



# **TOWN OF MELBOURNE BEACH**

## **REGULAR TOWN COMMISSION MEETING**

**January 19, 2022**

**AGENDA PACKET**

## TABLE OF CONTENTS

<b><u>AGENDA</u></b>	<b><u>3</u></b>
<b><u>CONSENT AGENDA</u></b>	<b><u>7</u></b>
A. DECEMBER 15, 2021 DRAFT MINUTES	8
B. SITE PLAN FOR 419 AVENUE B	21
C. SITE PLAN FOR 407 3 <sup>RD</sup> AVENUE	55
<b><u>OLD BUSINESS</u></b>	<b><u>99</u></b>
A. S.E.A. PROJECT - VISION STATEMENT UPDATE	
<b><u>NEW BUSINESS</u></b>	<b><u>103</u></b>
A. <b>PROCLAMATION: HUMAN TRAFFICKING AWARENESS MONTH –<u>POSTPONED</u></b>	<b>103</b>
B. CONSIDERATION OF TOWN CODE DEFINITION OF KITCHEN	106
C. FINANCE RESOLUTION 2022-01	110
D. FIRE DEPARTMENT REQUEST FOR TEMP DONATION	113
<b><u>STAFF REPORTS</u></b>	<b><u>114</u></b>
1. TOWN MANAGER REPORT	114
2. BUILDING DEPARTMENT REPORT	115
3. PUBLIC WORKS REPORT	119
4. CODE ENFORCEMENT REPORT	120
5. POLICE DEPARTMENT REPORT	124
6. FIRE DEPARTMENT REPORT	132
7. FINANCE REPORT	136
<b><u>ACTION ITEMS</u></b>	<b><u>144</u></b>

**Town of Melbourne Beach**  
**REGULAR TOWN COMMISSION MEETING**  
**JANUARY 19, 2022 at 6:00 p.m.**  
**COMMUNITY CENTER – 509 OCEAN AVENUE**

**PUBLIC NOTICE**

**AGENDA**

**The Town Commission will conduct a Regular Town Commission Meeting  
on Wednesday January 19, 2022 in the Community Center  
to address the items below**

**Commission Members:**

Mayor Wyatt Hoover  
Vice Mayor Joyce D. Barton  
Commissioner Sherrie Quarrie  
Commissioner Corey Runte  
Commissioner Marivi Walker

**Staff Members:**

Town Manager Elizabeth Mascaro  
Town Clerk Jennifer Torres  
Town Attorney Clifford Repperger

Notice: Commission discussion and possible action may occur during any Commissioner Meeting. The following sections of the Agenda are always subject to such discussion and possible action without further motion by the Commission: Changes to the Agenda, Public Hearings, Old Business, and New Business.

The public is advised that members of the Town Commission may be in attendance and participate in proceedings of the board. Attorney General Opinions (AGO) AGO 91-95, AGO 98-14, AGO 2000-68.

PURSUANT TO SECTION 286.0105, FLORIDA STATUTES, THE TOWN HEREBY ADVISES THE PUBLIC THAT: In order to appeal any decision made at this meeting, you will need a verbatim transcript of the proceedings. It will be your responsibility to ensure such a record is made. Such person must provide a method for recording the proceedings verbatim as the Town does not do so.

In accordance with the Americans with Disability Act and Section 286.26, Florida Statutes, persons needing special accommodations for this meeting shall, at least 5 days prior to the meeting, contact the Office of the Town Clerk at (321) 724-5860 or Florida Relay System at 711.

1. **Call to Order – Led by Mayor Hoover**
2. **Roll Call**
3. **Pledge of Allegiance and Moment of Silence**
4. **Presentations**

5. **Public Comments**

After being acknowledged by the Mayor, members of the public should state their name and address for the record. The Commission encourages citizens to prepare their comments in advance. Each individual will have three (3) minutes to address the Commission on any topic(s) related to Town business not on the Agenda.

6. **Approval of the Agenda**

7. **Consent Agenda**

- A. Approval of December 15, 2021 RTCM Draft Minutes
- B. Site Plan Approval for 419 Avenue B
- C. Site Plan Approval for 407 3<sup>rd</sup> Avenue

8. **Old Business**

- A. Approval of tentative S.E.A. Project F/K/A Beautification Project Vision Statement – Town Manager Mascaro

9. **New Business**

- A. Consideration of Proclamation to Recognize Human Trafficking Awareness Month – Vice Mayor Barton
- B. Consideration of updating the Town Code of Ordinances to include a Definition of Kitchen - Town Manager Mascaro
- C. Consideration of Finance Resolution 2022-01 -Budget Amendment related to Transfer Expenditures within the General Fund – Finance Manager Kerr
- D. Consideration of allowing temporary structural donation to Fire Department for firefighter training purposes before demolition – Fire Chief Brown

12. **Staff Reports**

- A. Town Attorney Report
- B. Town Manager Report
- C. Town Clerk Report
- D. Departmental Reports

1. Building Department
2. Public Works Department
3. Code Enforcement
4. Police Department
5. Fire Department
6. Finance Department

**13. Town Commission Comments**

- A. General Comments
- B. Review of Commission Action List

**14. Adjournment**



## Regular Town Commission Meeting Agenda Item

**Section:** Consent

**Meeting Date:** January 19, 2022

**Subject:** Approval of December 15, 2021 RTCM Draft Minutes and (2) Site Plans

**Submitted By:** Town Clerk

### **Background Information:**

The site plan for both 419 Avenue B and 407 3<sup>rd</sup> Avenue were each approved 5-0 by the Planning and Zoning Board during its January 11, 2022 Meeting

### **Recommendation:**

- Approval of December 15, 2021 RTCM Draft Minutes
- Approval of Site Plan for 419 Avenue B
- Approval of Site Plan for 407 3<sup>rd</sup> Avenue

### **.Attachments:**

- December 15, 2021 RTCM Draft Minutes (***Not attached) Will be provided Tuesday, 1/18/22***)
- Site Plan for 419 Avenue B
- Site Plan Approval for 407 3<sup>rd</sup> Avenue

**Town of Melbourne Beach**  
**REGULAR TOWN COMMISSION MEETING**  
**DECEMBER 15, 2021 at 6:00 p.m.**  
**COMMUNITY CENTER – 509 OCEAN AVENUE**

**DRAFT MINUTES**

**Commission Members:**

Mayor Wyatt Hoover  
Vice Mayor Joyce D. Barton  
Commissioner Sherrie Quarrie  
Commissioner Corey Runte  
Commissioner Marivi Walker

**Staff Members:**

Town Manager Elizabeth Mascaro  
Town Attorney Cliff Repperger  
Town Clerk Jennifer Torres



## **1. Call to Order**

Mayor Hoover called the meeting to order at 6 p.m.

## **2. Roll Call**

Town Clerk Torres conducted the roll call

### **Commission Members Present**

Mayor Wyatt Hoover

Vice Mayor Joyce Barton

Commissioner Sherrie Quarrie

Commissioner Corey Runte

Commissioner Marivi Walker

### **Staff Members Present**

Town Manager Elizabeth Mascaro

Town Clerk Jennifer Torres

Finance Manager Jennifer Kerr

Town Attorney Clifford Repperger

Public Works Director Tom Davis

Fire Chief Gavin Brown

## **3. Pledge of Allegiance**

Mayor Hoover led the Pledge of Allegiance

## **4. Presentations**

- A. Parks Board request to host a Young Entrepreneur's Market in Ryckman Park

Town Manager Mascaro announced that the Parks Board was unable to attend the meeting this evening.

Commissioner Quarrie requested that the Town Attorney look into the legality of having an event involving money. In addition, she would like to have some sort of guideline when dealing with issues such as this.

Mayor Hoover asked the Town Attorney to research how the event may affect 9-I. For example, he would like to know if there are any limits on charitable contributions and he

wants to make sure the Parks Board has substantial information to present when they are able to attend.

## **5. Public Comments**

*Frank Thomas  
606 Atlantic Street*

Mr. Thomas noted that the Commission wasted the first 15 minutes talking about a group who was supposed to show up and did not. Mr. Thomas then spoke about the New Year's Day walk. It has been going on for many years and has always been successful rain or shine. It will take place at 10 a.m. on New Year's Day. Bruce Morgan will be on hand to do the presentation.

Commissioner Barton commented that it is a wonderful event and she has been on the walk many times and enjoyed it.

*Stan Budesá  
503 Magnolia Avenue*

Mr. Budesá wanted to discuss the zoning. Mayor Hoover said that will be discussed during the agenda item. He said he has been through many controversies in Town during his time as Vice Mayor. The room used to be packed. He was worried there would be adjustments to the code and wanted to make sure that everyone had chance to give their input. The lagoon is one of his main concerns, and people need to put out their barrels. When somebody applies for a pool permit he thinks the Town should send someone out a few days later and have code enforcement check it out.

*Ali Dennington  
413 Surf Road*

Ms. Dennington wanted to know why the Code Board was inactivated.

She said the idea of a special magistrate can be good because it can save the Town money – but the danger is that it is one person – who is not from the Town and if that person is not impartial that would cause a problem.

Mayor Hoover said it was hard to find people to serve who would be making decisions that might affect their neighbors – in addition to the complexity of the code.

Ms. Dennington said it sounds like the Commission didn't like their decisions. Mayor Hoover said – that is not the case - and he had already answered the question.

Town Attorney Repperger added a few additional comments explaining the rational, which involved streamlining the hearing to one person who is experienced and knowledgeable with the legal issues.

## **6. Approval of the Agenda**

**Commissioner Quarrie moved to approve the agenda; Commissioner Runte seconded; Motion carried 5-0.**

## **7. Consent Agenda**

A. Approval of November 17, 2021 RTCM Draft Minutes

An edited version of the minutes was presented with three minor changes.

**Commissioner Quarrie moved to approve Item the November 19, 2021 draft minutes with the changes indicated; Commissioner Runte seconded; Motion carried 5-0.**

B. Site Plan Approval for 402 Riverview Lane

Commissioner Runte recused himself from voting on site plan approval because he is the owner of the property.

**Commissioner Quarrie moved to approve the site plan approval for 402 Riverview Lane; Commissioner Walker seconded; Motion carried 4-0.**

## **8. Old Business**

A. Consideration of alternatives for Town Pier lighting –PWD Davis

Public Works Director Davis presented some options for lights on the pier. He added that he feels a significant amount of what they thought was vandalism to the pier – may be fishermen and is accidental.

Commissioner Runte asked if the quote includes install. Public Works Director Davis said no. The Town would purchase the lights and install them.

Some discussion took place on the item including the use of different metals, weather resistance, strength, connectors, direction of light, and turtle safety. Public Works Director Davis said a box connector is the recommendation.

After Commissioner Runte asked about revenue from parking – Town Manager Mascaro said this particular project was not budgeted into that revenue fund. The projects are allocated – and it can be done - but she would need to move a few things around.

Mayor Hoover said they would have a future discussion related to where to find the funds in the budget before making a decision.

There are 62 fixtures in all – said PWD Davis.

### **Public Comment**

*Neil Tompkins  
Harbor East*

Mr. Tompkins suggested stainless, bronze or brass, and added that LED drivers do not do so well.

*Stane Budeska  
503 Magnolia Avenue*

Mr. Budeska asked if there is a limit to how close the cast netters can get to the lagoon.

Mayor Hoover is interested in volt lighting and getting warranty info and he suggested they table the item until January. All agreed.

### **9. New Business**

- A. Discuss the possibility of allowing changes in Zone 6B to allow for mixed use properties. Consider using elements from 7A-35 and 7A-38 to incorporate into a mixed use Zone 6B – Town Manager Mascaro

Town Manager said there has been a lot of discussion recently about beautification and what the Town and its residents are looking for. She said they are not looking to change the identity of Town - but feel the Town could use a little facelift. She went on to say the Town is not blighted but there have been vacant lots and properties lining Ocean Avenue for some time. She wanted to look at how the Town can help people expand their business and provide opportunities – one thing suggested was to change the zoning to allow residential or mixed use in that zone. She clarified some of the issues.

She discussed the use of exceptions as opposed to zoning changes and the options available. She also suggested the Commission could elect to change the uses without changing the zoning or applying for a special exception.

Town Manager Mascaro suggested they first talk about what their vision is for the East side of Ocean Avenue. She also clarified that the North side and South side do not have to be the same – they can be zoned or restricted differently.

Mayor Hoover thanked the Town Manager for the great summary. He wanted to clarify that as opposed to comments some people have made on social media insinuating they are trying to make some “crazy” moves – their actual intent is to start what will be a lengthy process among the Commission and with the residents and no decisions will be

made today. Retaining the character and charm of the community is of the utmost importance to everyone.

