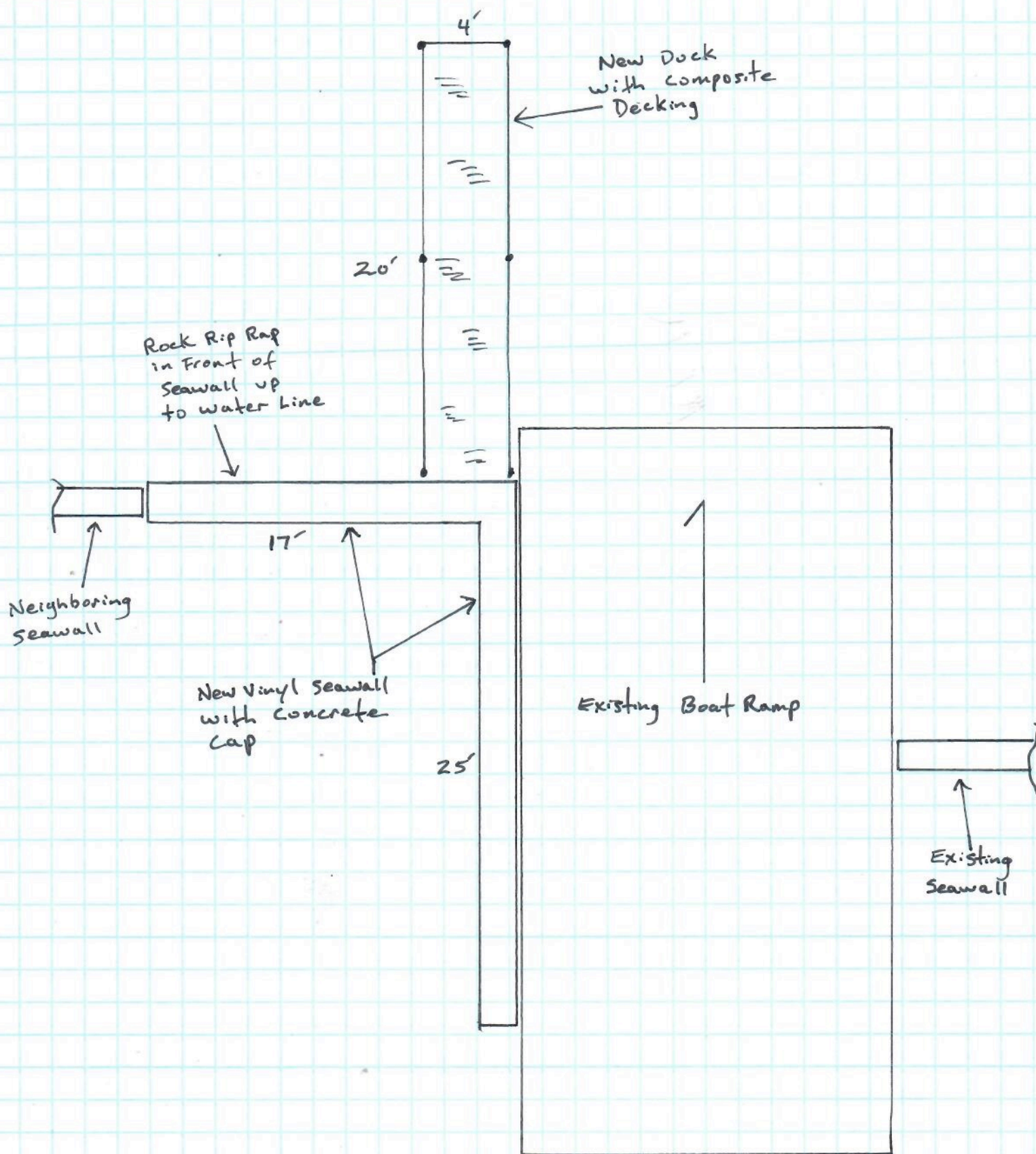
pwsupervisor@melbournebeachfl.o

DESCRIPTION	AMOUNT
<b>NEW SEAWALL AT 6TH AVENUE</b> Remove and haul away existing seawall on south side of boat ramp. Install new seawall (approx. 42 ft.) using 425 series CMI vinyl sheet piling. The sheets will be embedded up to 4-5 feet into river bottom and includes 25 ft. return along south side of existing boat ramp. South end will tie into neighboring wall. Bid includes 5/8" stainless steel tieback rods every 5 feet which are secured to concrete deadmen. Seawall cap will be concrete approx. 20" wide and 16" deep. Bid includes fill dirt behind new wall. Also includes rip rap in front of new wall.	33,700.00
<b>NEW DOCK AT 6TH AVENUE</b> Build new 4' X 20' dock (see concept sketch). Dock construction to consist of 8" pilings, 2x8 stringers, 2x8 through bolted collars and 1x6 WearDeck composite decking. New decking will be attached with stainless steel screws. All lumber is marine grade pressure treated and all hardware is 300 series stainless steel.	4,800.00
Bid includes all labor, materials, tax and permitting.	
<b>SUBTOTAL</b>	38,500.00
<b>TAX</b>	0.00
<b>TOTAL</b>	<b>\$38,500.00</b>

Accepted By

Accepted Date





## Town Commission Meeting

**Section:** New Business  
**Meeting Date:** September 21, 2022  
**From:** Elizabeth Mascaro, Town Manager  
**Subject:** ARP Funds Donation to Property Appraiser's Office

**Background Information:**

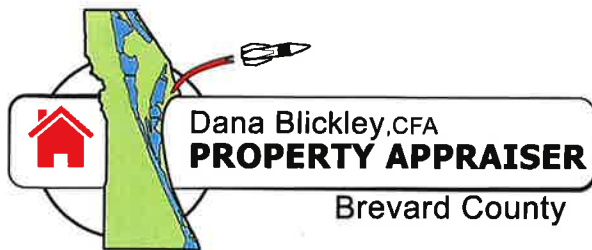
I received a letter from the Brevard County Appraiser's Office asking the Town of Melbourne Beach to donate \$1663.08-1900.67 of our American Rescue Plan Funds toward the County's upgrade of the Map/GIS infrastructure. The total cost of the updating is \$2.1-\$2.4 million. The Appraiser's office is using the total acreage for each jurisdiction to determine the assessed amount. The Appraiser's office states that the assessment is not required *at this time*.

**Recommendation:**

Review the attached request from the Brevard County Property Appraiser's office.

**Attachments:** Letter dated September 8, 2022 from Brevard County Property Appraiser.





September 8, 2022

Elizabeth Mascaro, Town Manager  
Town of Melbourne Beach  
507 Ocean Avenue  
Melbourne Beach, FL 32951

Re: Property Appraiser's Map/GIS Infrastructure

Dear Ms. Mascaro,

As you are aware the Board of County Commissioners set aside a portion of the America Rescue Plan Act (ARPA) funds for the Property Appraiser's Map/GIS Infrastructure at the August 16, 2022 meeting. The Property Appraiser's map is a tool commonly used by both the public and private sector. The current mapping program was developed in the 1990's, digitizing the original hand-drawn maps with the best technology that was available at the time. The depicted boundary lines are inaccurate by today's standards. Mapping software has advanced significantly since then and utilizing Advanced Coordinate Geometry (COGO) style maps will solve the accuracy issues and provide a markedly better-quality service to the public, as well as government agencies.

The total cost of updating the GIS Infrastructure is estimated to be between \$2.1 - \$2.4 million. Brevard County has committed to a cost-sharing approach. Based on 77% of the total acreage in unincorporated Brevard, Brevard County has set aside \$1.866 million for this project. As we are approaching the potential update of the GIS Infrastructure, we are seeking commitment from the Cities to contribute toward the program. The fairest cost allocation to Cities would be based upon total acreage in your jurisdiction in comparison to total overall County acreage, which is the cost allocation method the County has committed to fund.

Although it is not required at this time, updating the GIS infrastructure will provide a more accurate assessment of value and it will provide your jurisdiction with a precise map to more efficiently perform numerous day-to-day functions, including; data analysis, land planning, E-911 addressing, environmental studies, engineering studies, and legal analysis. The reconstructing and updating the Tax map utilizing Coordinate Geometry would include data preparation and cleanup, boundary simplification, topology cleanup, edge matching and polygon reconstruction.

Property Appraiser's Map/GIS Infrastructure  
September 8, 2022  
Page Two

By acting now, the estimated cost of the upgrade is lower than would be expected since Brevard can currently partner (piggyback) to get these upgrades with Volusia County which is about to have the upgrades performed. The Property Appraiser estimates that the cost will increase if the project is undertaken when, as is anticipated, the State requires such an update in the future.

Attached for your review is the cost allocation based on total acreage. We look forward to each City working with the County and Property Appraiser to achieve the necessary funding requirements in order to provide a better program for utilization by local governments, businesses and our constituents.

Thank you for your consideration in this matter.

Sincerely,



Dana Blickley, CFA  
Brevard County Property Appraiser  
P.O. Box 429  
Titusville, FL 32781-0429  
PH: 321-264-6700



Frank Abbate, County Manager  
2725 Judge Fran Jamieson Way  
Building C, Suite 301  
Viera, FL 32940  
PH: 321-633-2001

Attachment

## COST ALLOCATION BASED ON TOTAL ACREAGE

	<u>Total Acres</u>	<u>% of Total</u>	<u>Prorated Portion</u>	
City of Cape Canaveral	1,237.67	0.20%	\$ 4,118.10	\$ 4,706.40
City of Cocoa	7,590.44	1.20%	\$ 25,255.67	\$ 28,863.63
City of Cocoa Beach	3,632.47	0.58%	\$ 12,086.32	\$ 13,812.94
City of Indian Harbour Beach	1,140.67	0.18%	\$ 3,795.35	\$ 4,337.54
City of Melbourne	25,133.41	3.98%	\$ 83,626.40	\$ 95,573.03
City of Palm Bay	46,196.31	7.32%	\$ 153,709.00	\$ 175,667.43
City of Rockledge	7,715.77	1.22%	\$ 25,672.68	\$ 29,340.21
City of Satellite Beach	1,563.89	0.25%	\$ 5,203.53	\$ 5,946.89
City of Titusville	16,651.95	2.64%	\$ 55,406.04	\$ 63,321.19
City of West Melbourne	6,016.34	0.95%	\$ 20,018.17	\$ 22,877.91
Town of Grant-Valkaria	15,674.53	2.48%	\$ 52,153.87	\$ 59,604.42
Town of Indialantic	456.19	0.07%	\$ 1,517.88	\$ 1,734.72
Town of Malabar	6,395.88	1.01%	\$ 21,281.01	\$ 24,321.16
Town of Melbourne Beach	499.83	0.08%	\$ 1,663.08	\$ 1,900.67
Town of Melbourne Village	291.64	0.05%	\$ 970.37	\$ 1,109.00
Town of Palm Shores	369.31	0.06%	\$ 1,228.81	\$ 1,404.35
Unincorporated Brevard County	490,576.00	77.73%	\$ 1,632,293.70	\$ 1,865,478.51
	631,142.30	100.00%	\$ 2,100,000.00	\$ 2,400,000.00

<b>Attachments:</b>	None
<b>Date Prepared:</b>	9-15-2022
<b>Prepared By:</b>	Fire Chief Gavin Brown
<b>Meeting Date:</b>	September 21, 2022

**Agenda Category:**

<input type="checkbox"/>	<b>Proclamations &amp; Awards</b>	<input type="checkbox"/>	<b>Public Hearings</b>
<input type="checkbox"/>	<b>Presentations</b>	<input type="checkbox"/>	<b>Old Business</b>
<input type="checkbox"/>	<b>Boards &amp; Committees</b>	<input checked="" type="checkbox"/>	<b>New Business</b>
<input type="checkbox"/>	<b>Consent</b>	<input type="checkbox"/>	<b>Other:</b>

<b>Subject:</b>	Consideration of a new dock and boat lift for the Fire Department rescue boat.
<b>Recommended Action:</b>	1) Consider allowing construction of a new dock and boat lift in the Southwest corner of Ryckman Park. If approved in concept, the Department will go back to the Volunteer Firefighters Association to obtain funding and begin the permitting process.
<b>Background Information:</b>	<ol style="list-style-type: none"> <li>1. The Fire Department's marine rescue team responds to multiple river related incidents and rescues per year (2 so far this month). The team not only responds within the boundaries of the Town of Melbourne Beach, but also provides aid north to the Pineda Causeway and south to the Sebastian Inlet.</li> <li>2. Currently the Fire Department keeps its boat on a trailer inside the fire station, which can delay response time as its current location requires apparatus to be shuffled to respond, and it must be emergently towed to a boat ramp for launch (usually 6<sup>th</sup> Avenue when the water level is high enough, or Front Street in Melbourne).</li> </ol>

	<ol style="list-style-type: none"><li>3. Keeping the boat on a lift in the river could significantly reduce response times in an emergency, as well as free up room inside the Station's garage.</li><li>4. Recently, Fire Department leadership have meet with 2 local dock construction contractors to discuss options and obtain cost estimates. 2 options were provided, the first being to build an offshoot of the main pier, and the 2<sup>nd</sup> to build a standalone pier in the southwest corner of Ryckman Park.</li><li>5. Although more expensive, we propose the 2<sup>nd</sup> option be considered as it would be out of the way and it would keep the esthetic value of the main pier and park.</li><li>6. The Volunteer Firefighters Association (501c3) was approached regarding the project (approx. \$100,000) and they have agreed to consider providing the necessary funds if the Town is open to the idea of construction.</li><li>7. The new dock and boat lift would be for emergency use only and not open to the public.</li></ol>
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Photo: Aerial picture with approx. dock positioning.