Commissioner Quarrie said her vision was to maintain the height and setbacks. The tricky part about changing 8B is the setbacks. She does not feel comfortable changing the setbacks or with any change in heights. She believes they should stay at 28.

Mayor Hoover said he agreed and asked how the rest of the Commission felt.

Everyone agreed to not change heights.

As for setbacks, Commissioner Runte said setbacks are a more loaded issue and would need further consideration.

Commissioner Runte said walking around Town there are a lot of buildings that have not been upgraded or maintained in years. He said the Town has one street and there are properties that have been sitting for so long – instead of being a vibrant business area like Indialantic's 5<sup>th</sup> Avenue. He suggested they look at how we can help those business that want to help themselves and find a way to motivate them. He said we can all agree that the Town could use a facelift and we have no tax base from businesses. It's a much larger conversation. It's important to remain quaint but it's also important not let things get into disrepair.

Mayor Hoover said he agreed with Commissioner Runte's points. He asked if they could agree to focus on 6B now and not the whole of Ocean Avenue.

It was agreed that was a good approach.

Vice Mayor Barton said her opinion was to bring more of a cohesive look, a more attractive appearance and more diversity in shop owners and businesses. As a Town, she would like to give more inspiration and direction to shop owners who may have become complacent. She wanted to establish a vision so residents could be a little more proud of the Town and see it look a little better and offer more opportunity and selection. The intention is not to make any major changes – just to make it better in an incremental way. As earlier expressed, she said we always take direction and opinions from the Town. Personally she would like to see a rendering of some sort in order to offer a visual of the changes they are considering. It helps people to envision the project better.

Commissioner Walker said she echoes what everyone else said. She is in agreement and loves the idea.

Commissioner Quarrie asked if we only do a mixed use as a special exception in 6B what would that application look like. Would we ask the applicant for a rendering of what they wish to do? They are all so unique. She feels we should have each shop owner tell us what they want to do – and then we can approve of it – or not.

Town Attorney Repperger said he is not a planner and can't advise on certain areas. He noted that the Commission was focused on the technical aspects and are ahead of where they should be in discussion. It should be more conceptual – for example, what do you want to see in that zoning classification. If you get a conceptual view of what you want to see – then the technical aspects can be worked out later.

Commissioner Runte asked if Commissioner Quarrie was suggesting that they use special exception instead of zoning use change because all properties are a little different.

She said yes – it would take the burden off us – instead of us telling them how it has to look – they bring it to us and it goes through a process.

Mayor Hoover said it will take a few years to propose and implement changes. It will give future Commissions the ability to exercise some oversight based on their concept of what the community needs and what residents want.

Commissioner Runte said he agrees with Commissioner Quarrie – it's a great idea and would alleviate concerns of any special interest. Incremental review would be good. We have one street – we want to make sure it has the best use possible. We can provide a buffet of options within those special exceptions.

Commissioner Quarrie said it gives applicants the ability to be creative.

She said the hot buttons in the community are drive-thru businesses and height. She went on to say they have mixed use – Savers Drug Mart is mixed use and she didn't know how they did that.

Town Manager Mascaro said it is commercial – and allowed to have second story – but what isn't allowed is residential. She believes they would have to do some research on the lot sizes. If it's going to be a minimum lot area – she still feels they need the setbacks in place.

Commissioner Runte said if we don't do something – it could be like Indialantic – Surf Style is tearing down their current building and building a bigger Surf Style – because the code is outdated and there is no room for anyone to do anything creative in that area including a brewery, a restaurant, a boutique hotel, etc. He feels that's what could happen in Melbourne Beach if we don't make some changes to our code here.

Mayor Hoover asked what would need to happen to allow roof-top dining  
Town Manager Mascaro said nothing prohibits it but no one has ever done it – she added that parking could be an issue depending on the size.

Mayor Hoover said he spoke with a business owner who has outdoor seating in front of a restaurant that goes almost up to the sidewalk and that owner wants to have a covered space over the seating area – and he was told that is prohibited.

Commissioner Quarrie said she would think that would be considered a permanent structure on a setback. She questioned what the definition of a covered seating area outside is related to open air covered space vs. enclosed covered space.

Commissioner Walker asked why Dijon Pepaj has an aluminum cover in front of his restaurant.

Some further discussion took place.

Town Manager said you can allow it in 6B.

Commissioner Quarrie suggested a definition involving open air. What is allowable in open air? What is the use? Retail, restaurant, gardening, etc.

Mayor Hoover asked what the best way to work it would be – it was a question best made to the Town Planner. The Town Manager will take the suggestions back to the Town Planner to get some answers.

Commissioner Walker said open air markets are nice and good for the community.

Commissioner Runte said if COVID continues this would be a tool to help businesses survive.

### **Public Comment**

*Frank Thomas  
606 Atlantic Street*

Mr. Thomas has lived in Town since 1962. He acknowledged the Commission was very conscientious. He said the subject has been talked about in the past. We have done a lot of good things in the past – the Ryckman House, the post office. He wanted to invite them to the history center where there is a model of what Ocean Avenue looked like in the past when there was a train

*Ali Dennington  
413 Surf Road*

Ms. Dennington asked if the Commission could give people a ballpark of how much time the project will take to plan. She said a survey or map from the planner would help. She advised they listen to the public and have discussions on social media.

She said a special exception is great idea instead of changing the zoning and added that she would like to have more restaurants and businesses but is just concerned with allowing a restaurant on top. She also did not feel comfortable with balconies.

*Frank Kofflin  
406 1<sup>st</sup> Avenue*

Mr. Kofflin asked that the Commission consider accessibility. People have to have places to park. He felt the residential combo stuff is a good idea. As long as you restrict what they can do with residential – such a vacation rentals.

Commissioner Runte said he wanted to address something incorrect Ms. Dennington said on the social media site NextDoor. He felt her comments were malicious and disparaging (something he said she does a lot) and instead of reaching out directly to the Commission members, she posted her thoughts on social media.

He then proceeded to read from her post.

*“So many more people on the roads so we will probably need to widen the roads, so then the town might implement eminent domain and start taking people’s property subject to just compensation...”*

Commissioner Runte said Ms. Dennington is the champion of disparaging, inappropriate, malicious comments on social media – and he suggested she change her approach – and instead sent meaningful emails to the Commission to address her issues.

*Neil Tompkins  
2004 Neptune Drive*

Mr. Tompkins said the reason he resigned from the BOA is that it is a frustrating process. There is the cosmetic, architectural part and there is the use and zoning part. You all brought valid issues and we just need to consolidate them as what our goals are.

*Stan Budesá  
503 Magnolia Avenue*

Mr. Budesá said he doesn’t know how the Commission puts up with social media stuff and that’s why he can’t be on the Commission.

Mayor Hoover said as we move forward with the discussion and present it to the community, they could collect data on properties in 6B – including the last renovation, so we can have the data and research to provide to residents and businesses. It’s a useful tool to communicate why we are proceeding with this.

Commissioner Quarrie said people get nervous – and asked what ding bat came up with that comment about heights. We should be defining special exception and what it looks like – and then tackle parking.

Mayor Hoover said we are not disagreeing.

Commissioner Runte said if you have an extreme parking requirement you will never have a walkable, bike community.



Town Manager Mascaro said before we can determine that – because it is determined by the type of use – if we have only single family residential – that drives your parking – a two-story commercial building means something else.

She went on to say that before you can tackle parking you must decide what kind of properties you are going to allow and then how manage parking.

Mayor Hoover said getting into a parking discussion too soon will take away from the flexibility for businesses. He said he believes the focus should be on making those businesses more accessible and allowing the opportunity for people to take their bike or golf cart over to safely have pizza or ice cream. People want to be out in the community – but businesses in Town are harder to access – A1A can be harrowing, we need bike racks, etc. Moving forward the consideration we need to make are what restrictions do we want to impose on residential and maybe have conversations with residents. Do we have ability to restrict vacation rentals, etc.?

Immediate next step is look at how do we make those changes with feedback from the Town Planner. He went on to say that from a timeline perspective – the shortest possible timeline would be January after getting feedback from the Town Planner – and if they go forward – we would direct the Town Attorney to draft language – and that may occur in a month –with a first reading in February and then in March, a second reading at which point we could potentially approve it. So, the earliest timeframe to complete this wouldn't be before April 2022.

Commissioner Quarrie asked the Town to put the official zoning map online.

The Town Manager said in regard to Dix Hite – they will get back with her and she will have more information in January.

Commissioner Runte thanked the Town Manager for providing a great overview that guided the conversation - and he acknowledged all the great input from his fellow Commissioners.

The Mayor suggested a workshop in February to discuss the issue more and canceled the January workshop.

## **11. Staff Reports**

- A. Town Attorney Report
- B. Town Manager Report

Town Manager Mascaro said there are several long-standing Town Managers who are leaving their posts. She also advised the Commission that the Parks Board has three

events planned and are doing great. She said the tree lighting feedback was very positive and they are looking to make it even bigger and better next year and perhaps they will add a New Year's Eve family event.

- C. Town Clerk Report
- D. Departmental Reports
  - 1. Building Department

New building official will take on the position. He will work all three days and will know our code, drive our streets. Etc. New building software is also being implemented.

Commissioner Runte said in relation to pools – that water is ground water – it is not chemical water.

Commissioner Quarrie said that water dilutes the lagoon and effects the balance and causes algae. Water being pumped out should be put in a water tank.

Mayor Hoover said the requirement is that you don't have it on the curb so it can dissipate into the ground.

Commissioner Runte said perhaps time limitations should be considered.

- **The Commission added an Action Item related to the pool installation process and limiting the duration to 60-90 days.**

## 2. Public Works Department

In his update PWD Davis said:

- The slab for the new building will be poured next Tuesday
- He thanked Vice Mayor Barton for the beautiful poinsettias at Exxon
- He will investigate solar lights to light up sign and flowers
- The tennis court lights are up and running for under \$13,000 and it looks great. Signs are going up Thursday. Dumpster gates are replaced.
- On Orange and Ash there is still an issue with the water level still and he is convinced it is an underground well but he has not found someone yet to confirm it. Working with Town engineer on that.
- He asked the Commission if they would be open to a nice hard wood paneling on the dais and better countertop - All agreed it could use an update.

Mayor Hoover asked if the Oaks on Oak have a watering plan.

Fire Chief Brown said the Department can help. Mayor Hoover asked if they can create a schedule for watering – weekly would suffice – and said the root base should be replaced and made larger with composted soil.

3. Code Enforcement

4. Police Department

FTO Zachary Martin and Officer Luis Tejeda have been selected as the Officers of the Year.

Commissioner Runte said that he experienced another theft in his truck and wanted to share a reminder to be careful. He said they hit at least 25 cars.

It was noted that Mayor Hoover won the Turkey Trot.

5. Fire Department

Town Manager Mascaro noted that Chief Brown received his State Fire Instructors Certification. The Commission said Chief Brown was doing a great job.

6. Finance Department

Town Manager Mascaro noted that Finance Manager Jennifer Kerr has been out on leave but she is now back on a part-time schedule.

Town Manager Mascaro said she checked all areas and all departments are within what was allowed except equipment maintenance – law enforcement was coded incorrectly and will be adjusted. Everyone managing money well.

**Commissioner Runte moved to approve the November Finance Report, Commissioner Walker seconded; Motion carried 5-0.**

## **12. Town Commission Comments**

### **A. General Comments**

Vice Mayor Barton reported on a trip she recently took to Tallahassee.

Through the Space Coast League of Cities, the advocacy group for legislation, Vice Mayor Barton took a trip to the State Building in Tallahassee - traveling with two Satellite Beach City officials – City Manager Courtney Barker and Councilwoman Mindy Gibson. They had seven appointments with Senators and House Representatives – and met with two Committee Chair People and their staff and attended two sessions.

She noted that the bills of importance to us as a small town include Senate Bill 620 – which is related to the idea that any kind of Ordinance change the municipality makes can result in being sued by a business who feels they are adversely effected. She hopes it gets defeated because it is written very broadly and there not enough checks and balances. The other Bill of note is Senate Bill 280 – which has to do with the process of

sea grass regulation and she felt it was not written well – good points were made but she hopes this bill won't go as written either.

One personal concern, Vice Mayor Barton noted is House Bill 531 presented By Randy Fine which suggest a party designation on the ballot in our small towns. Vice Mayor Barton said she disagreed and did not think it was necessary because we are not into whole political arena as they are at the larger level – we are just trying to run our Town.

She also noted there may be more required financial reporting.

In all, Vice Mayor Barton said it was a jam-packed, good trip and wanted to note that all her expenses for the trip were paid for by the Space Coast League of Cities – not by the Town.

#### B. Review of Commission Action List

##### **Updates**

- Ocean Ave Beautification – update January with Dix Height
- Crosswalks – Update January
- Traffic Stanchions – June 2022 update

##### **Newly Added Action Items**

- Golf cart parking and bike rack installation – January 2022
- Investigate pool installation – January 2022

##### **Closed Action Items**

- Stop sign placement – will be complete this week (Thursday) – closed

Mayor Hoover wanted to note that that Town does not make a profit on parking tickets – in fact – he said it costs the Town money with officer time, etc. Towns can't make a profit and any revenue goes to the parks.

Town Manager Mascaro said there are new charging companies coming out and installing their own equipment so there may soon be better deals in the arena. She advised it was a good idea to wait and see what incentives there may be to install or pay for them. She also noted that rapid charge is 3-4 times the cost.

PWD Davis said a new parking kiosk has been ordered.

### **13. Adjournment**

**Commissioner Runte moved to adjourn; Commissioner Walker seconded; Motion carried 5-0.**

Meeting adjourned at 9 p.m.



# TOWN OF MELBOURNE BEACH

BREVARD COUNTY'S OLDEST BEACH COMMUNITY ESTABLISHED 1883

## Site Plan Review

### Applicable Codes

Town of Melbourne Beach Land Development Code  
2020 Florida Building Code

Date: December 16, 2021  
Owner: CATES, BRYAN MAXWELL  
Owner Address: 1630 PINE ST MELBOURNE BEACH FL  
Site Address: 419 AVENUE B MELBOURNE BEACH FL  
Parcel ID: 28-38-07-FW-D-10  
Zoning: 3RS

Proposed Project: New Single Family Dwelling. Drainage will be reviewed by Town Engineer.

References: Town of Melbourne Beach Code of Ordinances: 7A-33, Ordinance 2019-06

Request: Approval by Planning and Zoning Board, Town Commission for construction of a new single-family dwelling with an accessory structure.

Staff Review: The property lies in Zoning District 3RS

- 1). Project is a new single-family dwelling as a principle use. The land is currently a vacant lot.
- 2). The Building Lot Zoning District requirements of min. lot area, width and depth.  
Lot area is 15,623 sq. ft. min. 10,000 sq. ft.  
Lot width is 104.42 ft. min. 90 ft.  
Lot depth is 149.62 ft. min. 100 ft.
- 3). Lot coverage has a maximum of 30% for principle structure.  
Lot coverage per plan is 25.4 % Footprint of Primary Structure is 3,970 sq. ft.  
Max allowed for Primary Structure is 4,687 sq. ft. for Lot Area of 15,623 sq. ft.  
Minimum pervious area per lot is 30%. Pervious area is 48.29%
- 4). Structure maximum height for zoning district is 28 ft.  
The proposed height provided is 27'6".  
Flood Zone X

**5). Zoning District Setback requirements**

**Proposed Primary Structure Front Setback 26 ft. (min. 25 ft.)**

**Proposed Primary Structure West Side Setback 15.2 ft. (min. 15 ft.)**

**Proposed Primary Structure East Side Setback 25.02 ft. (min. 15 ft.)**

**Proposed Primary Structure Rear Setback 59.53 ft. (min. 25 ft.)**

**Proposed Accessory Structure East Side Setback 15.41 ft. (min. 15 ft.)**

**Proposed Accessory Structure Rear Setback 28.75 ft. (min. 15 ft.)**

**6). Sediment and Erosion control measures shall be met and approved by the Building Official in accordance with the Town of Melbourne Beach Code of Ordinances (27-28) and Florida Building Code (3307.1).**

**7). On-site Storm water Retention Control measures shall be met and approved by the Building Official in accordance with the Town of Melbourne Beach Code of Ordinances (27-28) and the Florida Building Code (3307.1). Town Engineer will submit a review of drainage per Ordinance 2019-06. Town Engineer will be required for final inspection before a Certificate of Occupancy may be issued as per Ordinance 2019-06. Minimum Landscaping Standards shall be met.**

**Based on the above review, I find the proposed site plan for the referenced property is in compliance with The Town of Melbourne Beach Code of Ordinances.**



**John Stone  
Building Official**

**419 Avenue B**

<b>IMPERVIOUS</b>		<b>PERVIOUS</b>	
Primary Structure	3970	Shed space	
Pool		Open areas	
Decks	1863	Other	
Driveway	1580		
Accessory Bldg	620		
Concrete areas	45	<b>TOTAL PERVIOUS</b>	<b>7545</b>
Pavers areas			
Other			
<b>TOTAL IMPERVIOUS</b>	<b>8078</b>		
		<b>Lot Total Sq Footage</b>	<b>15,623</b>
		<b>TOTAL % PERVIOUS</b>	<b>0.482942</b>



**B.S.E. CONSULTANTS, INC.**  
 Consulting ~ Engineering ~ Land Surveying

Scott M. Glaubitz, P.E., P.L.S.  
 President

Hassan Kamal, P.E.  
 Vice President

December 23, 2021

**Via E-mail**

Ms. Beth Crowell  
 Town of Melbourne Beach  
 507 Ocean Avenue  
 Melbourne Beach, FL 32951  
 E-mail address: building@melbournebeachfl.org

**Re: Site Plan Review – 419 Avenue B.- Second Review  
 B.S.E. File #11440.100.12**

Dear Beth:

We have completed our review and the revised submittal is now compliant.

Should you have any questions, feel free to contact me.

Very truly yours,

***Scott M. Glaubitz, P.E., P.L.S.***

Scott M. Glaubitz, P.E., P.L.S.  
 President  
 B.S.E. Consultants, Inc.

SMG/rc  
 11440.100.12\_21-s5249.doc



**SINGLE FAMILY RESIDENCE**  
**419 Avenue B**  
**Town of Melbourne Beach**

---

## ***SURFACE WATER MANAGEMENT PLAN***

Date Prepared:  
**November 19, 2021**

Prepared by:



***ROBB & TAYLOR***  
***Engineering Solutions, Inc.***



Robert F. Robb, P.E.  
Lic.# 55645

**STORMWATER REPORT**  
**419 Second Ave**  
**11/19/21**

**I. Purpose**

The purpose of this report is to provide the Town of Melbourne Beach with documentation which demonstrates the proposed parcel complies with Ordinance 2019-06.

**II. Proposed System**

The proposed project includes the demolition of an existing residence and construction of a new single family home. Rainfall from a 10 year 24 hour storm event will be analyzed to determine the volume of runoff and the required storage volume.

Site Data:

Parcel Area	15,688 sf	0.360 ac	
Roof Top	= 4418 sf	= 0.10 acre	= 28%
Pool & Pool Deck	= 1,815 sf	= 0.04 acre	= 11%
Paver Drive	= 2,146 sf	= 0.05 acre	= 14%
Pervious Area	= 7,309 sf	= 0.168 acre	= 47%

Weighted Curve Number – Overall

CN = 98 Impervious Area  
 CN = 39 Lawn, Good Condition, hyd.soil group A  
 CN = 70 Pavers  
 $CN^* = (0.39)(98) + (0.14)(70) + (0.47)(39) = 66$   
 (assume future pool will be concrete deck)

Pond Volume

<i>El</i>	<i>Area</i>	<i>Vol.</i>
9.8	1,150	0 cf
10.0	1,990	322 cf
11.0	3,682	3,198 cf

**III. Geotechnical Data:**

Hv = 25.8 ft/day

Hh = 28.4 ft/day

SHWT = 11.0ft – 4.5ft = El. 6.5

Aquif Base: -4.4 ft

**IV. Recovery**

The storage volume recovers immediately, all volumes are below the pond bottom. (See Modret Analysis)

**V. Conclusion**

As demonstrated by the above calculations, the proposed stormwater system provides full storage of the 8" of rainfall produced by the 10Yr/24Hr Storm. The peak stage during the 10yr-24hr storm event is 10.6 ft. The top of bank along the property line shall be 11.0. The retention system will begin to discharge to 2<sup>nd</sup> Ave. at elevation 10.6ft, therefore, no runoff is discharged off-site during the 10year, 24 hour storm event.

**ICPR CALCULATIONS  
POST-DEVELOPMENT  
INPUT PARAMETERS**

Single Family Residence  
 419 Ave. B  
 ICPR Storm Calculations  
 Post Development  
 Input  
 11/18/21

==== Basins =====

Name: Post Dev 1	Node: pond	Status: Onsite
Group: BASE	Type: SCS Unit Hydrograph	
Unit Hydrograph: Uh484	Peaking Factor: 484.0	
Rainfall File:	Storm Duration(hrs): 0.00	
Rainfall Amount(in): 0.000	Time of Conc(min): 15.00	
Area(ac): 0.360	Time Shift(hrs): 0.00	
Curve Number: 66.00	Max Allowable Q(cfs): 999999.000	
DCIA(%): 0.00		

==== Nodes =====

Name: Bndry	Base Flow(cfs): 0.000	Init Stage(ft): 10.500
Group: BASE		Warn Stage(ft): 10.750
Type: Time/Stage		

Time(hrs)	Stage(ft)
0.00	10.500
12.00	10.600
24.00	10.500

Name: GW	Base Flow(cfs): 0.000	Init Stage(ft): 6.000
Group: BASE		Warn Stage(ft): 6.500
Type: Time/Stage		

Time(hrs)	Stage(ft)
0.00	6.000
12.00	6.100
24.00	6.000

Name: pond	Base Flow(cfs): 0.000	Init Stage(ft): 9.800
Group: BASE		Warn Stage(ft): 11.000
Type: Stage/Area		

Stage(ft)	Area(ac)
9.800	0.0260

Single Family Residence  
 419 Ave. B  
 ICPR Storm Calculations  
 Post Development  
 Input  
 11/18/21

10.000	0.0460
11.000	0.0850

=====  
 Operating Tables  
 =====

Name: Pond Perc                      Group: BASE  
 Type: Rating Curve  
 Function: US Stage vs. Discharge

US Stage(ft)	Discharge(cfs)
10.100	0.10
10.500	0.37
11.000	0.42

=====  
 Rating Curves  
 =====

Name: Perc                      From Node: pond                      Count: 1  
 Group: BASE                      To Node: GW                      Flow: Both

	TABLE	ELEV ON(ft)	ELEV OFF(ft)
#1:	Pond Perc	10.010	10.000
#2:		0.000	0.000
#3:		0.000	0.000
#4:		0.000	0.000

=====  
 Hydrology Simulations  
 =====

Name: 10YR/24HR  
 Filename: C:\Users\Robnewdell\Documents\BUSINESS\Project Management\10YR-24HR.R32  
 Override Defaults: Yes  
 Storm Duration(hrs): 24.00  
 Rainfall File: Flmod  
 Rainfall Amount(in): 8.00

Time(hrs)	Print Inc(min)
24.000	10.00

=====  
 Routing Simulations  
 =====

Name: 10YR/24HR                      Hydrology Sim: 10YR/24HR  
 Filename: C:\Users\Robnewdell\Documents\BUSINESS\Project Management\10YR-24HR.I32

Single Family Residence  
419 Ave. B  
ICPR Storm Calculations  
Post Development  
Input  
11/18/21

Execute: Yes  
Alternative: No

Restart: No

Patch: No

Max Delta Z(ft): 1.00  
Time Step Optimizer: 10.000  
Start Time(hrs): 0.000  
Min Calc Time(sec): 0.2500  
Boundary Stages:

Delta Z Factor: 0.00500  
End Time(hrs): 24.00  
Max Calc Time(sec): 60.0000  
Boundary Flows:

Time(hrs)	Print Inc(min)
24.000	10.000

Group	Run
BASE	Yes

==== Boundary Conditions =====

Single Family Residence  
419 Ave. B  
ICPR Storm Calculations  
Post Development  
Basin Summary  
11/18/21

---

Basin Name: Post Dev 1  
Group Name: BASE  
Simulation: 10YR/24HR  
Node Name: pond  
Basin Type: SCS Unit Hydrograph

Unit Hydrograph: Uh484  
Peaking Fator: 484.0  
Spec Time Inc (min): 2.00  
Comp Time Inc (min): 2.00  
Rainfall File: Flmod  
Rainfall Amount (in): 8.000  
Storm Duration (hrs): 24.00  
Status: Onsite  
Time of Conc (min): 15.00  
Time Shift (hrs): 0.00  
Area (ac): 0.360  
Vol of Unit Hyd (in): 1.001  
Curve Number: 66.000  
DCIA (%): 0.000  
  