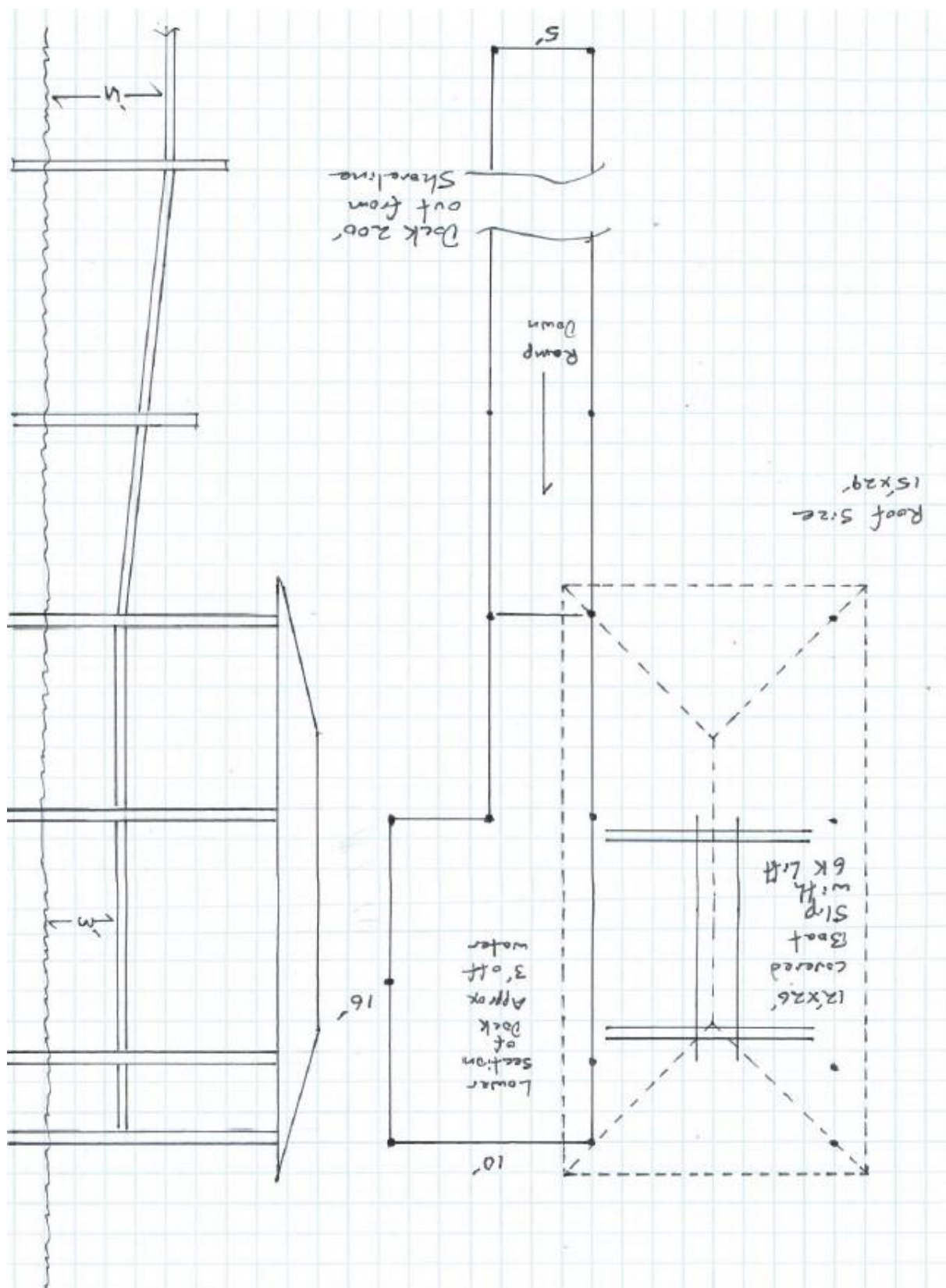


Photo: Draft sketch of dock and lift layout and design.



Photo: Sample of proposed gate



Photo: Sample of proposed lift covering style

## Town Commission Meeting

**Section:** Old Business  
**Meeting Date:** September 21, 2022  
**From:** Elizabeth Mascaro, Town Manager  
**Subject:** New Business

### Background Information:

Tai Chi has been held in Ryckman Park once a week for the past 4-5 months. The class is very well attended. I have received several phone calls and emails from residents, and the instructor, asking to add an additional Tai Chi II class.

Both the Yoga and Tai Chi have been very popular with the residents. I hear nothing but positives about the teachers, the health benefits and the camaraderie of the participants.

The cost of the Yoga and Tai Chi have been moved from the Parks Board to the Ryckman Park Special Revenue Fund.

**Recommendation:** Consider approving the additional Tai Chi class

**Attachments:** None

## **Town Commission Agenda Item**

**Section:** New Business

**Meeting Date:** September 21, 2022

**Subject:** Live Streaming the Commission Meetings

**Submitted By:** Vice Mayor Joyce Barton

### **Background Information:**

Consideration for live streaming of the Regular Town Commission meetings to a free web-based service in order to include more residents in the proceedings held at the Town Hall Complex each month.

The goal is professionalism and transparency for agenda items as presented and discussed.

### **Recommendation:**

### **Attachments:**





## Town Manager Report for September 2022

1. The FY2023 Budget has been completed. The tentative vote was on 9/15/2022 and the Final Vote will be on 9/30/2022.
2. Brewer Paving & Development, LLC will begin the infrastructure improvements on Redwood and Cherry the week of the 26<sup>th</sup>. Tom Davis, Robert Bitgood and I will be notifying the residents of the upcoming construction.
3. Bi-Centennial Park has been completed and looks amazing.
4. Attended the Vision Zero Leadership workshop in Viera. The presentation was about street projects to reduce speeds and increase safety. Painted Crosswalks have been found to reduce speed and accidents. 321 Millennials are looking for opportunities to partner with schools to paint crosswalks. Would you consider allowing Gemini Elementary to participate in this project?
5. S.E.A. Brainstorming Workshop held in the Community Center, hosted by Neal Tompkins. Some great ideas were presented by the residents. It was wonderful to see our elected officials in the audience!
6. Special Magistrate hearing on September 1<sup>st</sup>. Judgement found for the Town. Boat needs to be moved behind the front building line.
7. P&Z meeting held on the 6<sup>th</sup>. Site plans approved. First meeting in 3 months.
8. Parks Board held a Garden Party from 5-7 in the Community Center. Food Trucks, music and a lecture were all a part of the festivities.
9. Met with Michael Hoffman and the EV Charging Rep about the addition of charging station in front of town hall.





# Town of Melbourne Beach

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## Town Clerk Report

**Business Tax Receipts** are due September 30, 2022. Over two hundred letters have been sent out so far, and at this point eighty-two business tax receipts have been issued. Business tax receipts are now being issued and tracked through the new BS&A software.

**Vacation Rentals** - There are seventeen registered vacation rentals within the Town of Melbourne Beach, and three others that have started the registration process.

**Elections** – The Town of Melbourne Beach’s election qualifying period was August 15<sup>th</sup> through the 19<sup>th</sup>. The Brevard County Supervisor of Election held the primary election in the Community Center on August 23<sup>rd</sup>.

**Community Center Audio Equipment** – As requested I am researching Chapter 257 prior to purchasing the new equipment.

**Vendor Meetings** – Met with Carson from Granicus about the Town website. Met with Gregg and Leon from Civic Plus on their meetings & agenda management solution. Met with Hayley from Userway about website accessibility widgets and programs.



## TOWN OF MELBOURNE BEACH

BREVARD COUNTY'S OLDEST BEACH COMMUNITY ESTABLISHED 1883

### Building Department Report

AUGUST 2022

- 58 permits issued
- Construction Value of the 58 permits totaled \$2,455,842.00
- Total Permit fees \$34,580.26
- 140 inspections completed
- 63 plans reviewed
- 2 Single-Family Site Plan review for P&Z
- 1 BTR reviews
- 0 Vacation Rental inspections
- 2 New homes

# Melbourne Beach Permit List

09/07/2022

1/2

Permit	Type	Address	Applicant	Issued	Expired
PWS22-0045	Window, Door, & Shutter	309 HIBISCUS TRL	A BETTER VIEW	08/30/2022	02/26/2022
PWS22-0043	Window, Door, & Shutter	313 HIBISCUS TRL	SUNSET VIEW CONSTRUCTION	08/22/2022	02/18/2022
PWS22-0042	Window, Door, & Shutter	2203 ATLANTIC ST 715	Atlantic Storm Protection	08/30/2022	02/26/2022
PWS22-0036	Window, Door, & Shutter	203 SIXTH AVE 8	SHUTTER SHACK HURRICANE PROTECTION LLC	08/09/2022	02/05/2022
PWS22-0035	Window, Door, & Shutter	400 PELICAN KY	Atlantic Storm Protection	08/05/2022	02/20/2022
PWS22-0034	Window, Door, & Shutter	1710 ATLANTIC ST 5B	FREEDOM GARAGE DOORS LLC	08/12/2022	02/22/2022
PWS22-0033	Window, Door, & Shutter	216 SIXTH AVE	PARADISE GARAGE DOOR SERVICES INC	08/10/2022	02/06/2022
PWS22-0032	Window, Door, & Shutter	403 RIVERSIDE DR	FLORIDA WINDOW & DOOR	08/30/2022	02/26/2022
PWS22-0030	Window, Door, & Shutter	2101 ATLANTIC ST 514	Superior Doors & Windows Inc	08/12/2022	02/08/2022
PWS22-0023	Window, Door, & Shutter	410 ATLANTIC ST	Window World of Central Florida Inc	08/02/2022	01/29/2022
PRR22-0029	Reroof	209 FIRST AVE	Sun Coast Roofing Services, Inc	08/16/2022	02/12/2022
PRO22-0007	Propane	204 RIVERSIDE DR	DIRTYWORK ENVIRONMENTAL SERVICE LLC	08/10/2022	02/19/2022
PRO22-0006	Propane	419 AVENUE B	AMERIGAS PROPANE LP (2)	08/09/2022	02/05/2022
PRB22-0027	Res Building	1710 ATLANTIC ST 5B	Slatinsky Builders LLC	08/26/2022	02/22/2022
PRB22-0026	Res Building	512 HARLAND AVE	ELEVATION CONTRACTORS	08/18/2022	02/15/2022
PRB22-0025	Res Building	312 THIRD AVE	BARFIELD CONTRACTING & ASSOCIATES	08/24/2022	02/20/2022
PRB22-0024	Res Building	103 RIVERSIDE DR	EDILENE, TOBIAZ JOHANSSON	08/02/2022	01/29/2022
PRB22-0023	Res Building	423 RIVER VIEW LN	HEREFORD, ROBERT	08/15/2022	03/06/2022
PRB22-0022	Res New Construction	527 SUNSET BLVD	MONARCH HOMES OF BREVARD LLC	08/10/2022	02/27/2022
PRB22-0015	Res New Construction	1507 PINE ST	CK Development LLC	08/22/2022	02/18/2022
PRB22-0010	Res Building	1409 ATLANTIC ST	FL CONTRACTING SERVICES LLC	08/04/2022	02/28/2022
PPR22-0008	Pool Resurface	221 FOURTH AVE	PARADISE POOLS AND SPA	08/12/2022	02/08/2022
PPE22-0001	Pool Enclosure	707 HIBISCUS TRL	LAFFERTY ALUMINUM AND SCREENING LLC	08/09/2022	02/05/2022
PP22-0010	Plumbing	216 FIFTH AVE	WILLIAM SIEBER	08/18/2022	02/15/2022
PP22-0009	Plumbing	302 5TH AVE	ANCHOR PLUMBING	08/01/2022	01/28/2022
PMC22-0006	Miscellaneous	604 HIBISCUS TRL	Viking Fence & Deck Inc.	08/25/2022	02/21/2022
PMB22_126	Construction	503 SECOND AVE	Drost Electric LLC	08/22/2022	02/18/2022
PMB22_086	Construction	2105 ATLANTIC ST 614	FORBES REMODELING AND CONSTRUCTION LLC	08/22/2022	02/19/2022
PMB22_056	Construction	514 AVENUE B	POOL RENO CREW LLC	08/01/2022	01/28/2022
PMB11_346	Construction	507 HARLAND AVE	STREET, EDWARD B TRUSTEE	08/16/2022	
PM22-0052	Mechanical	218 4TH AVE	JAMES ZALEWSKI	08/26/2022	02/22/2022

# Melbourne Beach Permit List

09/07/2022

2/2

Permit	Type	Address	Applicant	Issued	Expired
PM22-0051	Mechanical	221 CHERRY DR	John T Arrigo	08/15/2022	02/11/2022
PM22-0050	Mechanical	311 5TH AVE	Jerry Lawson	08/16/2022	02/22/2022
PM22-0049	Mechanical	2005 ATLANTIC ST 413	ROBERT AIELLO	08/10/2022	02/06/2022
PM22-0048	Mechanical	449 RIVER VW	Charles Silva	08/10/2022	02/06/2022
PM22-0047	Mechanical	220 SIXTH AVE	Dennis J Zacek	08/01/2022	01/28/2022
PM22-0044	Mechanical	709 RIVERSIDE DR	Gene B Reynolds	08/10/2022	02/06/2022
PG22-0003	Generator	318 SIXTH AVE	DAVIS, THOMAS L	08/31/2022	02/27/2022
PF22-0018	Fence	1200 OAK ST	US CURB APPEAL INC DBA FLORIDA FENCE COMPANY	08/25/2022	02/21/2022
PF22-0017	Fence	204 RIVERSIDE DR	American Fence of Brevard	08/17/2022	02/13/2022
PF22-0016	Fence	403 SURF RD	Carrie's Fence of Palm Bay	08/09/2022	02/18/2022
PF22-0015	Fence	405 6TH AVE	SOBY, JOHN	08/16/2022	02/12/2022
PE22-0018	Electrical	203 SIXTH AVE 10	Mark Hartly	08/24/2022	03/05/2022
PE22-0017	Electrical	322 3RD AVE	BARTON, JOYCE	08/18/2022	02/14/2022
PE22-0016	Electrical	209 FIRST AVE	David Hogarth	08/18/2022	02/14/2022
PE22-0015	Electrical	1507 PINE ST	Clinton J Kicinski	08/15/2022	02/11/2022
PE22-0014	Electrical	315 ATLANTIC ST	Durham & Sons Inc	08/02/2022	02/07/2022
PD22-0006	Demolition	1507 PINE ST	CK Development LLC	08/11/2022	02/07/2022
PCD22-0034	Paver, Concrete, & Deck	507 FIRST AVE	Complete Landscapes by Chris	08/30/2022	02/26/2022
PCD22-0033	Paver, Concrete, & Deck	707 HIBISCUS TRL	JSS CONSTRUCTION SERVICES INC	08/25/2022	02/21/2022
PCD22-0032	Paver, Concrete, & Deck	703 ATLANTIC ST	TITAN PAVERS	08/24/2022	02/20/2022
PCD22-0030	Paver, Concrete, & Deck	310 AVENUE A	MELBOURNE LAWN & LANDSCAPE	08/18/2022	02/22/2022
PCD22-0029	Paver, Concrete, & Deck	606 SHANNON AVE	Dave Nielsen LLC	08/09/2022	02/05/2022
PCD22-0028	Paver, Concrete, & Deck	409 MAGNOLIA AVE	Dave Nielsen LLC	08/02/2022	01/29/2022
PCD22-0023	Paver, Concrete, & Deck	1401 ATLANTIC ST	ATLANTIC DREAMSCAPES INC	08/01/2022	01/28/2022
PCD22-0022	Paver, Concrete, & Deck	500 OCEAN AVE	CUSTOM TROPICAL LANDSCAPING	08/26/2022	02/22/2022
PCD22-0020	Paver, Concrete, & Deck	315 AVENUE B	ELITE PAVERS & PRICE	08/11/2022	02/07/2022
PCB22-0003	Com Building	507 HARLAND AVE	RITE PAINTING INC SMITH, WAYNE B	08/08/2022	02/04/2022