Time Max (hrs): 12.07  
Flow Max (cfs): 1.194  
Runoff Volume (in): 4.002  
Runoff Volume (ft3): 5230.091



**ICPR CALCULATIONS  
POST-DEVELOPMENT  
PEAK CONDITIONS  
10YR / 24 HR STORM**

Single Family Residence  
 419 Ave. E  
 ICPR Storm Calculations  
 Post Development  
 Max. Node (Stage)  
 11/18/21

Name	Group	Simulation	Max Time Stage hrs	Max Stage ft	Warning Stage ft	Max Delta Stage ft	Max Surf Area ft2	Max Time Inflow hrs	Max Inflow cfs	Max Time Outflow hrs	Max Outflow cfs
pond	BASE	10YR/24HR	12.51	10.607	11.000	0.0050	3034	12.00	1.113	12.51	0.381

## **MODRET RECOVERY ANALYSIS**

# MODRET

## SUMMARY OF UNSATURATED & SATURATED INPUT PARAMETERS

**PROJECT NAME : 419 2nd Ave**  
**POLLUTION VOLUME RUNOFF DATA USED**  
**UNSATURATED ANALYSIS EXCLUDED**

Pond Bottom Area	1,150.00 ft <sup>2</sup>
Pond Volume between Bottom & DHWL	4,005.00 ft <sup>3</sup>
Pond Length to Width Ratio (L/W)	6.00
Elevation of Effective Aquifer Base	-4.40 ft
Elevation of Seasonal High Groundwater Table	6.50 ft
Elevation of Starting Water Level	9.50 ft
Elevation of Pond Bottom	9.50 ft
Design High Water Level Elevation	11.00 ft
Avg. Effective Storage Coefficient of Soil for Unsaturated Analysis	0.30
Unsaturated Vertical Hydraulic Conductivity	25.80 ft/d
Factor of Safety	2.00
Saturated Horizontal Hydraulic Conductivity	28.40 ft/d
Avg. Effective Storage Coefficient of Soil for Saturated Analysis	0.30
Avg. Effective Storage Coefficient of Pond/Exfiltration Trench	1.00

### Hydraulic Control Features:

#### Groundwater Control Features - Y/N

	Top	Bottom	Left	Right
Distance to Edge of Pond	N 0.00	N 0.00	N 0.00	N 0.00
Elevation of Water Level	0.00	0.00	0.00	0.00

#### Impervious Barrier - Y/N

	Top	Bottom	Left	Right
Elevation of Barrier Bottom	N 0.00	N 0.00	N 0.00	N 0.00

# MODRET

## TIME - RUNOFF INPUT DATA

**PROJECT NAME: 419 2ND AVE**

<b>STRESS PERIOD NUMBER</b>	<b>INCREMENT OF TIME (hrs)</b>	<b>VOLUME OF RUNOFF (ft<sup>3</sup>)</b>
Unsat	0.00	0.00
1	1.00	4,005.00
2	8.88	0.00
3	8.88	0.00
4	8.88	0.00
5	8.88	0.00
6	8.88	0.00
7	8.88	0.00
8	8.88	0.00
9	8.88	0.00

**MODRET****SUMMARY OF RESULTS****PROJECT NAME : 419 2nd Ave**

<b>CUMULATIVE TIME (hrs)</b>	<b>WATER ELEVATION (feet)</b>	<b>INSTANTANEOUS INFILTRATION RATE (cfs)</b>	<b>AVERAGE INFILTRATION RATE (cfs)</b>	<b>CUMULATIVE OVERFLOW (ft³)</b>
00.00 - 0.00	6.500	0.000 *		
			0.00000	
0.00	6.500	0.42736		
			0.39865	
1.00	10.463	0.36994		0.00
			0.11513	
7.20	9.500	0.08152		0.00
			0.04791	
18.75	8.511	0.03839		0.00
			0.02886	
27.63	8.166	0.02432		0.00
			0.01978	
36.50	7.929	0.01720		0.00
			0.01462	
45.38	7.754	0.01297		0.00
			0.01133	
54.25	7.619	0.01020		0.00
			0.00908	
63.13	7.510	0.00827		0.00
			0.00746	
72.00	7.421			0.00

Maximum Water Elevation: 10.463 feet @ 1.00 hours

Recovery @ 7.200 hours

\* Time increment when there is no runoff

Maximum Infiltration Rate: 12.900 ft/day

Analysis Date: 11/18/2021

## GEOTECHNICAL REPORT

Headquarters  
11345 U.S. Highway 1  
Sebastian, FL. 32958  
Orlando  
723 Progress Way  
Sanford, FL. 32771



Mailing  
P.O. Box 78-1377  
Sebastian, FL. 32978  
Phone: 772-589-0712  
C.A. # 5693  
KSMengineering.net

October 25, 2021

Bryan Cates  
Solway Construction, LLC  
200 Ocean Avenue, Suite 201  
Melbourne Beach, FL 32951

**Re: 419 Avenue B  
Melbourne Beach, Florida  
KSM Project #: 218314-p**

Dear Mr. Cates:

Enclosed are the permeability test results and soil profile for the referenced project.

A Hydraulic Conductivity Test was performed in the field by the 'Usual Open-Hole Test' method in general conformance with the South Florida Water Management District described procedures for the 'Usual Open-Hole Test' method.

The horizontal and vertical permeability flow rates were determined by excavating a test pit adjacent to the soil profiles and obtaining undisturbed Shelby tube samples. We then performed a permeability test on the field samples in our laboratory in general accordance with ASTM D 2434.

All these tests were performed to evaluate the drainage characteristics of the soils for this particular test location.

Table 1 indicates the usual Open-Hole Hydraulic Conductivity test results:

<b>Table 1 - Usual Open-Hole Test Results</b>	
<b>Test Location (See Location Plan)</b>	<b>Hydraulic Conductivity (CFS/SF- Ft Head)</b>
P-1	$6.4 \times 10^{-4}$

**NOTES:**

- 1) The above hydraulic conductivity values are for a French drain installed to the same depth as the borehole tests. The designer should apply the appropriate factor of safety.
- 2) A hole diameter of 3" was used in the computation of the Hydraulic Conductivity values presented in the above table.



Table 2 indicates the horizontal and vertical flow rates for the test location:

<b>Table 2 - Constant Head Permeability Results (ASTM D2434)</b>			
<b>Test Location (See Location Plan)</b>	<b>Horizontal Flow Rate (in/hr)</b>	<b>Vertical Flow Rate (in/hr)</b>	<b>Layer Depth (in)</b>
P-1	7.3	5.8	0-16
	14.2	12.9	16-48
	--	28.3	48-60

Table 3 indicates the measured water table along with our estimated normal wet season water table and normal dry season water table for the test location:

<b>Table 3 - Water Table Observations</b>			
<b>Test Location (See Location Plan)</b>	<b>Observed Water Table</b>	<b>Estimated Wet Season Water Table</b>	<b>Estimated Dry Season Water Table</b>
P-1, PB-1	60" Below Grade	54" Below Grade	90" Below Grade

This estimate is based upon our interpretation of existing site conditions and a review of the USDA Soil Survey for Brevard County, Florida. The majority of the site soils are mapped as 25—Canaveral-Palm Beach-Urban land complex, according to the Soil Survey Map of Brevard County, Florida.

#### Hydrologic Soil Group Classification:

The soils in the test locations can be classified in accordance with Chapter 7, Part 630 of the USDA National Engineering Handbook as follows:

<b>Table 4 – Hydrologic Soil Group Classification</b>	
<b>Test Location (See Location Plan)</b>	<b>Hydrologic Soil Group</b>
P-1	A

The soils in test location P-1 are part of the hydrologic soil group "A" due to the low fines content in the soil, the high hydraulic conductivity rates of the soils, the absence of a water impermeable layer and the depth to high season water table which is greater than 40 inches from the surface.

Note that the Hydrologic Soil Group is a dynamic classification which changes with the conditions of the site at any given moment. Changes in water table elevation as well as changes in the ground elevations of the site can affect the hydrologic soil group for any particular location.

### Porosity:

The material we encountered in the field was typically fine-grained sand which was loose to medium-dense, so an estimated value of 0.37 can be used for porosity.

This estimate is based upon our interpretation of existing site conditions and our experience with the porosity of similar materials. If the in-situ field porosity of any individual soil layer is required, please contact our office for further investigation.

If you have any questions, please feel free to contact the office.

Respectfully,



*Christopher S. LeBrun*  
Christopher S. LeBrun, E.I.  
Geotechnical Engineer  
Florida Lic. No. 1100022858  
10/25/2021

Cody C. Clawson, P.E.  
Geotechnical Engineer  
Florida Lic. No. 91598  
10/25/2021

CCC/cv

Email to: brymaxcates@yahoo.com; kim@solwayconstruction.com; erin.trauger@gmail.com

**KSM**

KSM Engineering & Testing  
P.O. Box 78-1377  
Sebastian, FL 32978  
Tel: (772)-589-0712  
Fax: (772)-589-6469

**BORING NUMBER PB-1**

PAGE 1 OF 1

CLIENT Solway Construction, LLCPROJECT NAME 419 Avenue BPROJECT NUMBER 218314-pPROJECT LOCATION Melbourne Beach, FloridaDATE STARTED 10/14/21 COMPLETED 10/14/21

GROUND ELEVATION \_\_\_\_\_ HOLE SIZE \_\_\_\_\_ inches

DRILLING CONTRACTOR \_\_\_\_\_

GROUND WATER LEVELS:

DRILLING METHOD Split Spoon Sample▽ AT TIME OF DRILLING 5.00 ftLOGGED BY SF/MM CHECKED BY CCC

AT END OF DRILLING \_\_\_\_\_

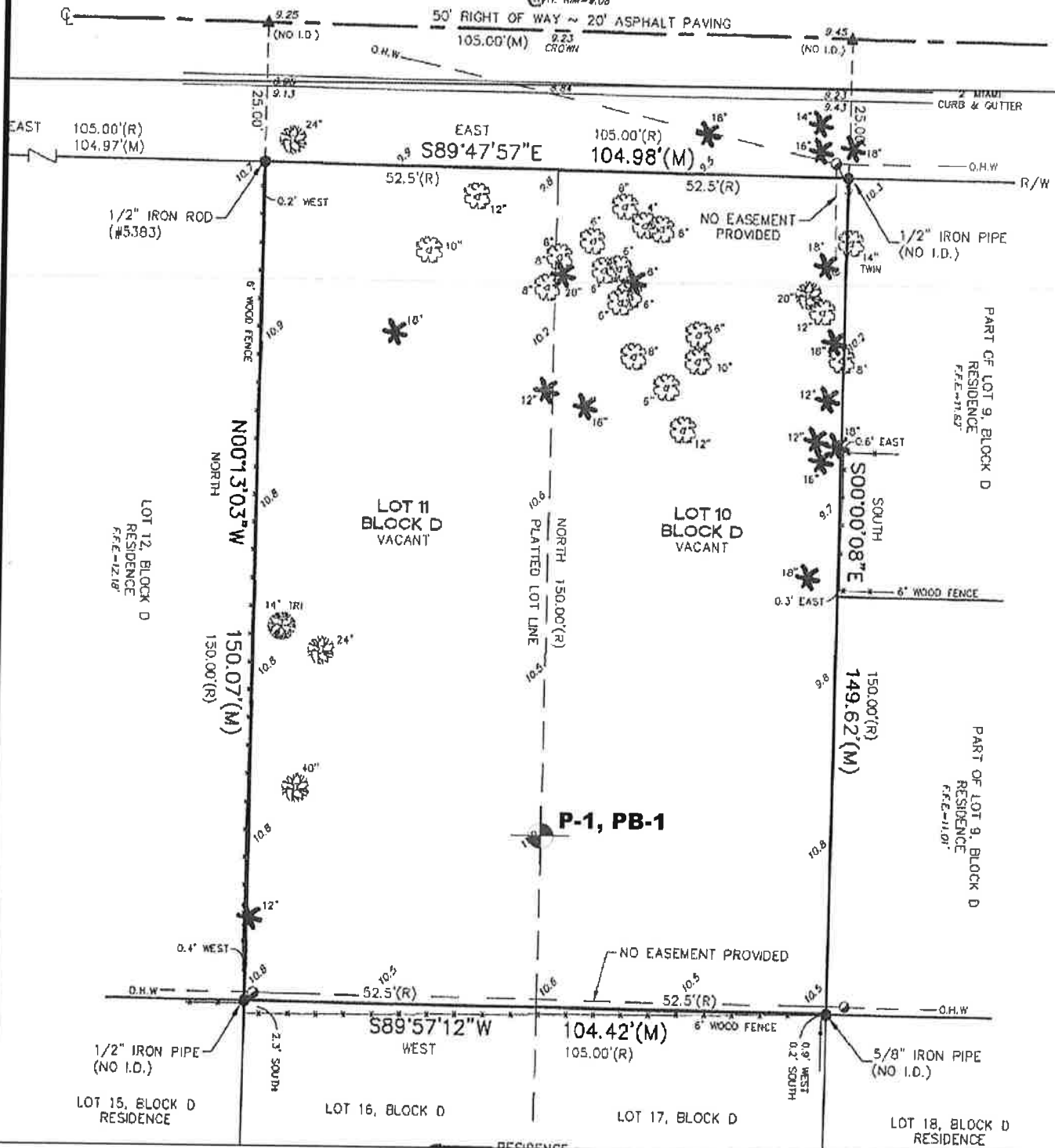
NOTES See Attached Location Plan

AFTER DRILLING \_\_\_\_\_

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY % (RQD)	BLOW COUNTS (N VALUE)	POCKET PEN. (tsf)	DRY UNIT WT. (pcf)	▲ SPT N VALUE ▲	
								20 40 60 80	20 40 60 80
0		Brown Sand with Traces of Root						PL	MC LL
		Yellowish Brown Sand	SS		1-10-4 (14)			20 40 60 80	20 40 60 80
		Light Brown Sand	SS		3-3-4 (7)				
5	▽	Gray Sand with Traces of Shell Fragments	SS		3-3-4 (7)				
			SS		1-2-2 (4)				
10			SS		2-2-3 (5)				
		Light Brown Sand	SS		5-10-13 (23)				
15									

Bottom of borehole at 15.0 feet.