**Total Permits: 58**

## Public Works Activities

August 2022

Please note that the Bicentennial Park project demanded a significant amount of time this month

Repaired outdoor showers Ocean Park

Irrigation work throughout parks

Cleaned stormwater grates

Changed water filter on drinking fountain Ryckman Park

Conducted new employee interviews

Trimmed areas of crossovers

Triangle Park evaluation – found that well is dry – no irrigation

Repaired toilet Ocean Park

Began applications of soil enrichment

Measured Riverside for sidewalk

Attended SEA meeting

Added coquina to golf cart parking area by bocci courts

Worked on 6<sup>th</sup> ramp project planning

Repaired springs on swing at 5<sup>th</sup> ave river

Removed large concrete from old sign at History Center

Mounted banners on post front of Community Center

Repaired toilet PD

Replaced one door closer on Community Center door

Set up Community Center for meetings

# Enforcement List

09/08/2022

1/2

Enforcement #	Address	Category	Status	Origin	Filed	Closed
ECE22-0087	800 PINE ST	Turtle Lighting Violations	Open - Complaint Received	Staff	09/07/22	
ECE22-0086	525 AVENUE B	Trailers, Boats, and Recreational Vehicles	Open - Complaint Received	Staff	09/07/22	
ECE22-0085	313 HIBISCUS TRL	Trailers, Boats, and Recreational Vehicles	Open - Complaint Received	Staff	08/31/22	
ECE22-0080	1505 ATLANTIC ST	Turtle Lighting Violations	Open - Complaint Received	Staff	08/25/22	
ECE22-0074	510 BANYAN WAY	Short Term Rental Violations	Open - Complaint Received	Staff	08/07/22	
ECE22-0070	1201 ATLANTIC ST C		Open - Complaint Received	Staff	08/08/22	
ECE22-0068	215 3RD AVE	Trailers, Boats, and Recreational Vehicles	Open - Complaint Received	Staff	08/08/22	
ECE22-0041	409 THIRD AVE	Lawns - Overgrowth	Open - Court Magistrate		12/02/21	
ECE22-0006	404 COLONY ST	Trailers, Boats, and Recreational Vehicles	Open - First Letter Sent		03/24/22	

Total # of Enforcements: 9

*Cases still open*



# Enforcement List

09/08/2022

1/2

Enforcement #	Address	Category	Status	Origin	Filed	Closed
ECE22-0084	209 FIRST AVE	Noise Complaints	Closed - Complied	Staff	08/28/22	08/28/22
ECE22-0083	402 ANCHOR KY	Trees and Landscaping	Closed - Complied	Staff	08/28/22	08/29/22
ECE22-0082	405 POINSETTIA RD	Trees and Landscaping	Closed - Complied	Staff	08/29/22	08/26/22
ECE22-0077	1905 ATLANTIC ST		Closed - Complied	Staff	08/07/22	08/23/22
ECE22-0076	414 RIVER VIEW LN	Trees and Landscaping	Closed - Complied	Staff	08/15/22	08/18/22
ECE22-0075	201 OAK ST	Turtle Lighting Violations	Closed - Complied	Staff	08/07/22	08/15/22
ECE22-0073	408 RIVERSIDE DR	Lawns - Grass Clippings	Closed - Complied	Public - Email	08/08/22	08/10/22
ECE22-0072	417 2ND AVE	Trailers, Boats, and Recreational Vehicles	Closed - Abated	Public - Email	08/09/22	08/12/22
ECE22-0071	408 AVENUE A	Accessory Structure	Closed - Complied	Staff	08/12/22	08/01/22
ECE22-0069	306 ORANGE ST	Trailers, Boats, and Recreational Vehicles	Closed - Complied	Staff	08/08/22	08/14/22

**Total # of Enforcements: 10**

*Cases open ; Closed Last Month*

# Enforcement List

09/08/2022

1/2

Enforcement #	Address	Category	Status	Origin	Filed	Closed
ECE22-0084	209 FIRST AVE	Noise Complaints	Closed - Complied	Staff	08/28/22	08/28/22
ECE22-0083	402 ANCHOR KY	Trees and Landscaping	Closed - Complied	Staff	08/28/22	08/29/22
ECE22-0082	405 POINSETTIA RD	Trees and Landscaping	Closed - Complied	Staff	08/29/22	08/26/22
ECE22-0077	1905 ATLANTIC ST		Closed - Complied	Staff	08/07/22	08/23/22
ECE22-0076	414 RIVER VIEW LN	Trees and Landscaping	Closed - Complied	Staff	08/15/22	08/18/22
ECE22-0075	201 OAK ST	Turtle Lighting Violations	Closed - Complied	Staff	08/07/22	08/15/22
ECE22-0073	408 RIVERSIDE DR	Lawns - Grass Clippings	Closed - Complied	Public - Email	08/08/22	08/10/22
ECE22-0072	417 2ND AVE	Trailers, Boats, and Recreational Vehicles	Closed - Abated	Public - Email	08/09/22	08/12/22
ECE22-0071	408 AVENUE A	Accessory Structure	Closed - Complied	Staff	08/12/22	08/01/22
ECE22-0069	306 ORANGE ST	Trailers, Boats, and Recreational Vehicles	Closed - Complied	Staff	08/08/22	08/14/22
ECE22-0067	505 ATLANTIC ST	Turtle Lighting Violations	Closed - Complied	Staff	07/09/22	08/07/22
ECE22-0066	101 OAK ST	Turtle Lighting Violations	Closed - Complied	Staff	07/09/22	08/15/22
ECE22-0065	201 OAK ST		Closed - Complied	Staff	07/09/22	08/15/22
ECE22-0063	603 ATLANTIC ST	Turtle Lighting Violations	Closed - Complied	Public - Email	07/05/22	08/06/22
ECE22-0062	401 AVENUE B	Trailers, Boats, and Recreational Vehicles	Closed - Complied	Staff	07/05/22	08/08/22
ECE22-0061	2203 ATLANTIC ST 721	Turtle Lighting Violations	Closed - Complied	Staff	06/25/22	08/06/22
ECE22-0060	2105 ATLANTIC ST	Turtle Lighting Violations	Closed - Complied	Staff	06/25/22	08/06/22
ECE22-0048	538 SUNSET BLVD	Trees and Landscaping	Closed - Complied	Staff	06/09/22	08/12/22
ECE22-0038	401 ATLANTIC ST	Turtle Lighting Violations	Closed - Complied	Staff	05/26/22	08/11/22

Total # of Enforcements: 19

CASES Closed last month

# Enforcement List

09/08/2022

1/2

Enforcement #	Address	Category	Status	Origin	Filed	Closed
ECE22-0085	313 HIBISCUS TRL	Trailers, Boats, and Recreational Vehicles	Open - Complaint Received	Staff	08/31/22	
ECE22-0084	209 FIRST AVE	Noise Complaints	Closed - Complied	Staff	08/28/22	08/28/22
ECE22-0083	402 ANCHOR KY	Trees and Landscaping	Closed - Complied	Staff	08/28/22	08/29/22
ECE22-0082	405 POINSETTIA RD	Trees and Landscaping	Closed - Complied	Staff	08/29/22	08/26/22
ECE22-0081	2005 ATLANTIC ST		Closed - Complied		08/29/22	09/06/22
ECE22-0080	1505 ATLANTIC ST	Turtle Lighting Violations	Open - Complaint Received	Staff	08/25/22	
ECE22-0079	1103 ATLANTIC ST	Turtle Lighting Violations	Closed - Complied	Staff	08/25/22	09/06/22
ECE22-0078	1905 ATLANTIC ST	Turtle Lighting Violations	Closed - Complied	Staff	08/22/22	09/05/22
ECE22-0077	1905 ATLANTIC ST		Closed - Complied	Staff	08/07/22	08/23/22
ECE22-0076	414 RIVER VIEW LN	Trees and Landscaping	Closed - Complied	Staff	08/15/22	08/18/22
ECE22-0075	201 OAK ST	Turtle Lighting Violations	Closed - Complied	Staff	08/07/22	08/15/22
ECE22-0074	510 BANYAN WAY	Short Term Rental Violations	Open - Complaint Received	Staff	08/07/22	
ECE22-0073	408 RIVERSIDE DR	Lawns - Grass Clippings	Closed - Complied	Public - Email	08/08/22	08/10/22
ECE22-0072	417 2ND AVE	Trailers, Boats, and Recreational Vehicles	Closed - Abated	Public - Email	08/09/22	08/12/22
ECE22-0071	408 AVENUE A	Accessory Structure	Closed - Complied	Staff	08/12/22	08/01/22
ECE22-0070	1201 ATLANTIC ST C		Open - Complaint Received	Staff	08/08/22	
ECE22-0069	306 ORANGE ST	Trailers, Boats, and Recreational Vehicles	Closed - Complied	Staff	08/08/22	08/14/22
ECE22-0068	215 3RD AVE	Trailers, Boats, and Recreational Vehicles	Open - Complaint Received	Staff	08/08/22	

**Total # of Enforcements: 18**

*Cases open ~~1~~ last month*



# Melbourne Beach Police Department

## Monthly Report

### August 2022



#### Operations:

In August 2022, The Department responded to 1091 calls for service and 157 house checks.

#### Activity:

- 37 Citations
- 124 Traffic Stops
- 144 Traffic Enforcement
- 3 Traffic Complaint
- 39 Parking Citations

Our radar trailers are operational and are being used throughout the Town.

#### PD News

- Officer Tejeda attended Laser Radar school at Eastern Florida State College
- We are in the process of filming a recruitment video
- Tentative date set for a Halloween Movie in the Park on October 21<sup>st</sup>
- Gemini is now allowing parents to eat with their students on Mondays only for lunch.
- SRO Bradley will be setting up a time to read to the Kindergarten classes soon

The Melbourne Beach Police Officers and I are committed to community policing and keeping our Town safe, which is our #1 priority.

Please see the attachments:

- Sergeant's monthly reports

Stay Safe, Chief Melanie Griswold



# Melbourne Beach Police Department



	August	July	June	MAY	APR	MAR	FEB	JAN						YTD
Total Calls for Service	1248	1457	1160	1356	1049	957	937	940						9104
Total Felonies	4	8	3	0	10	8	5	5						43
Total Misdemeanors	4	4	3	6	16	13	3	7						56
Total Capias Requests	0	1	0	1	3	2	2	1						10
Total Traffic Arrests	0	1	1	1	1	3	0	0						7
Total Other Arrests	0	0	0	0	7	5	2	4						18
														0
911 Investigation	11	23	17	21	19	23	17	14						145
Alarm Business	1	2	2	3	3	18	1	4						34
Alarm Residence	4	6	5	7	2	1	3	0						28
Alarm Vehicle	1	0	0	0	0	0	0	0						1
Aggravated Assault	0	0	1	0	0	0	0	1						2
Animal Complaint	10	4	8	6	1	5	7	10						51
AOA Fire	0	2	7	1	2	1	3	0						16
AOA LEO	8	9	14	9	20	27	19	22						128
Assist Citizen	11	11	11	12	6	11	9	5						76
Assist DCF	0	5	0	0	1	1	1	0						8
Assist Motorist	0	1	4	2	1	2	1	0						11
Attempt To Contact	6	7	0	3	5	1	3	5						30
Baker Act	0	1	1	0	1	1	1	1						6
Battery	1	0	0	2	1	2	2	0						8
Burglary - Residential	1	0	1	0	0	2	0	0						4
Burglary - Vehicle	2	8	1	0	2	1	0	1						15
Civil Matter	2	0	3	2	2	1	2	2						14
Crash	5	4	10	4	6	7	8	2						46
Criminal Mischief	1	0	1	2	2	1	2	0						9
Deceased Person	1	0	2	0	1	0	0	0						4
Disturbance	5	2	4	7	0	2	2	0						22
Disturbance Domestic	0	1	2	2	1	3	2	1						12
Disturbance Domestic Battery	0	0	0	0	2	1	0	1						4
Disturbance Noise	2	2	3	3	3	3	0	1						17
Fraud/Forgery	0	1	0	0	1	2	1	0						5
House Checks	157	276	153	52	71	41	66	92						908
Illegal Dumping	1	0	0	0	0	0	0	0						1
Illegal Parking	30	23	48	68	41	47	68	39						364
Indecent/Lewd Act	0	0	1	0	0	0	0	0						1
Information	12	21	10	9	23	7	15	8						105
Injured/Ill Person	15	14	21	28	10	24	18	17						147



# Melbourne Beach Police Department



	August	July	June	MAY	APR	MAR	FEB	JAN						YTD
Intoxicated Driver	0	0	1	0	1	0	0	1						3
Intoxicated Person	3	1	0	0	1	0	0	1						6
Investigation	2	17	0	0	4	2	1	2						28
Missing Person	2	1	0	0	0	0	0	0						3
Narcotics	0	1	0	0	1	0	1	0						3
Open Door	5	13	4	5	4	1	5	5						42
Overdose	0	1	1	0	0	0	0	0						2
Parking Citations	39	21	73	67	50	71	79	50						450
Patrol Area	88	80	79	103	71	65	86	80						652
Patrol Area Business	163	219	253	216	311	179	170	169						1680
Patrol Area Residential	490	711	411	487	326	244	226	320						3215
Patrol Area School	21	5	4	31	43	43	44	38						229
Property Confiscated	0	1	1	0	1	4	1	0						8
Property Found	3	2	0	4	4	3	3	0						19
Property Lost	1	2	2	1	0	0	1	0						7
Reckless Driving	2	6	7	5	4	5	6	6						41
Retail Theft	1	1	0	1	0	0	0	0						3
Shooting in the Area	0	1	2	0	0	0	0	1						4
Soliciting	0	0	0	0	0	0	1	0						1
Special Detail	0	0	1	1	0	1	0	1						4
Special Response ATV	0	0	0	0	0	1	0	0						1
Special Response Drone	2	1	0	2	0	0	0	0						5
Standby-Keep the Peace	0	1	0	0	2	1	0	1						5
Suicide	1	0	0	0	0	0	0	0						1
Suspicious Incident	11	12	6	15	7	8	8	7						74
Suspicious Person	12	7	10	11	12	16	9	3						80
Suspicious Vehicle	27	34	18	19	8	19	19	13						157
Theft	1	3	1	2	2	2	0	1						12
Traffic Citations	37	20	21	24	43	28	28	25						226
Traffic Complaint	3	1	1	6	1	4	1	2						19
Traffic Enforcement	144	92	110	105	89	92	105	83						820
Traffic Stop	124	88	70	95	103	97	110	102						789
Traffic Obstruction	1	0	0	2	0	1	0	0						4
Trespass	3	2	1	3	2	3	1	0						15





# Melbourne Beach Police Department



	August	July	June	MAY	APR	MAR	FEB	JAN						YTD
Vehicle Abandoned	1	0	0	0	0	0	0	0						1
Vehicle Inspection	3	1	0	1	1	3	3	2						14
Vehicle Repo/Tow	0	0	0	0	0	1	0	0						1
Wanted Person	0	1	0	0	0	1	0	0						2

Vehicle Mileage	August	July	June	MAY	APR	MAR	FEB	JAN						YTD
Car 360	555	1032	881	910	957	590	511	379						5815
Car 361	1048	1273	1141	798	709	491	774	872						7106
Car 363	1037	917	1381	648	1195	1088	1047	885						8198
Car 364	71	157	7	80	107	77	94	86						679
Car 366	648	756	471	813	678	838	908	978						6090
Car 367	847	907	907	1206	973	821	901	1354						7916
ATV 1	0	0	0	23	11	21	0	0						55
ATV 2	0	0	7	0	0	0	0	8						15

**MELBOURNE BEACH POLICE DEPARTMENT****Jason Hinchman****Sergeant****507 Ocean Ave, Melbourne Beach, FL 32951****Phone: (321) 723-4343****Fax: (321)725-3253****Monthly Report August 2022**

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- 08/07: Suicide in the 400 block of Ocean Avenue. Brevard County Sheriff's Department is investigating the incident.
- 08/08: Traffic crash in the 100 block of Ocean Avenue. (2) Vehicles involved with minor damage, no injuries reported on scene. Both vehicles were removed by drivers.
- 08/10: Multiple vehicle burglaries in the 400 block of Sandy Key. No suspect information at this time. Case is still under investigation.
- 08/10: Multiple vehicle burglaries in the 400 block of Riverview Lane. No suspect information at this time. Case is still under investigation.
- 08/15: Marchman Act in the 200 block of Sixth Avenue. Male subject was transported to the proper facility for treatment.
- 08/24/2022: Theft in the 300 block of Ocean Avenue. A female subject stole a bottle of liquor from a store. The reporting person did not wish to press charges and filled out a decline to prosecute. The suspect was issued a trespass warning from the address.
- 08/26/2022: Burglary/Theft in the 500 block of Poinsettia Road. Several items were stolen from the residence. No suspect information at this time. Case is still under investigation.



## MELBOURNE BEACH POLICE DEPARTMENT

**Jason Sadler**

**Sergeant**

**507 Ocean Ave, Melbourne Beach, FL 32951**

**Phone: (321) 723-4343**

**Fax: (321) 725-3253**



### Sgt. Sadler Monthly Report August 2022

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**8/3-** Traffic crash in the area of Oak Street and Avenue A. No injuries or major damage.

**8/5-** Marchman Act in the 1000 block of Atlantic Street. Male was transported to Holmes Regional Medical Center and was issued a Trespass Warning.

**8/6-** A traffic stop was conducted on a vehicle in the 200 block of Fifth Avenue for improper display of the license plate. 12.1 grams of suspected marijuana was seized for destruction.

**8/6-** A battery occurred in the 500 block of Avenue B. No injuries were reported and the victim declined to prosecute.

**8/6-** Criminal Mischief in the 1000 block of Atlantic Street. A male jumped off the second floor, damaging property in the process. A Trespass Warning was issued and the victim declined to prosecute.

**8/11-** Marchman Act in the 200 block of Sixth Avenue. Male transported to Holmes Regional Medical Center.

**8/11-** Vehicle Burglary in the 200 block of Dogwood Avenue. Victim declined to prosecute.

**8/12-** A traffic stop was conducted on a vehicle in the 2000 block of Oak Street for unlawful speed. The driver was issued a court date for driving while license suspended with knowledge.

**8/12-** Marchman Act in the 200 block of Sixth Avenue. Male transported to Holmes Regional Medical Center.

**8/14-** Marchman Act in the 100 block of Ocean Avenue. Male was transported to Circles of Care.

**8/14-** A male and female were issued a Trespass After Warning in the 300 block of Ocean Avenue.

**8/21-** Single vehicle traffic crash in the 200 block of Riverside Drive. No injuries with minor damage to a power pole and landscape.

**8/22-** Petit Theft in the 500 block of Avenue B. Victim declined prosecution.

**8/30-** A male was issued a Trespass After Warning in the 500 block of Avenue B.



**Melbourne Beach  
Vol. Fire Department**  
507 Ocean Avenue  
Melbourne Beach, FL 32951  
(321)724-1736  
FireChief@MelbourneBeachFL.org

## **FIRE DEPARTMENT MONTHLY REPORT**

### ***August 2022***

#### **Incident Response**

For the month of August 2022, the Melbourne Beach Volunteer Fire Department responded to 18 calls for service. The average number of responding volunteer personnel per paged out call for the month was 9.

Breakdown:

- 10 Fire/Rescue 911 Calls (paged out)
- 3 Public Service Incidents (2 fire drills, 1 oil spill cleanup)
- 3 Special Incidents (Fire Inspections)
- 1 Assist Other Agency - MPD (MVC with disabled vehicle in roadway)
- 1 False Call

#### **Notable Incidents**

- 08/05/2022 – 2 victims stuck in fully extended T350 boom-style man lift (approx. 34 ft. in the air). Due to the location and position of the lift, crews were unable to utilize safety override or ladder truck for rescue. 35ft ground ladder used and both victims successfully rescued.
- 08/14/2022 – Gas Leak in 200 Blk of Ocean Avenue. Confirmed leak and located source (large underground tank). Secured area until utility company could arrive to shut off and repair leak.

#### **Department Membership**

- Certified Firefighters: 24
- Support Services Personnel: 3
- Administrative Personnel: 1
- Probationary Personnel: 4

## Notable Events

The Fire Department's State Certified Instructors taught an Emergency Vehicle Driver Training course to teach how to safely operate a fire engine. 6 MBVFD volunteers successfully completed the training program. Thanks to Eastern Florida State College for allowing us to practice at their police driving pad in Palm Bay.



Chief Brown and Palm Bay Firefighter Childs assisted 2 local boy scouts with completing their First Aid Merit Badge. The merit badge teaches critical skills such as CPR, bleeding control, and treatment of both life threatening and minor injuries. In addition, the scouts assisted in putting together a new and upgraded first aid kit for the troop.

Fire Department leadership met with the Volunteer Firefighters Association Board of Directors to discuss funding options for construction of a dock & boat lift for the Fire Department's marine rescue boat. The Association agreed to consider funding the project if the Town was open to the construction.

## Grant Updates

The Fire Department continues to investigate possible grant opportunities through the Leary Firefighters Foundation, State of Florida, FireHouse Subs Public Safety Foundation, and FM Global.

The Fire Department completed and submitted the FY21 FEMA Assistance to Firefighters Grant back in December 2021. The purpose of the grant is to assist in offsetting the cost of purchasing new radios. At this time we are still awaiting a response back from FEMA.



# Melbourne Beach VFD

Melbourne Beach, FL

This report was generated on 9/16/2022 12:09:51 PM



## Incident Address and Type for Date Range (Landscape)

Incident Status(s): All Incident Statuses | Start Date: 08/01/2022 | End Date: 08/31/2022

INCIDENT #	DATE	LOCATION TYPE	ADDRESS	INCIDENT TYPE	ALARM	CLEARED SCENE
2022-125	08/03/2022		2203 Atlantic ST , Melbourne Beach, FL, 32951	Alarm system sounded due to malfunction	08/03/2022 17:35	08/03/2022 17:47
2022-126	08/04/2022		522 Ocean AVE , Melbourne Beach, FL, 32951	Special type of incident, other	08/04/2022 10:10	08/04/2022 12:28
2022-127	08/05/2022		249 5th AVE , Indialantic, FL, 32903	Dispatched & cancelled en route	08/05/2022 09:48	08/05/2022 09:54
2022-128	08/05/2022		902 Oak ST , Melbourne Beach, FL, 32951	Extrication, rescue, other	08/05/2022 20:23	08/05/2022 21:00
2022-129	08/11/2022		5635 S Hwy A1A , Melbourne Beach, FL, 32951	Dispatched & cancelled en route	08/11/2022 12:38	08/11/2022 12:57
2022-130	08/12/2022		2100 Oak ST , Melbourne Beach, FL, 32951	Public service	08/12/2022 08:58	08/12/2022 09:53
2022-131	08/14/2022		201 Ocean AVE , Melbourne Beach, FL, 32951	Gas leak (natural gas or LPG)	08/14/2022 17:45	08/14/2022 19:27
2022-132	08/14/2022	Intersection	Pine ST / Ocean Ave, Melbourne Beach, FL, 32951	Public service assistance, other	08/14/2022 18:17	08/14/2022 18:25
2022-133	08/18/2022		1321 S Miramar AVE , Indialantic, FL, 32903	Dispatched & cancelled en route	08/18/2022 17:33	08/18/2022 17:45
2022-134	08/19/2022	Intersection	Neptune DR / Coral Ave, Melbourne Beach, FL, 32951	EMS call, excluding vehicle accident with injury	08/19/2022 13:34	08/19/2022 14:26
2022-135	08/19/2022		402 Coral AVE , Melbourne Beach, FL, 32951	False alarm or false call, other	08/19/2022 13:32	08/19/2022 13:55
2022-136	08/21/2022		203 Riverside DR , Melbourne Beach, FL, 32951	Motor vehicle accident with no injuries.	08/21/2022 17:17	08/21/2022 18:49
2022-137	08/23/2022		1805 Oak ST , Melbourne Beach, FL, 32951	Special type of incident, other	08/23/2022 09:13	08/23/2022 11:07
2022-138	08/25/2022		200 Ocean AVE , Melbourne Beach, FL, 32951	Chemical spill or leak	08/25/2022 12:03	08/25/2022 12:34
2022-139	08/25/2022		1425 Atlantic ST , Melbourne Beach, FL, 32951	EMS call, excluding vehicle accident with injury	08/25/2022 17:46	08/25/2022 18:01
2022-140	08/26/2022	Intersection	E Hibiscus BLVD / S. Babcock St, Melbourne, FL, 32901	Motor vehicle accident with no injuries.	08/26/2022 21:06	08/26/2022 21:07
2022-141	08/30/2022		1850 Atlantic ST , Melbourne Beach, FL, 32951	Special type of incident, other	08/30/2022 13:47	08/30/2022 15:32
2022-142	08/31/2022		2100 Oak ST , Melbourne Beach, FL, 32951	Public service	08/31/2022 09:41	08/31/2022 10:31

Location Type is only filled in when it is marked Intersection, Directions, or National Grid on Basic Info 3.



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# Melbourne Beach VFD

Melbourne Beach, FL

This report was generated on 9/16/2022 12:11:08 PM



## Personnel Count per Incident for Date Range

Start Date: 08/01/2022 | End Date: 08/31/2022

INCIDENT				NUMBER OF PEOPLE		
NUMBER	DATE	INCIDENT TYPE	FDID	ON APPARATUS	NOT ON APPARATUS	TOTAL
** 2022-125	8/3/2022 17:35:37	735 - Alarm system sounded due to malfunction	19112	1	6	7
2022-126	8/4/2022 10:10:09	900 - Special type of incident, other	19112	2	0	2
** 2022-127	8/5/2022 09:48:03	611 - Dispatched & cancelled en route	19112	1	8	9
** 2022-128	8/5/2022 20:23:16	350 - Extrication, rescue, other	19112	8	3	11
** 2022-129	8/11/2022 12:38:47	611 - Dispatched & cancelled en route	19112	1	8	9
2022-130	8/12/2022 08:58:02	553 - Public service	19112	1	0	1
** 2022-131	8/14/2022 17:45:04	412 - Gas leak (natural gas or LPG)	19112	9	1	10
** 2022-132	8/14/2022 18:17:07	550 - Public service assistance, other	19112	4	6	10
** 2022-133	8/18/2022 17:33:38	611 - Dispatched & cancelled en route	19112	4	8	12
** 2022-134	8/19/2022 13:34:25	321 - EMS call, excluding vehicle accident with injury	19112	1	8	9
2022-135	8/19/2022 13:32:55	700 - False alarm or false call, other	19112	1	0	1
** 2022-136	8/21/2022 17:17:26	324 - Motor vehicle accident with no injuries.	19112	6	0	6
2022-137	8/23/2022 09:13:59	900 - Special type of incident, other	19112	1	0	1
2022-138	8/25/2022 12:03:26	422 - Chemical spill or leak	19112	1	0	1
** 2022-139	8/25/2022 17:46:49	321 - EMS call, excluding vehicle accident with injury	19112	5	5	10
2022-140	8/26/2022 21:06:24	324 - Motor vehicle accident with no injuries.	19112	1	0	1
2022-141	8/30/2022 13:47:21	900 - Special type of incident, other	19112	1	0	1
2022-142	8/31/2022 09:41:14	553 - Public service	19112	1	0	1

**TOTAL # OF INCIDENTS: 18**

**AVERAGES:**

**2.7**

**2.9**

**5.7**

Total # of incidents  
paged out for  
volunteer response: 10

\*\* Without EMS Assist or Service Calls:  
(Paged out calls only)

**4.0**

**5.3**

**9.3**

Only REVIEWED incidents included

Note: 900 series "Special Incidents" include fire inspections performed.