⑤  $N. \text{FIN} = 9.08^\circ$



## LOCATION OF SOIL TESTING

**PROJECT:** 419 Avenue B, Melbourne Beach, Florida

SHEET 1 OF 2  
PERMIT #:  
PROJECT #: 218314-p

# KSM ENGINEERING AND TESTING

DRAWN BY: C.V.  
DESIGNED BY: C.C.C.  
DATE: 20211017  
SCALE: NOT TO SCALE



## **USDA SOILS SURVEY**

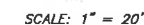
### **25—Canaveral-Palm Beach-Urban land complex**

PROJECT: 419 Avenue B, Melbourne Beach, Florida

SHEET 2 OF 2  
PERMIT #:  
PROJECT #: 218314-soils

**KSM ENGINEERING  
AND TESTING**

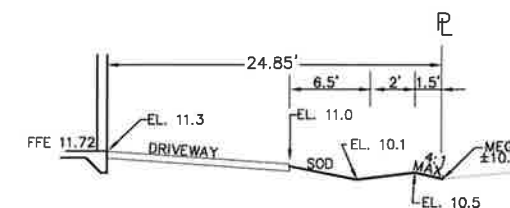
DRAWN BY: C.V.  
DESIGNED BY: C.C.C.  
DATE: 20211017  
SCALE: NOT TO SCALE



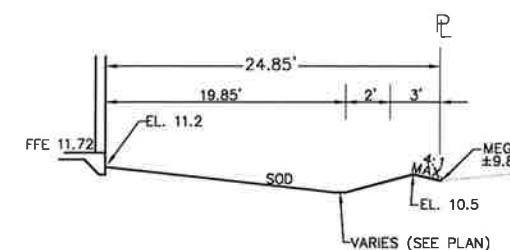
ROBERT F. ROBB  
LICENSE  
No. 55645  
★  
STATE OF  
FLORIDA  
PROFESSIONAL ENGINEER

[illegible]

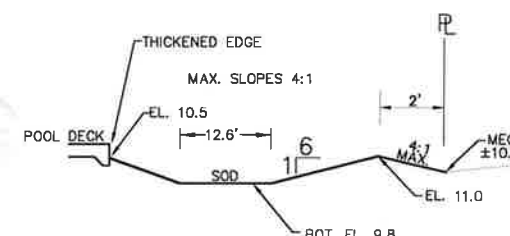
## WEST PROPERTY LINE SECTION



**EAST PROPERTY LINE SECTION A-A**



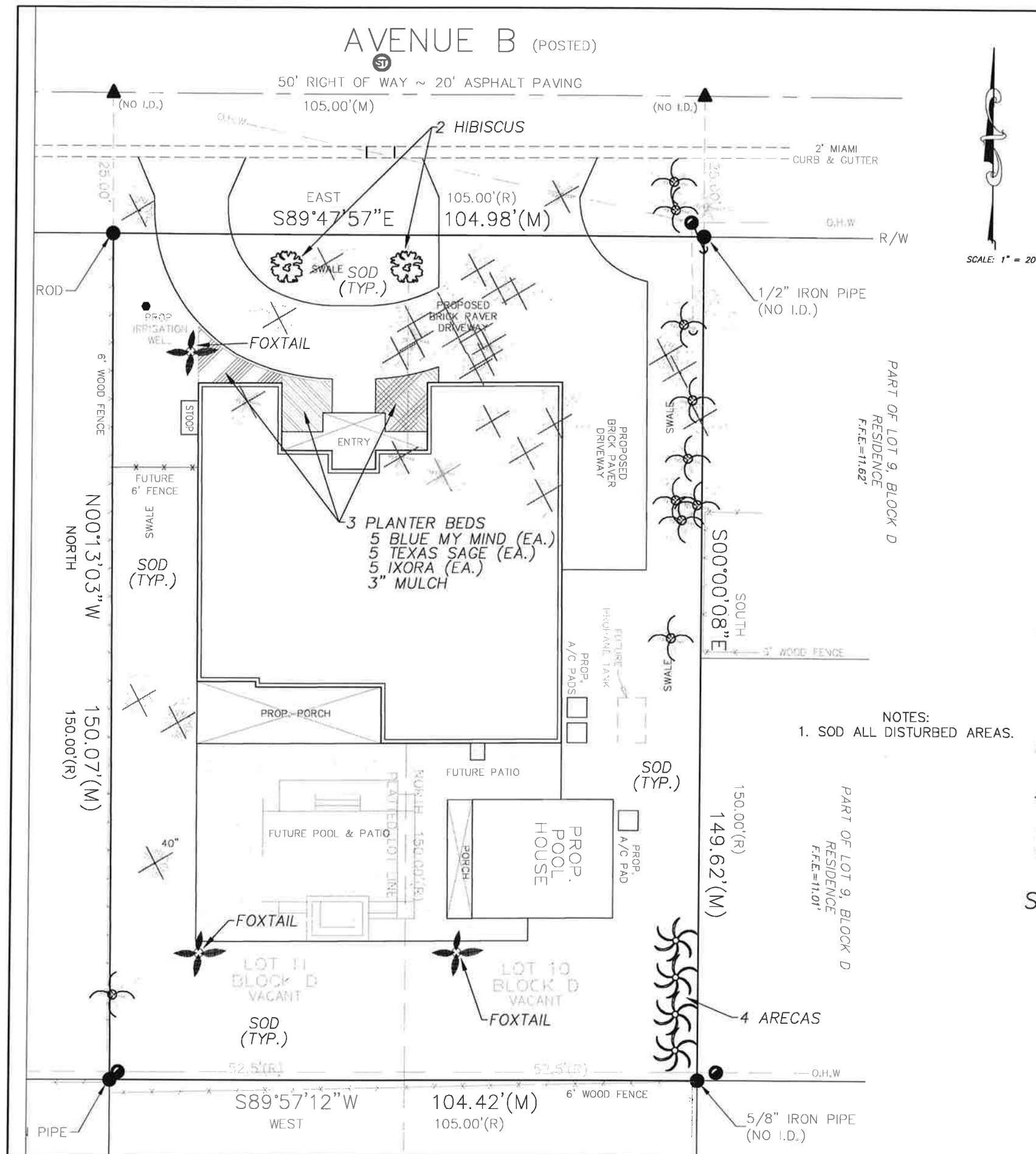
**EAST PROPERTY LINE SECTION B-B**



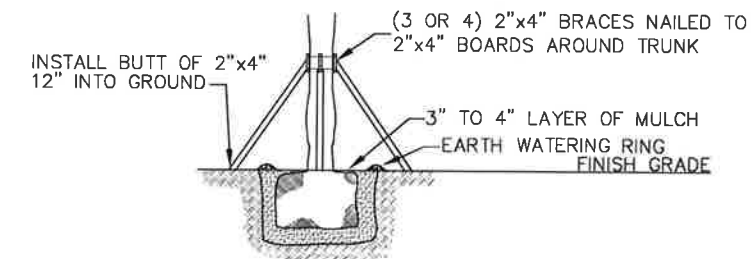
**SOUTH PROPERTY LINE SECTION**

~~CERT. of AUTH. # 28304~~

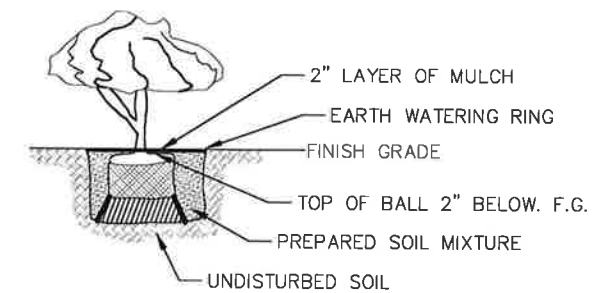




IRRIGATION :  
IRRIGATION OF ALL SODDED AREAS AND PLANT BEDS TO BE PROVIDED BY WELL (SEPARATE PERMIT). WELL SHALL HAVE 1.5 HP PUMP WITH 4 ZONE SYSTEM WITH AUTOMATIC TIMER AND RAIN SENSOR.