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Town of Melbourne Beach  
Finance Department

# Memo

To: Mayor, Vice Mayor and Commissioners  
 From: Jennifer Kerr, Finance Manager  
 Date: September 15, 2022  
 Re: August 2022

We are in the eleventh month of our fiscal year 2022. The target expenditure rate for June is 91.67%. All departments are managing their expenditures even though several lines are over the targeted expenditure rate. All budget items highlighted in green are over the target rate but within the anticipated spending of that budget line and items highlighted in red are over expended. Some budget lines are fully expended early in the budget year while other lines like salaries and health insurance are paid on a monthly basis. The total General Fund expenditure rate, year to date is 91.40%. The Departmental expenditure rate breakdown is as follows:

Legislative:	77.53%
Executive:	70.15%
Finance:	104.11%
Legal:	100.21%
Comp & Plan:	50.16%
General Services:	84.14%
Law Enforcement:	80.72%
Fire:	70.82%
Code:	80.74%
Public Works:	85.56%
Parks:	80.66%

## Discussion Items:

This time last year the overall expenditure rate was at 84.70%. We have a 6.7% increase in operating cost this year verse last year at this time. With inflation and the rise in costs to operate all departments are managing to stay within their overall budgets. The larger increases we have seen have been in utilities, fuel, building and grounds maintenance costs, and office supplies.

The Town received \$16,558.63 in Parking Revenue for August. A graph of the parking revenue over the fiscal year is attached.

The breakdown is as follows:

Ocean Park: \$9,933.95

Ryckman Park: \$6,624.68

As of September 14, 2022, we have collected 99.44% of the expected revenue for FY22.

Andres Orozco's, Maintenance Tech I with Public Works, last day of employment was September 1, 2022. He left to start a new job working as a Plumbing Apprentice.

On August 29, 2022, we welcomed our new Maintenance Tech I Public Work's employee, Sean Foster.

We are in preparation of the close out of Fiscal Year 2022 and the start of the Interim Audit which will begin in October.

As of 08/31/2022

Fund: 001 GENERAL FUND

Account Category: Revenues	Description	Budget	Amended	Encumbrar	Available	% Used
001-00-311.00.00	AD VALOREM TAXES	2,188,884.00	2,188,884.00	0.00	192.42	99.99
001-00-312.41.00	LOCAL OPTION COUNTY GAS TAX	66,200.00	66,200.00	0.00	(28,600.99)	143.20
001-00-314.10.00	UTILITY SERVICES TAX FPL	269,000.00	269,000.00	0.00	53,255.64	80.20
001-00-314.30.00	UTILITY SERVICES TAX WATER	58,000.00	58,000.00	0.00	8,870.10	84.71
001-00-314.40.00	UTILITY SERVICES TAX GAS	0.00	0.00	0.00	(153.16)	100.00
001-00-314.40.10	UTILTIY GAS TAX AMERIGAS	8,000.00	8,000.00	0.00	913.49	88.58
001-00-314.40.20	UTILITY GAS TAX SUBURBAN	1,100.00	1,100.00	0.00	115.76	89.48
001-00-314.40.30	UTILTIY GAS TAX FERRELL	2,100.00	2,100.00	0.00	(969.10)	146.15
001-00-314.40.40	UTILITY GAS TAX SAM'S GAS	0.00	0.00	0.00	(168.18)	100.00
001-00-315.00.00	COMMUNICATIONS SERVICE TAX	130,000.00	130,000.00	0.00	28,482.05	78.09
001-00-316.00.00	OCCP. LIC	6,300.00	6,300.00	0.00	(8,830.71)	240.17
001-00-323.10.00	FRANCHISE FEES FPL	192,000.00	192,000.00	0.00	41,428.41	78.42
001-00-323.70.00	FRANCHISE FEES SOLID WASTE	39,000.00	39,000.00	0.00	2,400.53	93.84
001-00-323.70.10	SOLID WASTE COMMERCIAL	12,000.00	12,000.00	0.00	(897.73)	107.48
001-00-329.20.00	BONFIRE PERMIT	0.00	0.00	0.00	(300.00)	100.00
001-00-329.50.00	LOW SPEED VEHICLE REGISTRATION	0.00	0.00	0.00	(400.00)	100.00
001-00-329.50.10	LOW SPEED VEHICLE PERMIT FEE	0.00	0.00	0.00	(200.00)	100.00
001-00-334.20.10	CARES ACT PD	0.00	0.00	0.00	(36,681.90)	100.00
001-00-334.40.00	FMIT SAFETY GRANT	5,000.00	5,000.00	0.00	(2,337.00)	146.74
001-00-335.12.00	STATE REVENUE SHARING PROCEEDS	55,000.00	55,000.00	0.00	(48,765.29)	188.66
001-00-335.15.00	ALCOHOLIC BEVERAGE LICENSES	4,100.00	4,100.00	0.00	(509.47)	112.43
001-00-335.18.00	HALF CENT SALES TAX LOCAL GOV	184,000.00	184,000.00	0.00	12,527.12	93.19
001-00-342.20.00	SAFETY INSPECT FEE VAC RENTAL	850.00	850.00	0.00	255.00	70.00
001-00-342.20.10	SAFETY RENEWAL-VAC RENTALS	850.00	850.00	0.00	750.00	11.76
001-00-345.10.00	VAC RENTAL APP FEE-INITIAL	5,000.00	5,000.00	0.00	905.00	81.90
001-00-345.10.10	VAC RENEWAL FEE - RENTALS	5,000.00	5,000.00	0.00	2,150.00	57.00
001-00-361.10.00	INTEREST ON INVESTMENTS	1,275.00	1,275.00	0.00	(2,879.76)	325.86
001-00-366.21.00	DONATIONS	100.00	100.00	0.00	100.00	0.00

001-00-369.00.00	MISCELLANEOUS REVENUE	500.00	500.00	0.00	(2,284.68)	556.94
001-00-369.00.49	INSURANCE RECOVERY	0.00	0.00	0.00	(317.64)	100.00
Total Dept 00						99.44

Description	Budget	Amended	Encumbrar	Available	% Used
MISCELLANEOUS REVENUE	0.00	0.00	0.00	(105.00)	100.00
					100.00

**Department: 13 FINANCE**

001-13-369.00.00	MISCELLANEOUS REVENUE	0.00	0.00	0.00	(105.00)	100.00
						100.00

Description	Budget	Amended	Encumbrar	Available	% Used
INSURANCE PREMIUM TAX	40,536.00	40,536.00	0.00	(5,256.37)	112.97
SCHOOL RESOURCE OFFICER	57,000.00	57,000.00	0.00	(5,750.00)	110.09
STATE LE COMPUTER GRANT	1,000.00	1,000.00	0.00	1,000.00	0.00
SPECIAL EVENTS	1,500.00	1,500.00	0.00	1,500.00	0.00
FINES - LAW ENFORCEMENT	8,000.00	8,000.00	0.00	688.61	91.39
PARKING TICKETS	8,000.00	8,000.00	0.00	5,250.00	34.38
ACCIDENT REPORT	100.00	100.00	0.00	(46.50)	146.50
MISCELLANEOUS REVENUE	0.00	0.00	0.00	(56.00)	100.00
					102.30

**Department: 21 LAW ENFORCEMENT**

001-21-312.52.00	INSURANCE PREMIUM TAX	40,536.00	40,536.00	0.00	(5,256.37)	112.97
001-21-337.20.00	SCHOOL RESOURCE OFFICER	57,000.00	57,000.00	0.00	(5,750.00)	110.09
001-21-337.25.01	STATE LE COMPUTER GRANT	1,000.00	1,000.00	0.00	1,000.00	0.00
001-21-347.90.01	SPECIAL EVENTS	1,500.00	1,500.00	0.00	1,500.00	0.00
001-21-351.00.00	FINES - LAW ENFORCEMENT	8,000.00	8,000.00	0.00	688.61	91.39
001-21-351.13.00	PARKING TICKETS	8,000.00	8,000.00	0.00	5,250.00	34.38
001-21-351.13.10	ACCIDENT REPORT	100.00	100.00	0.00	(46.50)	146.50
001-21-369.00.00	MISCELLANEOUS REVENUE	0.00	0.00	0.00	(56.00)	100.00
						102.30

Description	Budget	Amended	Encumbrar	Available	% Used
FIRE PROTECTIVE SERVICES	4,500.00	4,500.00	0.00	(460.00)	110.22
MISCELLANEOUS REVENUE	0.00	0.00	0.00	(600.00)	100.00
					123.56

**Department: 22 FIRE CONTROL**

001-22-322.30.00	FIRE PROTECTIVE SERVICES	4,500.00	4,500.00	0.00	(460.00)	110.22
001-22-369.00.00	MISCELLANEOUS REVENUE	0.00	0.00	0.00	(600.00)	100.00
						123.56

Description	Budget	Amended	Encumbrar	Available	% Used
OTHER FINES AND FORFEITURES	1,000.00	1,000.00	0.00	675.00	32.50
					32.50

**Department: 29 CODE ENFORCEMENT**

001-29-359.00.00	OTHER FINES AND FORFEITURES	1,000.00	1,000.00	0.00	675.00	32.50
						32.50

**Department: 41 PUBLIC WORKS**

001-41-369.00.00

Description	Budget	Amended	Encumbrar	Available	% Used
MISCELLANEOUS REVENUE	0.00	0.00	0.00	(500.00)	100.00
					100.00

**Department: 72 PARKS & RECREATION**

001-72-347.41.00

001-72-347.50.00

001-72-366.47.03

Description	Budget	Amended	Encumbrar	Available	% Used
FOUNDER'S DAY	8,000.00	8,000.00	0.00	1,830.00	77.13
FACILITY RENTALS	13,000.00	0.00	0.00	0.00	0.00
COMMUNITY CENTER DONATIONS	0.00	0.00	0.00	(150.00)	100.00
					79.00

**Department: 75 TOWN PARKS**

001-75-342.10.00

001-75-344.50.00

001-75-344.50.10

001-75-347.50.00

Description	Budget	Amended	Encumbrar	Available	% Used
PARKING TICKET REVENUE	3,000.00	3,000.00	0.00	(3,700.00)	223.33
PARKING METER REVENUE	37,008.00	37,008.00	0.00	(40,839.74)	210.35
PARK PASS REVENUE	0.00	0.00	0.00	(2,150.00)	100.00
FACILITY RENTALS	0.00	13,000.00	0.00	8,135.20	37.42
					172.73

**Revenues**

100.66

**Account Category: Expenditures****Fund 001: General Fund**

Department: 00

001-00-581.00.00

Total Dept 00

Description	Budget	Amended	Encumbrar	Available	% Used
TRANSFER OUT	0.00	0.00	0.00	(323,351.00)	100.00
					(323,351.00)
					100.00

**Department: 11 LEGISLATIVE**

001-11-500.11.00

001-11-500.12.00

Description	Budget	Amended	Encumbrar	Available	% Used
EXECUTIVE SALARIES	16,200.00	16,200.00	0.00	1,348.11	91.68
REGULAR SALARIES	60,705.00	60,705.00	0.00	6,321.21	89.59



001-11-500.21.00	FICA TAXES - EMPLOYER PORTION	4,644.00	4,644.00	0.00	(571.43)	112.30
001-11-500.22.20	RETIREMENT TOWN EMPLOYEES	6,568.00	6,568.00	0.00	703.81	89.28
001-11-500.23.01	HEALTH INSURANCE	8,568.00	8,568.00	0.00	1,949.60	77.25
001-11-500.23.02	LIFE INSURANCE	70.00	70.00	0.00	8.07	88.47
001-11-500.25.00	UNEMPLOYMENT COMPENSATION	194.00	194.00	0.00	93.34	51.89
001-11-510.31.00	PROFESSIONAL SERVICES	250.00	250.00	0.00	113.50	54.60
001-11-510.40.00	TRAVEL & MEETINGS	3,640.00	3,640.00	0.00	1,874.50	48.50
001-11-510.40.10	TRAVEL & MEETINGS - STAFF	2,788.00	2,788.00	0.00	1,333.93	52.15
001-11-510.47.00	PRINTING	5,015.00	5,015.00	0.00	3,350.16	33.20
001-11-510.47.20	PUBLIC RECORDS PRINTING	0.00	0.00	0.00	(42.55)	100.00
001-11-510.48.00	PROMOTIONAL ACTIVITIES	600.00	600.00	0.00	38.25	93.63
001-11-510.48.40	LEGAL NOTICES	10,000.00	10,000.00	0.00	5,457.86	45.42
001-11-510.49.50	ELECTION EXPENSE	2,500.00	2,500.00	0.00	2,500.00	0.00
001-11-510.54.00	DUES & SUBSCRIPTIONS	875.00	875.00	0.00	(210.00)	124.00
001-11-510.54.10	TRAINING & SCHOOLS	4,410.00	4,410.00	0.00	4,110.00	6.80
001-11-510.64.00	MACHINERY & EQUIPMENT	2,000.00	2,000.00	0.00	1,938.00	3.10
001-11-543.00.00	LICENSES & FEES	7,421.00	7,421.00	0.00	348.02	95.31
						77.53

Description		Budget	Amended	Encumbrar	Available	% Used
<b>Department: 12 EXECUTIVE</b>						
001-12-500.12.00	REGULAR SALARIES	121,960.00	121,960.00	0.00	32,776.20	73.13
001-12-500.21.00	FICA TAXES - EMPLOYER PORTION	9,330.00	9,330.00	0.00	1,612.93	82.71
001-12-500.22.01	RETIREMENT - ICMA	10,820.00	10,820.00	0.00	1,152.46	89.35
001-12-500.22.20	RETIREMENT TOWN EMPLOYEES	2,376.00	2,376.00	0.00	2,376.00	0.00
001-12-500.23.01	HEALTH INSURANCE	25,697.00	25,697.00	0.00	13,634.36	46.94
001-12-500.23.02	LIFE INSURANCE	735.00	735.00	0.00	54.00	92.65
001-12-500.25.00	UNEMPLOYMENT COMPENSATION	390.00	390.00	0.00	224.77	42.37
001-12-510.40.00	TRAVEL & MEETINGS	1,320.00	1,320.00	0.00	138.19	89.53
001-12-510.52.50	GAS & OIL	2,400.00	2,400.00	0.00	200.00	91.67
001-12-510.54.00	DUES & SUBSCRIPTIONS	895.00	895.00	0.00	349.00	61.01
001-12-510.54.10	TRAINING & SCHOOLS	450.00	450.00	0.00	122.25	72.83
						70.15

		Description	Budget	Amended	Encumbrar Available	% Used
<b>Department: 13 FINANCE</b>						
001-13-500.12.00		REGULAR SALARIES	61,234.00	61,234.00	0.00	(5,037.44) 108.23
001-13-500.21.00		FICA TAXES - EMPLOYER PORTION	4,684.00	4,684.00	0.00	(185.12) 103.95
001-13-500.22.20		RETIREMENT TOWN EMPLOYEES	6,626.00	6,626.00	0.00	(608.86) 109.19
001-13-500.23.01		HEALTH INSURANCE	7,835.00	7,835.00	0.00	(1,392.72) 117.78
001-13-500.23.02		LIFE INSURANCE	70.00	70.00	0.00	(20.08) 128.69
001-13-500.25.00		UNEMPLOYMENT COMPENSATION	196.00	196.00	0.00	64.88 66.90
001-13-510.31.00		PROFESSIONAL SERVICES	7,000.00	7,000.00	0.00	1,366.47 80.48
001-13-510.32.00		AUDITING SERVICES	23,000.00	23,000.00	0.00	(50.00) 100.22
001-13-510.32.90		BANKING FEES	4,700.00	4,700.00	0.00	(545.56) 111.61
001-13-510.32.95		IPS BANKING FEE	3,708.00	3,708.00	0.00	223.14 93.98
001-13-510.40.00		TRAVEL & MEETINGS	2,100.00	2,100.00	0.00	1,957.24 6.80
001-13-510.41.15		IPS COMMUNICATION FEE	660.00	660.00	0.00	(1,379.63) 309.03
001-13-510.47.00		PRINTING	180.00	180.00	0.00	49.02 72.77
001-13-510.54.00		DUES & SUBSCRIPTIONS	60.00	60.00	0.00	10.00 83.33
001-13-510.54.10		TRAINING & SCHOOLS	800.00	800.00	0.00	345.00 56.88
001-13-764.10.00		Filing Fee Clerk-Parking Ticke	150.00	150.00	0.00	150.00 0.00
						104.11
		Description	Budget	Amended	Encumbrar Available	% Used
Department: 14 LEGAL COUNSEL						
001-14-510.31.00		PROFESSIONAL SERVICES	96,000.00	96,000.00	0.00	1,880.70 98.04
001-14-510.31.01		CODE ENFORCEMENT ATTORNEY	2,250.00	2,250.00	0.00	(2,082.49) 192.56
						100.21
		Description	Budget	Amended	Encumbrar Available	% Used
<b>Department: 15 COMPREHENSIVE P</b>						
001-15-510.31.00		PROFESSIONAL SERVICES	20,000.00	20,000.00	0.00	9,968.75 50.16
						50.16
		Description	Budget	Amended	Encumbrar Available	% Used
<b>Department: 19 GENERAL SERVICES</b>						
001-19-500.24.00		WORKERS COMPENSATION	2,520.00	2,520.00	0.00	(2,434.00) 196.59
001-19-510.31.00		PROFESSIONAL SERVICES	4,020.00	4,020.00	0.00	610.00 84.83
001-19-510.31.11		SECURITY	2,300.00	2,300.00	0.00	2,300.00 0.00
001-19-510.34.10		JANITORIAL SERVICES	15,108.00	15,108.00	0.00	0.00 100.00

001-19-510.35.00	PRE-EMPLOYMENT EXP	135.00	135.00	0.00	(315.99)	334.07
001-19-510.41.00	TELEPHONE	10,992.00	10,992.00	0.00	(3,249.66)	129.56
001-19-510.41.10	COMMUNICATION SERVICES	43,608.00	43,608.00	0.00	(661.68)	101.52
001-19-510.43.00	STREET LIGHTS	46,000.00	46,000.00	0.00	3,231.23	92.98
001-19-510.43.10	ELECTRICITY	28,704.00	28,704.00	0.00	1,388.48	95.16
001-19-510.43.20	WATER & SEWER	1,560.00	1,560.00	0.00	(1,921.42)	223.17
001-19-510.43.50	WASTE TAX SERVICE	2,807.00	2,807.00	0.00	621.25	77.87
001-19-510.45.00	GENERAL LIABILITY INSURANCE	68,412.00	68,412.00	0.00	(4,528.00)	106.62
001-19-510.45.01	FLOOD INSURANCE	3,751.00	3,751.00	0.00	(678.00)	118.08
001-19-510.45.02	PROPERTY INSURANCE	50,920.00	50,920.00	0.00	(8,047.00)	115.80
001-19-510.45.03	AUTO INSURANCE	7,788.00	7,788.00	0.00	262.00	96.64
001-19-510.46.10	OFFICE EQUIPMENT MAINTENANCE	4,232.00	4,232.00	0.00	688.87	83.72
001-19-510.46.15	EQUIPMENT MAINTENANCE	14,500.00	14,500.00	0.00	(7,311.50)	150.42
001-19-510.46.36	PEST CONTROL	3,000.00	3,000.00	0.00	408.62	86.38
001-19-510.46.41	MOWING CONTRACT	22,410.00	22,410.00	0.00	1,863.02	91.69
001-19-510.47.00	PRINTING	600.00	600.00	0.00	29.64	95.06
001-19-510.49.48	ENV. BOARDS EXPENSE	3,420.00	3,420.00	0.00	(1,501.03)	143.89
001-19-510.49.90	ADOPT AN AREA	0.00	0.00	0.00	(503.47)	100.00
001-19-510.49.98	CONTINGENCY	30,000.00	9,756.97	4,049.38	5,707.59	0.00
001-19-510.49.99	MISCELLANEOUS	300.00	300.00	0.00	(410.38)	236.79
001-19-510.51.00	OFFICE SUPPLIES	9,000.00	9,000.00	0.00	(2,950.20)	132.78
001-19-510.51.10	POSTAGE	1,200.00	1,200.00	0.00	(222.12)	118.51
001-19-510.52.10	JANITORIAL SUPPLIES	3,000.00	3,000.00	0.00	285.07	90.50
001-19-510.54.00	DUES & SUBSCRIPTIONS	320.00	320.00	0.00	(2.03)	100.63
001-19-510.64.01	CAPITAL OUTLAY	174,261.00	181,066.83	0.00	97,455.50	73.79
001-19-543.00.00	LICENSES & FEES	17,521.00	17,521.00	0.00	4,479.76	74.43
						84.14

Description		Budget	Amended	Encumbrar	Available	% Used
<b>Department: 21 LAW ENFORCEMEN</b>						
001-21-500.12.00	REGULAR SALARIES	570,664.00	632,664.00	0.00	96,178.02	84.80
001-21-500.12.50	HOLIDAY PAY	19,000.00	19,000.00	0.00	(981.04)	105.16
001-21-500.14.00	SALARIES OVERTIME	30,300.00	30,300.00	0.00	21,153.70	30.19
001-21-500.14.16	HURRICANE PAY	17,950.00	17,950.00	0.00	17,950.00	0.00

001-21-500.15.00	EDUCATION INCENTIVE PAY	6,600.00	6,600.00	0.00	(501.43)	107.60
001-21-500.15.01	FIRST RESPONDER	7,920.00	7,920.00	0.00	1,963.57	75.21
001-21-500.21.00	FICA TAXES - EMPLOYER PORTION	50,856.00	50,856.00	0.00	8,167.37	83.94
001-21-500.22.02	POLICE PENSION	232,807.00	232,807.00	0.00	70,807.00	69.59
001-21-500.22.20	RETIREMENT TOWN EMPLOYEES	3,813.00	3,813.00	0.00	324.73	91.48
001-21-500.23.01	HEALTH INSURANCE	83,152.00	83,152.00	0.00	(4,369.34)	105.25
001-21-500.23.02	LIFE INSURANCE	2,500.00	2,500.00	0.00	36.71	98.53
001-21-500.23.10	STATUTORY AD&D	1,000.00	1,000.00	0.00	0.00	100.00
001-21-500.24.00	WORKERS COMPENSATION	14,438.00	14,438.00	0.00	0.00	100.00
001-21-500.25.00	UNEMPLOYMENT COMPENSATION	2,127.00	2,127.00	0.00	1,093.74	48.58
001-21-520.31.00	PROFESSIONAL SERVICES	725.00	725.00	0.00	175.00	75.86
001-21-520.34.40	DISPATCHING SERVICES	17,785.00	17,785.00	0.00	0.00	100.00
001-21-520.40.00	TRAVEL & MEETINGS	2,240.00	2,240.00	0.00	866.87	61.30
001-21-520.41.10	COMMUNICATION SERVICES	4,488.00	4,488.00	0.00	2,410.54	46.29
001-21-520.46.10	OFFICE EQUIPMENT MAINTENANCE	5,500.00	5,500.00	0.00	2,850.59	48.17
001-21-520.46.15	EQUIPMENT MAINTENANCE	2,000.00	2,000.00	0.00	1,690.09	15.50
001-21-520.46.16	RADAR CALIBRATION	700.00	700.00	0.00	275.00	60.71
001-21-520.46.20	VEHICLE MAINTENANCE	12,000.00	12,000.00	0.00	(9,000.88)	175.01
001-21-520.48.00	PROMOTIONAL ACTIVITIES	1,200.00	1,200.00	0.00	(831.98)	169.33
001-21-520.48.50	CRIME PREVENTION	1,100.00	1,100.00	0.00	114.39	89.60
001-21-520.49.99	MISCELLANEOUS	100.00	100.00	0.00	(146.99)	246.99
001-21-520.51.10	POSTAGE	350.00	350.00	0.00	317.00	9.43
001-21-520.52.00	UNIFORMS	6,600.00	6,600.00	0.00	1,131.70	82.85
001-21-520.52.05	PROTECTIVE GEAR	8,328.00	8,328.00	0.00	5,379.78	35.40
001-21-520.52.50	GAS & OIL	13,000.00	13,000.00	0.00	(6,539.74)	150.31
001-21-520.52.70	MEDICAL	600.00	600.00	0.00	(781.29)	230.22
001-21-520.52.90	OPERATING SUPPLIES	3,720.00	3,720.00	0.00	183.12	95.08
001-21-520.54.00	DUES & SUBSCRIPTIONS	1,955.00	1,955.00	0.00	1,212.17	38.00
001-21-520.54.10	TRAINING & SCHOOLS	5,400.00	5,400.00	0.00	2,229.00	58.72
001-21-520.64.01	Capital Outlay	58,795.00	58,795.00	0.00	24,580.92	58.19
001-21-543.00.00	LICENSES & FEES	14,738.00	14,738.00	0.00	6,199.33	57.94

80.72

Description	Budget	Amended	Encumbrar Available	% Used
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Department: 22 FIRE CONTROL

001-22-500.12.00	REGULAR SALARIES	85,610.00	85,610.00	0.00	31,758.39	62.90
001-22-500.14.50	STIPEND PAYROLL	55,040.00	55,040.00	0.00	5,786.83	89.49
001-22-500.21.00	FICA TAXES - EMPLOYER PORTION	7,643.00	7,643.00	0.00	(1,116.98)	114.61
001-22-500.22.01	RETIREMENT - ICMA	6,562.00	6,562.00	0.00	607.28	90.75
001-22-500.23.01	HEALTH INSURANCE	4,968.00	4,968.00	0.00	1.08	99.98
001-22-500.23.02	LIFE INSURANCE	162.00	162.00	0.00	94.44	41.70
001-22-500.23.10	STATUTORY AD&D	180.00	180.00	0.00	51.00	71.67
001-22-500.24.00	WORKERS COMPENSATION	7,920.00	7,920.00	0.00	0.00	100.00
001-22-500.25.00	UNEMPLOYMENT COMPENSATION	194.00	194.00	0.00	63.23	67.41
001-22-520.31.00	PROFESSIONAL SERVICES	5,000.00	5,000.00	0.00	4,063.09	18.74
001-22-520.34.40	DISPATCHING SERVICES	5,200.00	5,200.00	0.00	1,300.00	75.00
001-22-520.35.00	PRE-EMPLOYMENT EXPENSE	1,225.00	1,225.00	0.00	732.00	40.24
001-22-520.40.00	TRAVEL & MEETINGS	500.00	500.00	0.00	192.08	61.58
001-22-520.41.10	COMMUNICATION SERVICES	1,260.00	1,260.00	0.00	(302.12)	123.98
001-22-520.46.15	EQUIPMENT MAINTENANCE	8,665.00	8,665.00	0.00	1,915.04	77.90
001-22-520.46.20	VEHICLE MAINTENANCE	22,950.00	40,950.00	0.00	7,752.52	81.07
001-22-520.46.30	BUILDING MAINTENANCE	1,000.00	1,000.00	0.00	49.28	95.07
001-22-520.48.55	FIRE PREVENTION	4,536.00	4,536.00	0.00	(882.79)	119.46
001-22-520.51.00	OFFICE SUPPLIES	400.00	400.00	0.00	(89.56)	122.39
001-22-520.52.00	UNIFORMS	6,225.00	7,075.00	0.00	3,234.63	54.28
001-22-520.52.02	S.C.B.A.	1,850.00	1,850.00	0.00	(308.97)	116.70
001-22-520.52.05	PROTECTIVE GEAR	2,505.00	2,505.00	0.00	143.10	94.29
001-22-520.52.10	JANITORIAL SUPPLIES	1,000.00	1,000.00	0.00	810.03	19.00
001-22-520.52.20	TOOLS & HARDWARE	1,500.00	1,500.00	0.00	1,266.87	15.54
001-22-520.52.50	GAS & OIL	2,450.00	2,450.00	0.00	(1,854.75)	175.70
001-22-520.52.70	MEDICAL	1,370.00	1,370.00	0.00	817.00	40.36
001-22-520.54.00	DUES & SUBSCRIPTIONS	265.00	265.00	0.00	(270.00)	201.89
001-22-520.54.10	TRAINING & SCHOOLS	6,650.00	6,650.00	0.00	1,582.00	76.21
001-22-520.54.12	TRAINING MATERIALS	1,920.00	1,920.00	0.00	441.66	77.00
001-22-520.64.01	Capital Outlay	36,777.00	66,777.00	#####	(952.99)	31.49
001-22-520.71.00	PRINCIPAL RETIRED	29,734.00	29,734.00	0.00	(1,590.47)	105.35
001-22-520.72.00	INTEREST EXPENSE	3,267.00	3,267.00	0.00	1,591.15	51.30
001-22-543.00.00	LICENSES & FEES	11,537.00	11,537.00	0.00	5,796.27	49.76
						70.82