PALM PLANTING/STAKING DETAIL



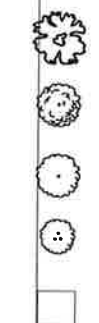
SHRUB PLANTING DETAIL

## PLANT LEGEND

TREES



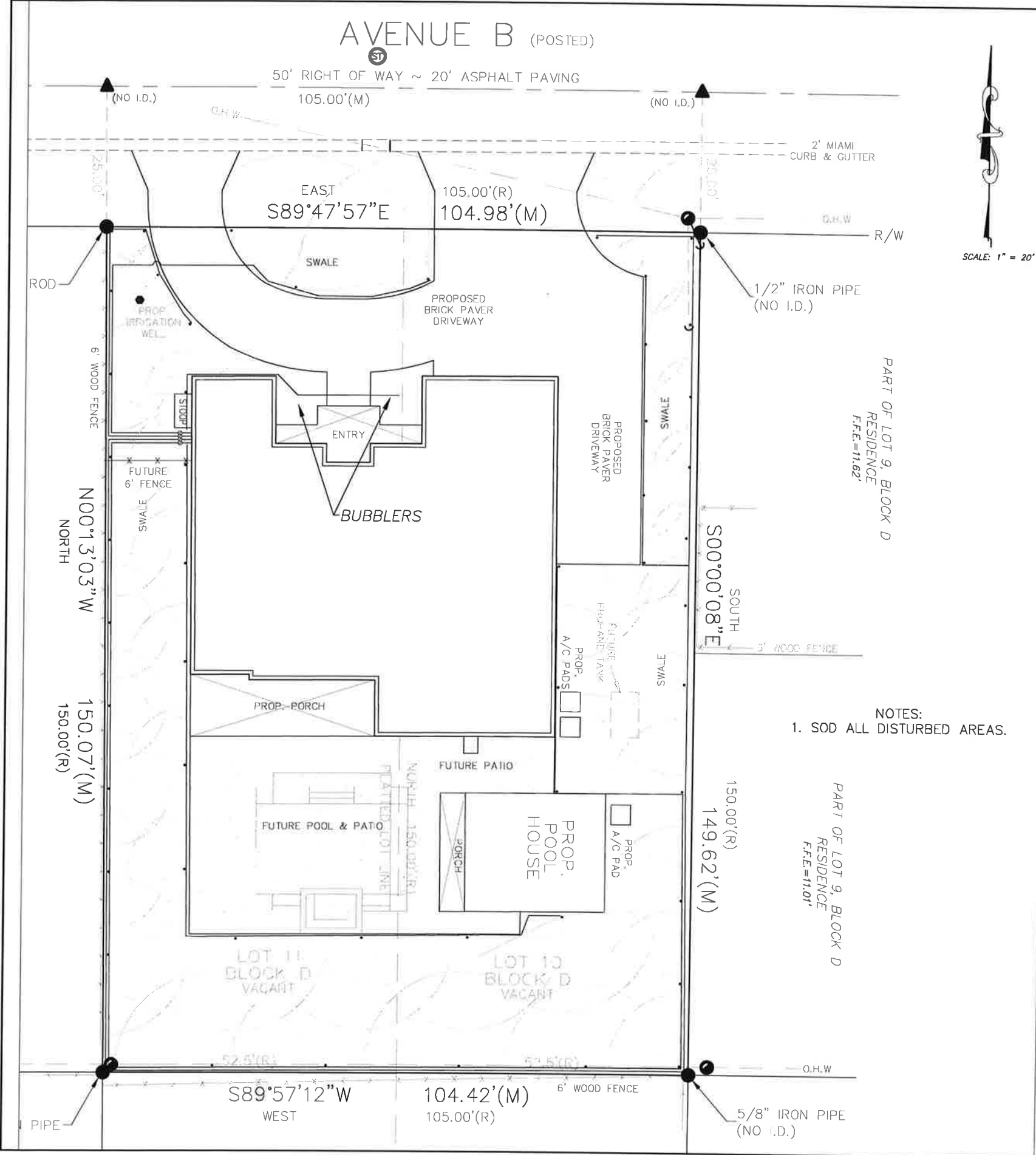
## SHRUBS



EXISTING TREE TO BE REMOVED			
EXISTING TREE TO REMAIN			
EXISTING PALM			9
FOXTAIL PALM	WODYETIA BIFURCATA	8' CLEAR TRUNK 30 GAL.	3
ARECA PALM	DYPsis LUTESCENS	6' TALL 15 GAL.	4
HIBISCUS/	HIBISCUS ROSA-SINENSIS	10 GAL. 4.5' TALL	2
BLUE MY MIND	EVOLUULUS HYBRID	3 GAL.	15
TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	3 GAL.	15
IXORA	IXORA COCCINEA	3 GAL.	15
SOD (YARD AREAS SHALL BE SODDED)	ST. AUGUSTINE SOD	±6,900 SF	


CERT. of AUTH.# 28304





IRRIGATION :  
IRRIGATION OF ALL SODDED AREAS AND PLANT BEDS TO BE PROVIDED BY WELL (SEPARATE PERMIT). WELL SHALL HAVE 1.5 HP PUMP WITH 24 ZONE SYSTEM WITH AUTOMATIC TIMER AND RAIN SENSOR.

IRRIGATION SHALL PROVIDE 100% COVERAGE.

**ROBB & TAYLOR**  
Engineering Solutions, Inc.  
4885 HIDDEN LAKES PLACE  
MELBOURNE, FLORIDA 32934  
Phone: 321.233.1233  
Fax: 321.233.1234  
r-t-engineering@aol.com

**Engineer of Record**  
Robert F. Robb  
P.E. # 55045  
Date: 12/21/21

Revision:  
Date:  
Project:  
**SINGLE FAMILY RESIDENCE**  
419 AVE. B., MELBOURNE BEACH

**IRRIGATION PLAN**  
Sheet  
Scale 1" = 20'  
IRRIG - 1



21

## TREE LEGEND

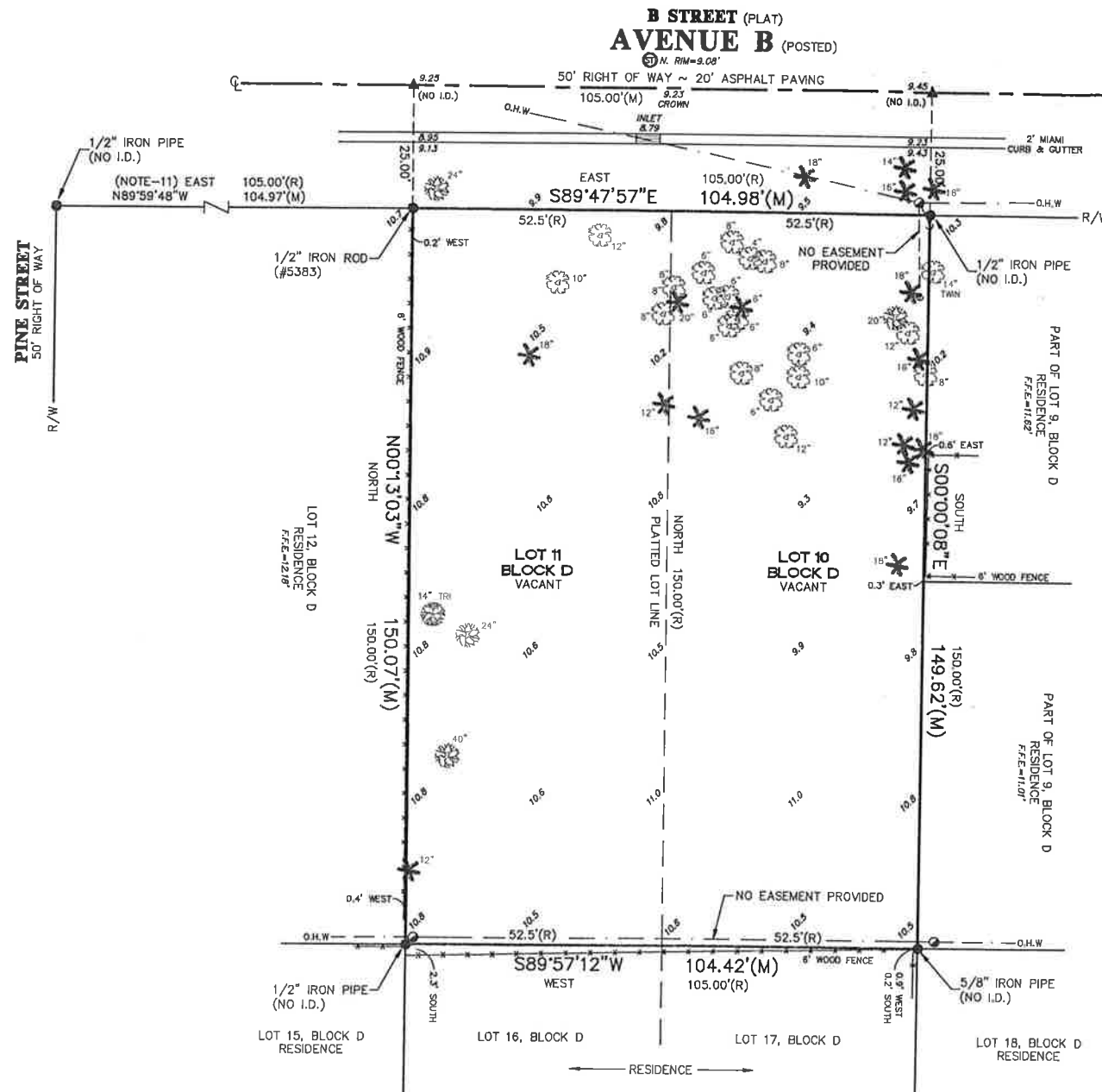
- ✱ = PALM TREE  
○ = OAK TREE  
● = BANYAN TREE  
● = UNKNOWN TREE

Phone (321) 724-2940  
Fax (321) 951-4879  
E-MAIL: SMITHSURVEYING@GMAIL.COM

**SMITH & ASSOCIATES**  
SURVEYING & MAPPING, INC.

1300 MALABAR ROAD S.E., SUITE 1  
PALM BAY, FLORIDA 32907  
WEBSITE: SMITHSURVEYING.NET

**MAP OF SURVEY**  
CERTIFICATE OF AUTHORIZATION L.B. 7426



SCALE IN FEET  
1 INCH = 20 FEET

PROPERTY ADDRESS: 419 AVENUE B  
MELBOURNE BEACH, FLORIDA 32951

ACCORDING TO MAP NO. 12009C0604 H, AND  
12008C0608 H, DATED JANUARY 29, 2021,  
THIS PROPERTY LIES IN FLOOD ZONE "X".

CERTIFIED TO: BRYAN CATES

## SURVEYORS NOTES:

- LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR ADJOINING DEEDS, RIGHT-OF-WAY, RESERVATION, AGREEMENTS AND/OR EASEMENTS OF RECORD. SUCH INFORMATION, IF DESIRED, SHOULD BE OBTAINED AND CONFIRMED BY OTHERS THROUGH APPROPRIATE TITLE VERIFICATION.
- ADJOINERS SHOWN HAVE NOT BEEN SURVEYED.
- DRAWINGS ARE NOT TO BE RELIED UPON FOR SCALE PURPOSES.
- ALL MEASUREMENTS ARE IN FEET AND DECIMAL PARTS THEREOF AND ARE IN ACCORDANCE WITH THE STANDARDS OF THE UNITED STATES (CHAPTER 517-8.003(1)(b) F.A.C.).
- PURSUANT TO FLORIDA LAW (F.A.C. 517-8.003(1)(b)) THIS SURVEY IS BASED ON A CLOSED TRANSVERSE.
- USE ONLY PROPERTY CORNERS FOR CONSTRUCTION OF FENCES AND OTHER IMPROVEMENTS.
- ONLY OPEN AND NOTORIOUS EVIDENCE OF EASEMENTS AND RIGHT-OF-WAYS ARE LOCATED AND SHOWN HEREON. THE SURVEYOR HAS NOT LOCATED ANY UNDERGROUND UTILITIES OR FOUNDATIONS WHICH MAY ENCROACH.
- LEGAL DESCRIPTION AS SHOWN WAS PROVIDED BY CLIENT.
- ELEVATIONS BASED ON 50.00' ASSUMED AT N/A.
- ELEVATIONS BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (PARENT B.M. 8-132, ELEVATION 15.122').
- BEARINGS BASED ON SOUTH RIGHT OF WAY LINE OF AVENUE B BEING EAST (ASSUMED).
- PLAT PLANS ARE NOT TO BE USED FOR CONSTRUCTION LAYOUT PURPOSES.
- LOT DIMENSIONS AND BEARINGS ARE RECORD AND MEASURED UNLESS OTHERWISE NOTED.
- SEPTIC TANKS AND WELLS IF SHOWN ARE APPROXIMATE LOCATIONS AND SHOULD BE FIELD VERIFIED BY CONTRACTOR FOR CORRECT POSITION AND SEPARATION.
- NORTH ARROW AS SHOWN DOES NOT REPRESENT TRUE NORTH OR GRID NORTH, IT IS FOR APPROXIMATE POSITION ONLY.
- ALL RIGHT-OF-WAYS, ALLEYS, DIRT ROADS, AND ASPHALT ROADS IF SHOWN ARE "OPEN TO TRAVEL" BOTH BY FOOT AND VEHICLE UNLESS OTHERWISE NOTED BY (CLOSED TO TRAVEL).
- SETBACKS AS SHOWN ON PLAT PLANS WERE PROVIDED BY CONTRACTOR.
- HORIZONTAL FEATURE ACCURACY: TOPOGRAPHIC LAND FEATURES (SIGNS, INLETS, VALVES, MAILBOXES, POWER POLES, OVERHEADS, CULVERTS, AND SIMILAR FEATURES) HAVE A HORIZONTAL FEATURE ACCURACY OF PLUS OR MINUS 0.25 FEET.
- VERTICAL FEATURE ACCURACY: ELEVATIONS ON THE SITE (GROUND, PAVEMENT, INLETS, ETC.) HAVE A VERTICAL FEATURE ACCURACY OF PLUS OR MINUS 0.10 FEET.
- THIS SURVEY IS FOR THE SOLE BENEFIT OF THE PARTIES NAMED HEREON AND FOR THE SPECIFIC PURPOSES NOTED, AND SHOULD NOT BE RELIED UPON BY ANY OTHER ENTITY, AND IS NOT TRANSFERABLE UNDER ANY CIRCUMSTANCES.
- THE EXPECTED USE OF THE LAND IS RESIDENTIAL. THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF BOUNDARY SURVEY IS 1 FOOT IN 7,500 FEET WHICH WAS MET IN THE CASE OF THIS SURVEY.
- ALL "PROPOSED" IMPROVEMENTS SHOWN HEREON ARE NOT "AS-BUILT". ALL CONSTRUCTION PERFORMED ACCORDING TO THE "PROPOSED" INFORMATION SHOWN HEREON IS SUBJECT TO BEING APPROVED BY THE APPLICABLE AUTHORIZING AGENCIES. THE CLIENT IS RESPONSIBLE FOR COMPARING THE "PROPOSED" INFORMATION AS SHOWN, WITH THE "FINAL" APPROVED FOR CONSTRUCTION" DOCUMENTATION PRIOR TO AUTHORIZING ANY LAYOUT WORK.