Description		Budget	Amended	Encumbrar	Available	% Used
<b>Department: 29 CODE ENFORCEMENT</b>						
001-29-500.12.00	REGULAR SALARIES	14,054.00	14,054.00	0.00	2,309.51	83.57
001-29-500.21.00	FICA TAXES - EMPLOYER PORTION	1,075.00	1,075.00	0.00	186.41	82.66
001-29-500.22.20	RETIREMENT TOWN EMPLOYEES	1,521.00	1,521.00	0.00	346.72	77.20
001-29-500.23.10	STATUTORY AD&D	100.00	100.00	0.00	100.00	0.00
001-29-500.24.00	WORKERS COMPENSATION	200.00	200.00	0.00	0.00	100.00
001-29-500.25.00	UNEMPLOYMENT COMPENSATION	45.00	45.00	0.00	25.47	43.40
001-29-520.40.00	TRAVEL & MEETINGS	35.00	35.00	0.00	35.00	0.00
001-29-520.45.03	AUTO INSURANCE	124.00	124.00	0.00	124.00	0.00
001-29-520.46.12	MAINTENANCE SUPPLIES	50.00	50.00	0.00	50.00	0.00
001-29-520.46.20	VEHICLE MAINTENANCE	150.00	150.00	0.00	150.00	0.00
001-29-520.51.00	OFFICE SUPPLIES	50.00	50.00	0.00	(169.49)	438.98
001-29-520.51.10	POSTAGE	350.00	350.00	0.00	231.11	33.97
001-29-520.51.20	RECORDING COSTS	120.00	120.00	0.00	120.00	0.00
001-29-520.52.00	UNIFORMS	75.00	75.00	0.00	(233.49)	411.32
001-29-520.52.50	GAS & OIL	150.00	150.00	0.00	150.00	0.00
001-29-520.54.10	TRAINING & SCHOOLS	75.00	75.00	0.00	75.00	0.00
						80.74
Description		Budget	Amended	Encumbrar	Available	% Used

**Department: 41 PUBLIC WORKS**

001-41-500.12.00	REGULAR SALARIES	191,283.00	191,283.00	0.00	20,826.47	89.11
001-41-500.14.00	SALARIES OVERTIME	4,000.00	4,000.00	0.00	3,188.47	20.29
001-41-500.21.00	FICA TAXES - EMPLOYER PORTION	14,633.00	14,633.00	0.00	1,304.40	91.09
001-41-500.22.20	RETIREMENT TOWN EMPLOYEES	20,697.00	20,697.00	0.00	2,394.97	88.43
001-41-500.23.01	HEALTH INSURANCE	21,840.00	21,840.00	0.00	2,762.14	87.35
001-41-500.23.02	LIFE INSURANCE	236.00	236.00	0.00	(53.89)	122.83
001-41-500.23.10	STATUTORY AD&D	200.00	200.00	0.00	200.00	0.00
001-41-500.24.00	WORKERS COMPENSATION	2,750.00	2,750.00	0.00	0.00	100.00
001-41-500.25.00	UNEMPLOYMENT COMPENSATION	612.00	612.00	0.00	286.18	53.24
001-41-530.31.00	PROFESSIONAL SERVICES	25,000.00	25,000.00	0.00	23,592.72	5.63
001-41-530.34.91	LANDSCAPING	6,500.00	6,500.00	0.00	1,568.09	75.88
001-41-530.40.00	TRAVEL & MEETINGS	200.00	200.00	0.00	152.38	23.81
001-41-530.43.10	ELECTRICITY	0.00	5,000.00	0.00	(889.04)	117.78



001-41-530.43.15	ELECTRIC - WILLIAMS BUILDING	5,000.00	0.00	0.00	0.00	0.00
001-41-530.43.50	DUMP SERVICE	2,000.00	2,000.00	0.00	2,000.00	0.00
001-41-530.46.12	MAINTENANCE SUPPLIES	3,000.00	3,000.00	0.00	(2,671.05)	189.04
001-41-530.46.15	EQUIPMENT MAINTENANCE	2,500.00	2,500.00	0.00	(510.50)	120.42
001-41-530.46.20	VEHICLE MAINTENANCE	9,500.00	9,500.00	0.00	1,308.88	86.22
001-41-530.46.30	BUILDING MAINTENANCE	6,500.00	6,500.00	0.00	(12,797.62)	296.89
001-41-530.46.31	MAINTENANCE OLD TOWN HALL	500.00	500.00	0.00	(632.32)	226.46
001-41-530.46.32	RYCKMAN HOUSE	0.00	500.00	0.00	0.00	100.00
001-41-530.46.34	MAINTENANCE RYCKMAN PARK	500.00	500.00	0.00	500.00	0.00
001-41-530.46.35	PIER MAINTENANCE	500.00	500.00	0.00	(118.17)	123.63
001-41-530.46.40	GROUNDS MAINTENANCE	7,000.00	7,000.00	0.00	(3,194.05)	145.63
001-41-530.46.43	TREE EXPENSE	3,500.00	3,500.00	0.00	2,275.00	35.00
001-41-530.52.00	UNIFORMS	2,100.00	2,100.00	0.00	1,148.64	45.30
001-41-530.52.05	PROTECTIVE GEAR	1,000.00	1,000.00	0.00	(1,075.47)	207.55
001-41-530.52.20	TOOLS & HARDWARE	4,000.00	4,000.00	0.00	396.16	90.10
001-41-530.52.25	TOOL RENTALS	3,500.00	3,500.00	0.00	1,007.08	71.23
001-41-530.52.50	GAS & OIL	3,600.00	3,600.00	0.00	(130.55)	103.63
001-41-530.53.10	STREET REPAIR	7,500.00	7,500.00	0.00	559.13	92.54
001-41-530.53.15	PARKING LOT MAINTENANCE	2,500.00	2,500.00	0.00	2,500.00	0.00
001-41-530.53.20	STREET SIGNS	10,000.00	10,000.00	0.00	4,031.06	59.69
001-41-530.54.10	TRAINING & SCHOOLS	1,500.00	1,500.00	0.00	1,012.10	32.53
001-41-530.57.25	WELDING	500.00	500.00	0.00	78.41	84.32
001-41-530.64.01	CAPITAL OUTLAY	46,000.00	46,000.00	0.00	8,340.35	81.87

85.56

Description	Budget	Amended	Encumbrar Available	% Used
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**Department: 72 PARKS & RECREATION**

001-72-570.48.10	FOUNDER'S DAY	6,000.00	6,000.00	0.00	(1,557.17)	125.95
001-72-570.48.50	MOVIES IN THE PARK	1,800.00	1,800.00	0.00	837.06	53.50
001-72-570.48.52	FOURTH OF JULY	1,000.00	1,000.00	0.00	462.72	53.73
001-72-570.48.53	CHRISTMAS DECORATIONS PARK	1,500.00	1,733.00	0.00	(750.84)	143.33
001-72-570.48.60	EASTER EGG HUNT	50.00	50.00	0.00	50.00	0.00
001-72-570.48.90	RECREATION PROGRAMS	13,000.00	13,000.00	0.00	7,500.49	42.30
001-72-570.63.01	TENNIS COURT EXPEDITURES	350.00	350.00	0.00	364.00	(4.00)
001-72-570.63.02	BBALL & VBALL COURTS	200.00	200.00	0.00	200.00	0.00

001-72-570.63.05	BOCCE COURT EXPENDITURES	200.00	200.00	0.00	200.00	0.00
001-72-570.64.01	CAPITAL OUTLAY	0.00	13,437.20	0.00	0.00	100.00
						80.66

Overall Expenditure Rate:

91.40

**Fund: 125 BUILDING DEPT**

Account Category: Revenues	Description	Budget	Amended	Encumbrar	Available	% Used
<b>Department: 24 PROTECTIVE INSPECTION</b>						
125-24-322.00.00	BUILDING PERMITS	152,000.00	152,000.00	0.00	1,365.05	99.10
125-24-322.10.00	ZONING PLAN REVIEW	2,000.00	2,000.00	0.00	1,718.75	14.06
125-24-322.10.10	SITE PLAN REVIEW P&Z	1,500.00	1,500.00	0.00	(7,000.00)	566.67
125-24-322.20.00	BUILDING PLAN REVIEW	4,600.00	4,600.00	0.00	(3,591.81)	178.08
125-24-322.31.00	ADVERTISING COSTS	250.00	250.00	0.00	250.00	0.00
125-24-322.31.20	P&Z ADVERTISING	100.00	100.00	0.00	100.00	0.00
125-24-329.00.00	OTHER LICENSES, FEES & PERMITS	700.00	700.00	0.00	(3,066.52)	538.07
125-24-329.00.10	BOA VARIANCE FEES	1,000.00	1,000.00	0.00	1,000.00	0.00
125-24-354.00.00	LOCAL ORDINANCE VIOLATION	2,000.00	2,000.00	0.00	(18,383.03)	1,019.15
<b>Revenues</b>						116.82

Account Category: Expenditures	Description	Budget	Amended	Encumbrar	Available	% Used
125-24-500.12.00	REGULAR SALARIES	75,116.00	77,369.00	0.00	16,733.71	78.37
125-24-500.14.00	SALARIES OVERTIME	817.52	817.52	0.00	716.17	12.40
125-24-500.21.00	FICA TAXES - EMPLOYER PORTION	5,746.00	5,801.04	0.00	1,440.07	75.18
125-24-500.22.20	RETIREMENT TOWN EMPLOYEES	7,512.00	7,512.00	0.00	896.57	88.06
125-24-500.23.01	HEALTH INSURANCE	18,144.00	18,400.44	0.00	168.00	99.09
125-24-500.23.02	LIFE INSURANCE	136.00	136.00	0.00	(13.19)	109.70
125-24-500.25.00	UNEMPLOYMENT COMPENSATION	240.00	240.00	0.00	127.07	47.05
125-24-520.31.00	PROFESSIONAL SERVICES	55,703.54	112,320.00	0.00	10,028.50	91.07
125-24-520.51.00	OFFICE SUPPLIES	266.00	400.00	0.00	(3,472.95)	968.24
125-24-520.51.10	POSTAGE	0.00	30.00	0.00	28.08	6.40
125-24-520.52.00	UNIFORMS	0.00	100.00	0.00	(12.97)	112.97

125-24-520.52.20	TOOLS & HARDWARE	46.91	100.00	0.00	100.00	0.00
125-24-520.54.00	DUES & SUBSCRIPTIONS	95.00	0.00	0.00	0.00	0.00
125-24-520.54.10	TRAINING & SCHOOLS	80.00	0.00	0.00	0.00	0.00

**Expenditures****88.02****Fund: 172 OCEAN PARK PARKING FU****Account Category: Revenues**

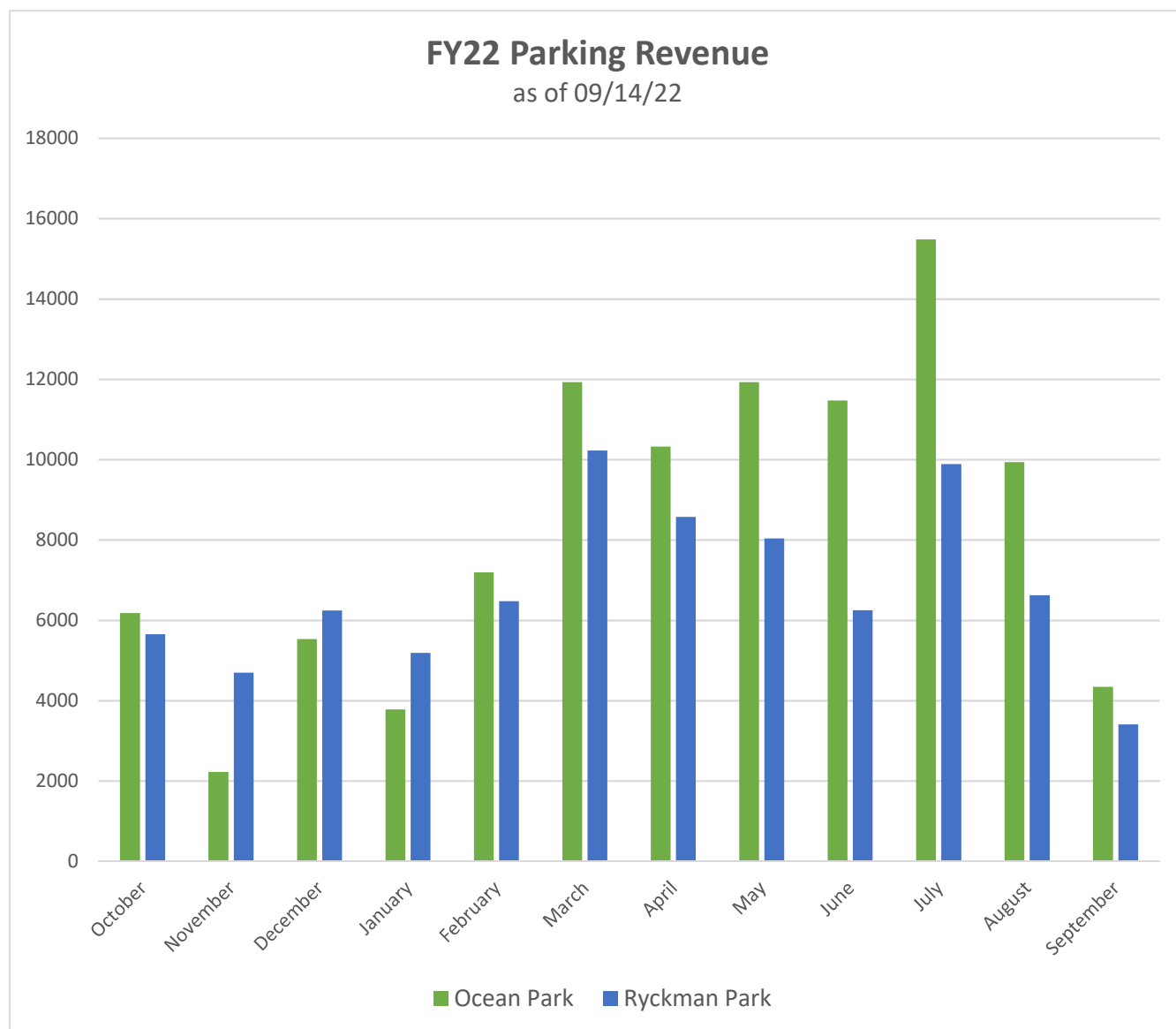
Department: 75 TOWN PARKS

Description	Budget	Amended	Encumbrar Available	% Used
172-75-342.10.00	3,000.00	3,000.00	0.00	(12,935.00) 531.17
172-75-344.50.00	74,400.00	74,400.00	0.00	(21,545.27) 128.96

**Revenues****144.55****Account Category: Expenditures**

Description	Budget	Amended	Encumbrar Available	% Used
172-75-575.31.02	19,950.00	19,950.00	0.00	184.15 99.08
172-75-575.32.90	2,000.00	2,000.00	0.00	(794.86) 139.74
172-75-575.34.10	1,800.00	1,800.00	0.00	0.00 100.00
172-75-575.34.91	5,000.00	5,000.00	0.00	4,414.43 11.71
172-75-575.41.10	1,200.00	1,200.00	0.00	(2,115.62) 276.30
172-75-575.43.10	1,584.00	1,584.00	0.00	(536.48) 133.87
172-75-575.43.20	1,500.00	1,500.00	0.00	(74.94) 105.00
172-75-575.43.50	660.00	660.00	0.00	660.00 0.00
172-75-575.46.12	1,000.00	1,000.00	0.00	(609.46) 160.95
172-75-575.46.15	0.00	0.00	0.00	(877.00) 100.00
172-75-575.46.30	2,200.00	2,200.00	0.00	2,200.00 0.00
172-75-575.46.31	0.00	0.00	0.00	(103.78) 100.00
172-75-575.46.40	1,800.00	1,800.00	0.00	(3,290.44) 282.80
172-75-575.46.41	11,205.00	11,205.00	0.00	933.61 91.67
172-75-575.46.43	1,000.00	1,000.00	0.00	1,000.00 0.00
172-75-575.52.10	350.00	350.00	0.00	20.49 94.15
172-75-575.52.25	0.00	0.00	0.00	(2,725.81) 100.00
172-75-575.53.15	3,000.00	3,000.00	0.00	2,488.26 17.06
172-75-575.53.20	300.00	300.00	0.00	(4.89) 101.63

172-75-575.63.03	VOLLEYBALL COURT	1,000.00	1,000.00	0.00	(920.42)	192.04
172-75-575.64.01	CAPITAL OUTLAY	0.00	0.00	0.00	(8,738.92)	100.00
172-75-764.10.00	Filing Fee Clerk-Parking Ticke	120.00	120.00	0.00	120.00	0.00
<b>Expenditures</b>						<b>115.76</b>



## SEPTEMBER 2022 ACTION ITEMS

<b>ITEM</b>	<b>OPENED</b>	<b>DUE DATE</b>	<b>CLOSED</b>	<b>REQUESTER</b>	<b>ASSIGNED TO</b>
<b>Evaluate audio equipment in the Community Center</b>	1/17/2022	8/17/2022	8/17/2022	Mayor Hoover	Town Clerk
<b>Date</b>	<b>Directions/Notes</b>				
7/20/2022	Still collecting a couple more items.				
6/15/2022	Add as an agenda item for July. Three quotes: \$27,000, \$16,000-\$19,000, and \$8,500. Last option we can purchase and install the items at a price range of \$5,000-\$14,000. Bring 3 breakdowns of products				
5/18/2022	Mayor requested fewer cords, possibly a television, and microphones for each seat				
2/16/2022	Estimate for audio replacement discussed. The Commission would like to get an estimate on two large-screen TV monitors. Research what company IHB uses. Contact RB Communications.				
1/17/2022	Action Item Created				
<b>ITEM</b>	<b>OPENED</b>	<b>DUE DATE</b>	<b>CLOSED</b>	<b>REQUESTER</b>	<b>ASSIGNED TO</b>
<b>List and evaluate patched sections of the road</b>	7/20/2022	9/21/2022		Mayor Hoover	Public Works
<b>DATE</b>	<b>DIRECTION/NOTES</b>				
8/17/2022	PW Director – Conducted an evaluation and listed the locations, the specific job in question is an excellent patch job. Some of the older patches are starting to show aging. Provide the list				
7/20/2022	Added to Action Items				
<b>ITEM</b>	<b>OPENED</b>	<b>DUE DATE</b>	<b>CLOSED</b>	<b>REQUESTOR</b>	<b>ASSIGNED TO</b>
<b>Contact the City of Melbourne and Brevard County about coordination of utility projects</b>	8/17/2022	9/21/2022		Mayor Hoover	Public Works/ Building Dept
<b>DATE</b>	<b>DIRECTION/NOTES</b>				



## SEPTEMBER 2022 ACTION ITEMS

8/17/2022	Added to Action Items – Update in September				
ITEM	OPENED	DUE DATE	CLOSED	REQUESTOR	ASSIGNED TO
Research permanent tree lighting (up lighting) along Ocean Ave, nicer street signs & new trash cans	2/16/2022	9/21/2022		Commissioner Walker	Town Manager/Public Works
DATE	DIRECTION/NOTES				
8/17/2022	Do a sign survey for the north side of the road and the intersection at Pine				
7/20/2022	PW Director – The in ground light is the best, will proceed with that one.				
6/15/2022	PW Director – 2 Test lights installed, evaluate and come back next month.				
5/18/2022	PW Director will buy two different types of lights to try them out.				
4/20/2022	PW Supervisor investigating up lighting on Ocean Ave in front of Ryckman Park sidewalk. Has decorative street poles for Commission to review for purchase.				
2/16/2022	Added to Action Items - Update in March				
ITEM	OPENED	DUE DATE	CLOSED	REQUESTOR	ASSIGNED TO
Sixth Ave boat ramp improvements	8/17/2022	9/21/2022		Commissioner Runte	Town Manager
DATE	DIRECTION/NOTES				
8/17/2022	Research what the exact issue is with parking that prevents the Town from getting grant money				
ITEM	OPENED	DUE DATE	CLOSED	REQUESTER	ASSIGNED TO
S.E.A. PROJECT	2/17/2021	9/21/2022		Mayor Hoover	Town Manager
Date	Directions/Notes				
7/20/2022	TM – The workshop is scheduled for August 24 <sup>th</sup> at 6:30 pm.				

## SEPTEMBER 2022 ACTION ITEMS

6/15/2022	Town Manager – Spoke with Neal, 2 proposed dates in August, bring final date next month
5/18/2022	Town Manager – additional parking spots are done, planting in Bicentennial Park was done, new poles along Ocean Ave are in the works. The next big-ticket item is underground retention for stormwater Mayor Hoover – FDOT will be doing their portion of A1A fiscal year 2026. Schedule a public workshop in July.
04/20/2022	Town will have a tent during Founders Day to discuss the S.E.A. Vision and get feedback from the residents. Waiting on estimates for new Town signs from Fast Signs. Flowers planted at the very north end of Bi-Centennial. Flowers also planted around Ryckman House. Established 4 more spaces for golf cart parking.
2/16/2022	Town Manager Mascaro has met with the resident volunteer and they are currently working on the plan – she will provide another update again in March. Mayor Hoover suggested researching FDOT funding for Bicentennial Park and making it an entrance to the Town with a more impressive sign.
1/17/2022	Vision statement was approved. An update will be given at February RTCM.
12/15/2021	Update at January RTCM with Dix Height information.
10/20/2021	Discussed during meeting in depth. Update at Nov. RTCM
9/15/21	Currently working on RFP for gardening services and will present it at next RTCM as an agenda item. TM has not been able to make contact with Susan Hall
8/18/2021	Added landscaping of Parks to Action item – and discussed RFP for landscaping services
7/21/2021	Check in with Susan (include VM Barton) and update at August RTCM
6/16/2021	Commission will no longer pursue FDOT grant but will continue research of other funding and grants.
4/21/2021	Commission approved increasing payment. Grant will be awarded in June. Update July RTCM
3/17/2021	VM Barton researched FDOT landscape grant. Commission approved \$5,000 to begin landscape design process with an architectural designer. Discuss at April TCW and April RTCM.
2/17/2021	Explore grants, etc. Discuss at TCW on March 3, 2021
12/2/2020	<i>Mayor Hoover suggested they do the necessary research and reach out to landlords and business owners, starting with the area east of the traffic light on both sides of the road north and south – and then meet again to discuss in February. Plan for workshops with business owners and PNZ involvement.</i>

## SEPTEMBER 2022 ACTION ITEMS

12/16/2020	<i>Commissioner Walters requested the Town research a better microphone system, including the option of wireless microphones. He feels the sound quality of the current microphones is very poor. Dual timers were also requested by the Commission (we have one and need one more).</i>				
<b>ITEM</b>	<b>OPENED</b>	<b>DUE DATE</b>	<b>CLOSED</b>	<b>REQUESTOR</b>	<b>ASSIGNED TO</b>
<b>Research Charging Stations</b>	11/20/20	10/19/2022		Simmons	Town Manager/PWD
<b>DATE</b>	<b>DIRECTION/NOTES</b>				
8/17/2022	Town Manager – having a very hard time getting companies to come out				
6/15/2022	Town Manager met with James Moore (NOT associated with the auditors) who has a company that installs charging stations he recommended putting a charging station in a pay-to-park spot. Vice Mayor stated James Moore's company installed a station Grace Lutheran				
12/15/2021	TM said new charging companies are coming out and installing their own stations with incentives and it may be a good idea to wait and see what they are. Rapid charge is 3-4 times the cost.				
10/20/2021	Commissioner Runte reached out to two vendors he works with update Nov. 2021				
9/15/2021	TM does not have an update. Commissioner Runte explained the companies are hard to reach or non-responsive- still working on it. Update next month				
8/18/2021	Update at September RTCM				
7/21/2021	Update at August RTCM				
6/16/2021	Follow up on "Electrify" a company that leases charging stations				
5/19/2021	Update at June RTCM				
4/21/2021	Town Manager was given a list by Commissioner Runte to evaluate and update again at May RTCM.				
1/20/2021	Update again at April RTCM				
12/16/2020	<i>Town Manager Mascaro said there is a lot to understand about these charging stations that effect cost and what's included. Update again at January 2021 RTCM.</i>				
11/18/2020	<i>Commission advised to keep this item open until the stations are installed</i>				
10/21/2020	<i>Commission approved cost to replace breaker box and TM to get vendor contacts from Comm. Runte</i>				
8/19/2020	<i>PWS said breaker box must be replaced at cost of \$3,000-\$4,000. Commission asked TM to find install/generic cost for Sept RTCM.</i>				
7/15/2020	<i>TM shared that the offer from Tesla no longer available, they cost \$500. TM is looking at other options and will come back in August with information. Commission asked TM to look for similar offers and/or grants as Tesla was offering.</i>				

## SEPTEMBER 2022 ACTION ITEMS

6/17/2020	<i>Electricians scheduled Wed. Parking spot for bikes and two for charging stations. Update July RTCM</i>				
3/18/2020	<i>Commission suggested TM get with Tesla to see what they may offer - including getting one at no cost. Tobe discussed again at May TCW.</i>				
6/3/2020	<i>Commission asked TM to contact Tesla to see what they have to offer. Update June RTCM.</i>				
<b>ITEM</b>	<b>OPENED</b>	<b>DUE DATE</b>	<b>CLOSED</b>	<b>REQUESTOR</b>	<b>ASSIGNED TO</b>
<b>Research the term multi-generational in terms of building code and its use in other municipalities, aka "Granny Suites."</b>	1/17/2022	10/19/2022		Commission	Town Manager
<b>DATE</b>	<b>DIRECTION/NOTES</b>				
8/17/2022	Town Manager – The proposed language needs to go to Planning and Zoning Board then will come back to the Commission.				
6/15/2022	Add to old business next month for the proposed language, then to PNZ, then back to the Commission				
5/18/2022	Town Manager – Came from PNZ to define kitchen. Our code prohibits two kitchens. Mayor Hoover requested an agenda item next month to review what in our code would prohibit this				
4/20/2022	Provide definition of multi-generational, how County manages Granny Suites and what other towns and cities are doing to accommodate the return of multi-generational living.				
2/16/2022	Town Attorney and Town Manager will discuss "granny suites" and bring their findings to the next RTCM.				
1/17/2022	The Town Commission directed the Town Manager to research the use of the term multi-generational in relation to "granny suites."				
7/21/2021	<i>Update at August RTCM</i>				
6/16/2021	<i>PWD will ask FDOT if subcontractor (who is restriping cross walks) can also paint stanchions</i>				
5/19/2021	<i>PWD update at June RTCM</i>				
<b>ITEM</b>	<b>OPENED</b>	<b>DUE DATE</b>	<b>CLOSED</b>	<b>REQUESTOR</b>	<b>ASSIGNED TO</b>

## SEPTEMBER 2022 ACTION ITEMS

<b>Research grant funding opportunities for stormwater projects</b>	<b>3/15/2022</b>	<b>10/19/2022</b>		Commissioner Runte	Town Manager
<b>DATE</b>	<b>DIRECTION/NOTES</b>				
8/17/2022	Town Manager spoke about				
5/18/2022	Town Manager spoke with Scott from B.S.E, and she found two grants that just opened up. Mayor Hoover recommended reaching out to IRL to get feedback from their team of grant writers.				
3/15/2022	Added to Action Items				
<b>ITEM</b>	<b>OPENED</b>	<b>DUE DATE</b>	<b>CLOSED</b>	<b>REQUESTOR</b>	<b>ASSIGNED TO</b>
<b>Research Dog Park Options</b>	<b>6/15/2022</b>	<b>12/21/2022</b>		Mayor Hoover	Town Manager
<b>DATE</b>	<b>DIRECTION/NOTES</b>				
7/20/2022	TM – Indialantic just finished their 6 month trial period and so far so good so they will be renewing it.				
6/15/2022	Added to Action Items				

The following is a list of any street repairs made in spots where the pavement had been removed and replaced:

502 Magnolia

Shannon and Harlan

Andrews at each intersecting street

606 Jasmine

609 Mango

Ave. B

514 and 522 Ave. A

1403 third

Pine and third

5<sup>th</sup> Oak

418 5<sup>th</sup>

1505 Pine

1802 Pine

Pelican and Neptune

403 Riverview

Riverview and Sandy Key

451 Sandy key patch good but sinking

Riverview and Oak - patch ok but settling – monitor

1906 Rosewood NOTE: roadbase only recent repair

209 Fir

Cherry and Rosewood patch ok but sinking appears collapse under

Please note that the list does not include the 6" wide cuts found in various locations throughout Town. These are where single waterline crossed street and were patched years past.