## LEGEND:





- S.B.M. = SITE BENCH MARK  
P.C.P. = PERMANENT CONTROL POINT  
P.O.C. = POINT OF COMMENCEMENT  
P.O.B. = POINT OF BEGINNING  
T.P. = POINT OF TANGENCY  
R.P. = RADIAL POINT  
P.C. = POINT OF CURVATURE  
P.R.C. = POINT OF REVERSE CURVATURE  
D = DELTA (CENTRAL ANGLE)  
R = RADIUS  
A = ARC  
C = CENTERLINE  
T.M. = TYPICAL  
M = MEASURED  
S = STATION  
N = NORTH  
E = EAST  
W = WEST  
S = SOUTH  
N = NORTH  
E = EAST  
W = WEST  
S = SOUTH
- B.S.L. = BUILDING SETBACK LINE  
T.O.B. = APPROX. TOP OF BANK  
N.T.S. = NOT TO SCALE  
O/S = OFFSET  
L.F.E. = LATEST FLOOR ELEVATION  
G.F.E. = GARAGE FLOOR ELEVATION  
F.F.E. = FINISHED FLOOR ELEVATION  
P.B. = PLAT BOOK  
D.B. = DEED BOOK  
P.C. = PAGE  
P.V.C. = POLYMER CONCRETE  
C.M.P. = CORRUGATED METAL PIPE  
R.C.P. = REINFORCED CONCRETE PIPE  
C.P.P. = CORRUGATED PLASTIC PIPE  
I.V. = INVERT  
E.L. = ELEVATION  
F.Z.L. = FLOOD ZONE LINE  
N.A.V.D. = NORTH AMERICAN VERTICAL DATUM  
N.G.S.V.D. = NATIONAL GEODETIC VERTICAL DATUM  
C = CLEANOUT  
W = WATER METER  
E = ELECTRIC METER/HANDHOLE  
S = SANITARY SEWER MANHOLE  
S.S.M. = STORM SEWER MANHOLE  
S.B. = SOUTHERN BELL MANHOLE  
S.B.R. = SOUTHERN BELL RISER  
C.T. = CABLE TELEVISION RISER
- M = GAS VALVE  
W = REGULAR WATER METER  
S = GAS SERVICE  
W = WATER VALVE IN 2" 2" CONC.  
W = WATER VALVE  
F = FIRE HYDRANT  
P = POWER POLE  
L = LIGHT POLE  
X = GUY ANCHOR  
F = FENCE  
S = OVERHEAD WIRE (O.H.W.)  
S = APPROXIMATE SEPTIC TANK  
S = UNDER MAIN ROOF  
S = WELL  
S = IRON MARKER FOUND - SEE DESCRIPTION  
S = 1/2" IRON ROD WITH PLASTIC CAP  
S = MARKED "A.A. SMITH LB 7426" SET  
S = 4" 4" CONC. MONUMENT FOUND  
S = SEE DESCRIPTION  
S = 4" 4" CONC. MONUMENT MARKED  
S = "A.A. SMITH LB 7426" SET  
S = NAIL & DISK FOUND - SEE DESCRIPTION  
S = SET MAGNETIC NAIL  
S = NAIL & TACK SET

LOTS 10 AND 11, BLOCK D,  
"GRAVES PLAT OF MELBOURNE BEACH"  
AS RECORDED IN PLAT BOOK 1, PAGE 38, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA

TYPE	SURVEY DATE	JOB NUMBER	CK. BY
BOUNDARY/TOPOGRAPHIC SURVEY	AUGUST 11, 2021	21-1127	REVIN A. SMITH
DRAWN BY: A. TEJADA			
SCALE: 1" = 20'			
PROFESSIONAL SURVEYOR & MAPPER IN RESPONSIBLE CHARGE REVIN A. SMITH - FLORIDA CERTIFICATE NO. 4127 ANDREW J. SMITH - FLORIDA CERTIFICATE NO. 2690			

21

## TREE LEGEND

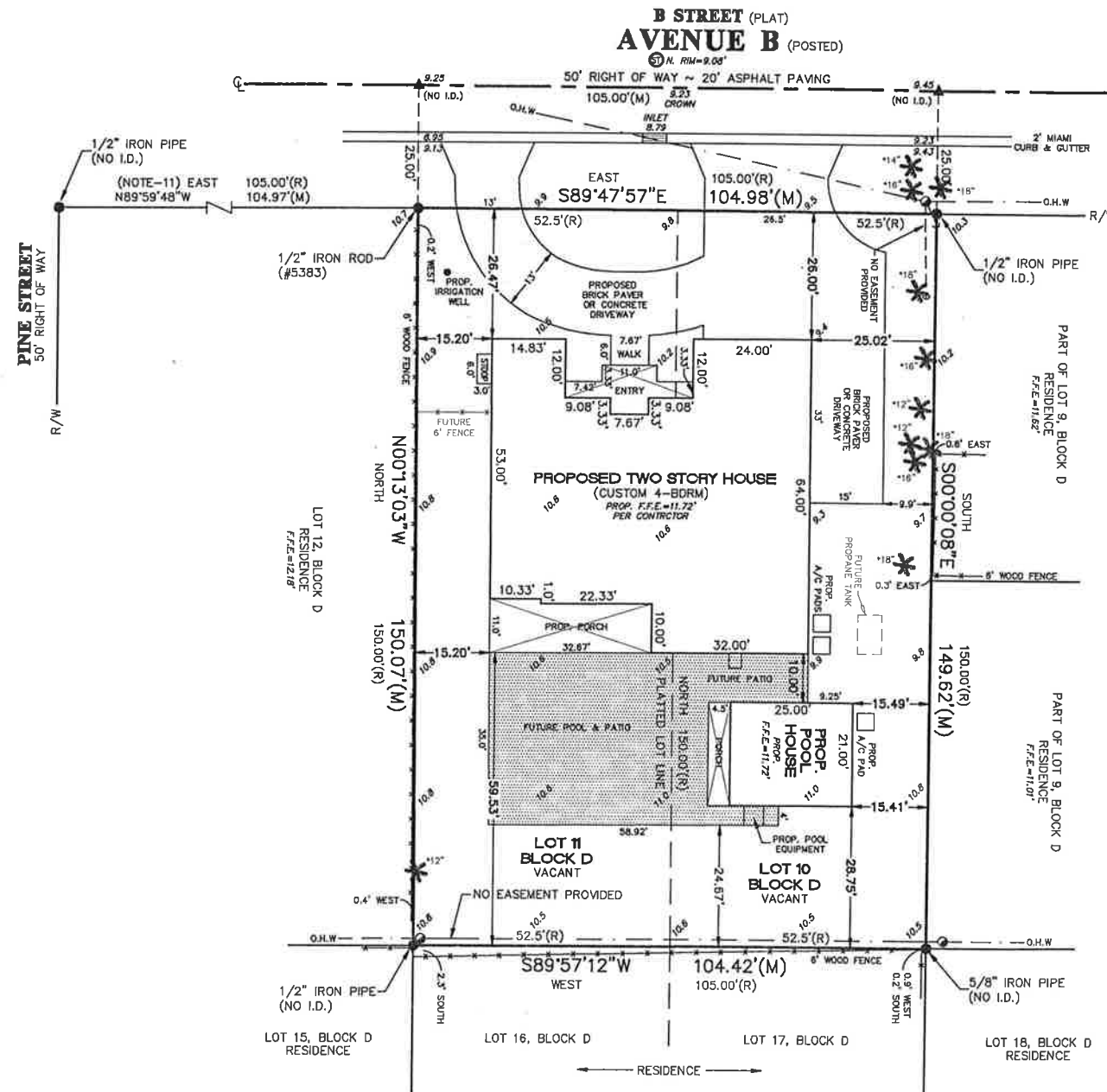
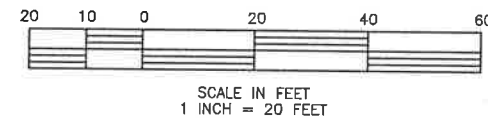
-  = PALM TREE  
 = OAK TREE  
 = BANYAN TREE  
 = UNKNOWN TREE  
 \*00" = EXISTING TREES TO REMAIN

Phone (321) 724-2640  
 Fax (321) 851-4879  
 E-MAIL: SMITHSURVEYING@GMAIL.COM

**SMITH**  
 SURVEYING &  
 MAPPING, INC.

1350 MALABAR ROAD S.E., SUITE 1  
 PALM BAY, FLORIDA 32907  
 WEBSITE: SMITHSURVEYING.NET

**MAP OF SURVEY**  
 CERTIFICATE OF AUTHORIZATION L.B. 7426



LOT COVERAGE CALCULATIONS:  
 LOT ±15,689 SQ. FT.  
 PROPOSED TWO STORY HOUSE ±3,970 SQ. FT.  
 PROPOSED TWO STORY HOUSE COVERAGE 25.3%  
 POOL CABANA ±619 SQ. FT.  
 PROPOSED POOL CABANA & TWO STORY HOUSE COVERAGE 29%

PROPERTY ADDRESS: 419 AVENUE B  
 MELBOURNE BEACH, FLORIDA 32951

ACCORDING TO MAP NO. 12009C0804 H, AND  
 12009C0608 H, DATED JANUARY 29, 2021,  
 THIS PROPERTY LIES IN FLOOD ZONE "X".

## CERTIFIED TO: BRYAN CATES

## SURVEYOR'S NOTES:

- LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR ADJOINING DEEDS, RIGHT-OF-WAY, RESERVATION, AGREEMENTS AND/OR EASEMENTS OF RECORD, SUCH INFORMATION, IF DESIRED, SHOULD BE OBTAINED AND CONFIRMED BY OTHERS THROUGH APPROPRIATE TITLE VERIFICATION.
- ADJOINERS SHOWN HAVE NOT BEEN SURVEYED.
- DRAWINGS ARE NOT TO BE RELIED UPON FOR SCALE PURPOSES.
- ALL MEASUREMENTS ARE IN FEET AND DECIMAL PARTS THEREOF AND ARE IN ACCORDANCE WITH THE STANDARDS OF THE UNITED STATES (CHAPTER 317-8.003(1)(b) F.A.C.)
- PURSUANT TO FLORIDA LAW (F.A.C. 317-8.003(1)(b)) THIS SURVEY IS BASED ON A CLOSED TRAVERSE.
- USE ONLY PROPERTY CORNERS FOR CONSTRUCTION OF FENCES AND OTHER IMPROVEMENTS.
- ONLY OPEN AND NOTORIOUS EVIDENCE OF EASEMENTS AND RIGHT-OF-WAYS ARE LOCATED AND SHOWN HEREON. THE SURVEYOR HAS NOT LOCATED ANY UNDERGROUND UTILITIES OR FOUNDATIONS WHICH MAY ENCROACH.
- LEGAL DESCRIPTION AS SHOWN WAS PROVIDED BY CLIENT.
- ELEVATIONS BASED ON 50.00' ASSUMED AT N/A.
- ELEVATIONS BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (PARENT B.M. R-132, ELEVATION 118.122, ±) AND ARE EXPRESSED IN FEET AND DECIMAL THEREOF.
- BEARINGS BASED ON SOUTHERN RIGHT OF WAY LINE OF AVENUE B, S89°57'12" EAST (ASSUMED).
- PLAT PLANS ARE NOT TO BE USED FOR CONSTRUCTION LAYOUT PURPOSES.
- LOT DIMENSIONS AND BEARINGS ARE RECORDED AND MEASURED UNLESS OTHERWISE NOTED.
- SEPTIC TANKS AND WELLS IF SHOWN ARE APPROXIMATE LOCATIONS AND SHOULD BE FIELD VERIFIED BY CONTRACTOR FOR CORRECT POSITION AND SEPARATION.
- NORTH ARROW AS SHOWN DOES NOT REPRESENT TRUE NORTH OR GRID NORTH, IT IS FOR APPROXIMATE POSITION ONLY.
- ALL RIGHT-OF-WAYS, ALLEYS, DIRT ROADS, AND ASPHALT ROADS IF SHOWN ARE "OPEN TO TRAVEL," BOTH BY FOOT AND VEHICLE UNLESS OTHERWISE NOTED BY (CLOSED TO TRAVEL).
- SEPTIC TANKS AS SHOWN ON PLOT PLANS WERE PROVIDED BY CONTRACTOR.
- HORIZONTAL FEATURE ACCURACY: TOPOGRAPHIC LAND FEATURES (SPOTS, VALTS, VALVES, MANHOLES, POWER POLES, DRIVEWAYS, CULVERTS, AND SIMILAR FEATURES) HAVE A HORIZONTAL FEATURE ACCURACY OF PLUS OR MINUS 0.25 FEET.
- VERTICAL FEATURE ACCURACY: ELEVATIONS ON THE SITE (GROUND, PAVEMENT, INLETS, ETC.) HAVE A VERTICAL FEATURE ACCURACY OF PLUS OR MINUS 0.10 FEET.
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## LEGEND:

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 P.C.P. = PERMANENT CONTROL POINT  
 P.O.C. = POINT OF COMMENCEMENT  
 P.O.B. = POINT OF BEGINNING  
 P.T. = POINT OF TANGENCY  
 P.A.M. = PERMANENT SURVEY MONUMENT  
 R.P. = RADIAL POINT  
 P.C. = POINT OF CURVATURE  
 P.C.C. = POINT OF COMPOUND CURVATURE  
 P.A.C. = POINT OF REVERSE CURVATURE  
 Δ = DELTA (CENTRAL ANGLE)  
 R = RADIUS  
 Δ = ANGLE  
 E = EASEMENT  
 F.P.L. = FENCE LINE  
 W.F. = WOOD FRAME  
 M = MEASURED  
 C.A.P. = CALCULATED P.A. = POINT-OF-WAY  
 D = DEED  
 NO I.D. = NO IDENTIFICATION  
 C.B.E. = CONCRETE BLOCK & STUCCO  
 F.P.A.L. = FLORIDA POWER AND LIGHT  
 RES. = RESIDENCE  
 PROP. = PROPOSED  
 TX = TRANSFORMER  
 CONC. = CONCRETE (TYP.) = TYPICAL  
 APPROX. = APPROXIMATE  
 E.O.P. = EDGE OF PAVEMENT  
 T.O.S. = APPROX. TOP OF SLOPE  
 E.O.W. = APPROX. EDGE OF WATER
- S.S.L. = BUILDING SETBACK LINE  
 T.O.B. = APPROX. TOP OF BANK  
 N.T.S. = NOT TO SCALE  
 O/S = OFFSET  
 L.F.E. = LOWEST FLOOR ELEVATION  
 G.F.E. = GARAGE FLOOR ELEVATION  
 F.F.E. = FINISHED FLOOR ELEVATION  
 O.R.B. = OFFICIAL RECORDED BOOK  
 P.B. = PLAT BOOK  
 D.B. = DEED BOOK  
 P.G. = PAGE  
 P.V.E. = POLYMER VULCANIZED  
 C.M.P. = CORRUGATED METAL PIPE  
 R.C.P. = REINFORCED CONCRETE PIPE  
 C.P.A. = CORRUGATED PLASTIC PIPE  
 IN. = INVERT  
 EL. = ELEVATION  
 F.Z.L. = FLOOD ZONE LINE  
 N.A.V.D. = NORTH AMERICAN VERTICAL DATUM  
 N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM  
 C. = CLEANOUT  
 W.M. = WATER METER  
 E. = ELECTRIC METER/HANDHOLE  
 S.S.M. = SANITARY SEWER MANHOLE  
 S.B.M. = SOUTHERN BELL MANHOLE/WORKHOLE  
 T.O.S. = TOP OF SLOPE  
 E.O.W. = EDGE OF WATER  
 C.T.V. = CABLE TELEVISION RISER
- M = GAS VALVE  
 R = RECLAIM WATER METER  
 S = GAS SERVICE  
 W = WATER VALVE IN 2" x 2" CONC.  
 V = WATER VALVE  
 H = FIRE HYDRANT  
 P = POWER POLE  
 L = LIGHT POLE  
 A = SOFT ANCHOR  
 F = FENCE  
 O.W. = OVERHEAD WIRE (O.H.W.)  
 S.T. = APPROXIMATE SEPTIC TANK  
 U.M.R. = UNDER MAIN ROOF  
 W = WELL  
 R.M.F. = IRON MARKER FOUND - SEE DESCRIPTION  
 P.C.P. = 1/2" IRON ROD WITH PLASTIC CAP MARKED "S.A. SMITH LB 7426" SET  
 S.D. = SEE DESCRIPTION  
 4" x 4" CONC. MONUMENT FOUND  
 4" x 4" CONC. MONUMENT MARKED "S.A. SMITH LB 7426" SET  
 W.M. & O.S. FOUND - SEE DESCRIPTION  
 S.M. = SET MAGNETIC NAIL  
 H & TACK SET

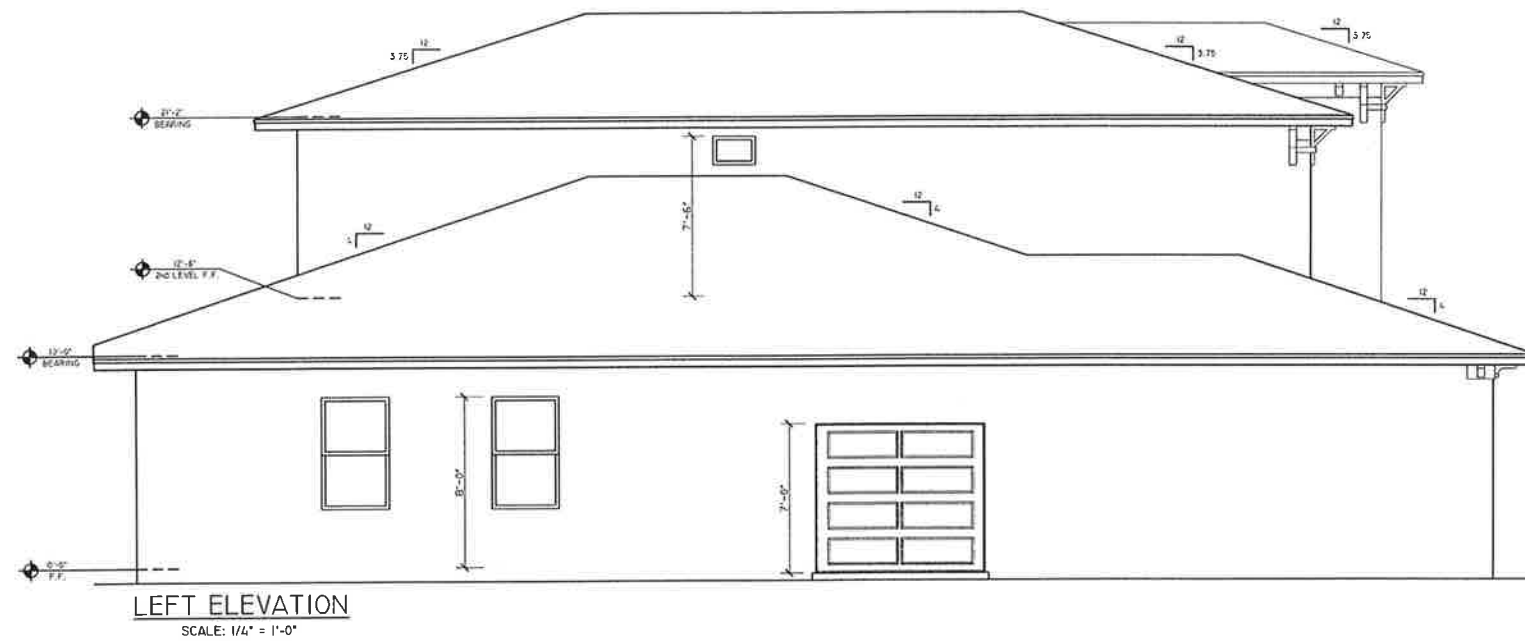
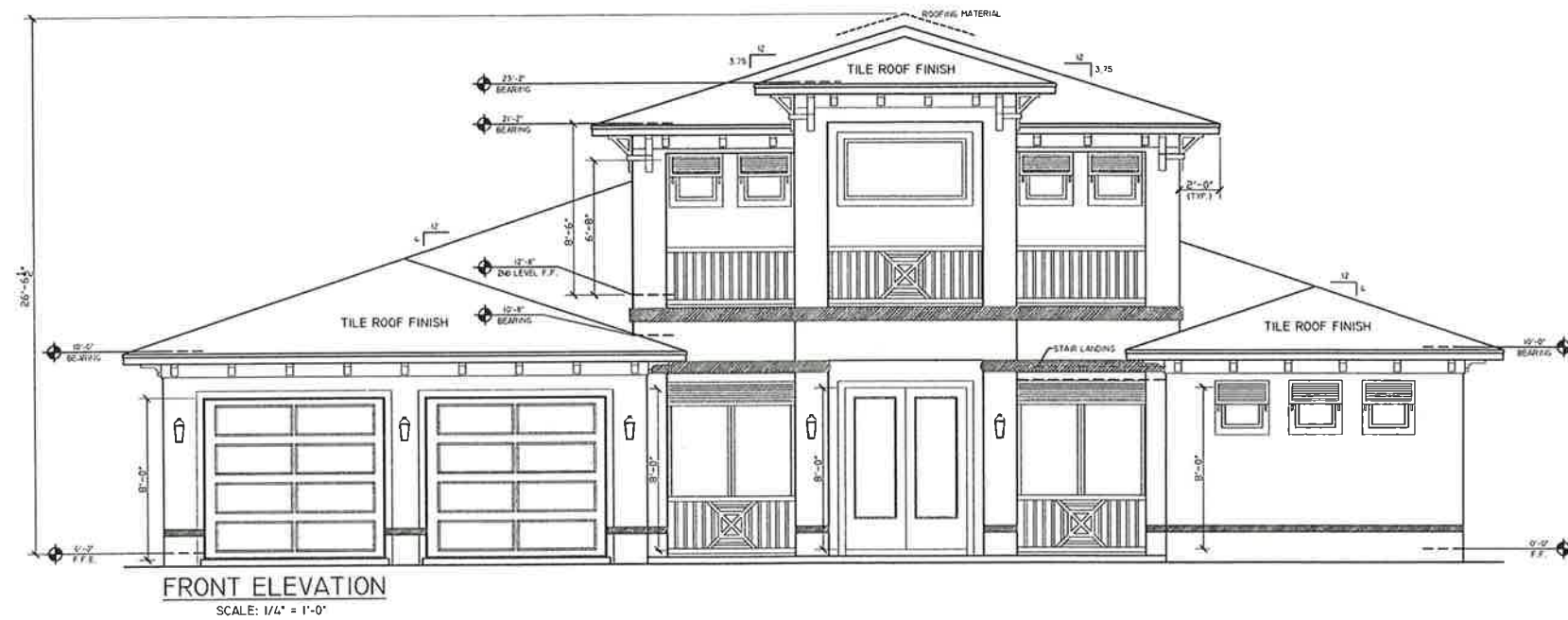
LOTS 10 AND 11, BLOCK D,  
 "GRAVES PLAT OF MELBOURNE BEACH"  
 AS RECORDED IN PLAT BOOK 1, PAGE 38, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA

TYPE	SURVEY DATE	JOB NUMBER	CK. BY
(B) REMISED PLOT PLAN	DECEMBER 1, 2021	21-1669, 1738, 1818, 1819	ANDREW J. SMITH
PLOT PLAN	OCTOBER 18, 2021	21-1627	ANDREW J. SMITH
BOUNDARY/TOPOGRAPHIC SURVEY	AUGUST 11, 2021	21-1127	ANDREW J. SMITH

DRAWN BY: A. TEJADA

SCALE: 1" = 20'

PROFESSIONAL SURVEYOR & MAPPER IN RESPONSIBLE CHARGE  
 ANDREW J. SMITH - FLORIDA CERTIFICATE NO. 4457  
 ANDREW J. SMITH - FLORIDA CERTIFICATE NO. 4457



GENERAL NOTES		DESIGN CRITERIA	
1. THESE DRAWINGS WERE PREPARED WITH THE ASSUMPTION THE CONTRACTOR/OWNER BINDER IS KNOWN, EDEASIBLE OF COMMON CONSTRUCTION PRACTICES. 2. THE CONTRACTOR/OWNER BINDER SHALL REVIEW DRAWINGS FOR ACCURACY AND CLARITY. ANY DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE DESIGNERS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. 3. THE CONSTRUCTION PLAN SHALL BE VERIFIED BY THE CONTRACTOR/OWNER BINDER TO CORRESPOND WITH THE FINAL ENGINEER TRUSS LAYOUT. 4. DIMENSIONS SHALL OVER SCALE.		FULLY ENCLOSED  WIND SPEED 160 MPH  EXPOSURE D  BUILDING CATEGORY TWO (2)	

DESIGN CRITERIA	
FULLY ENCLOSED	
WIND SPEED	160 MPH
EXPOSURE	D
BUILDING CATEGORY	TWO (2)

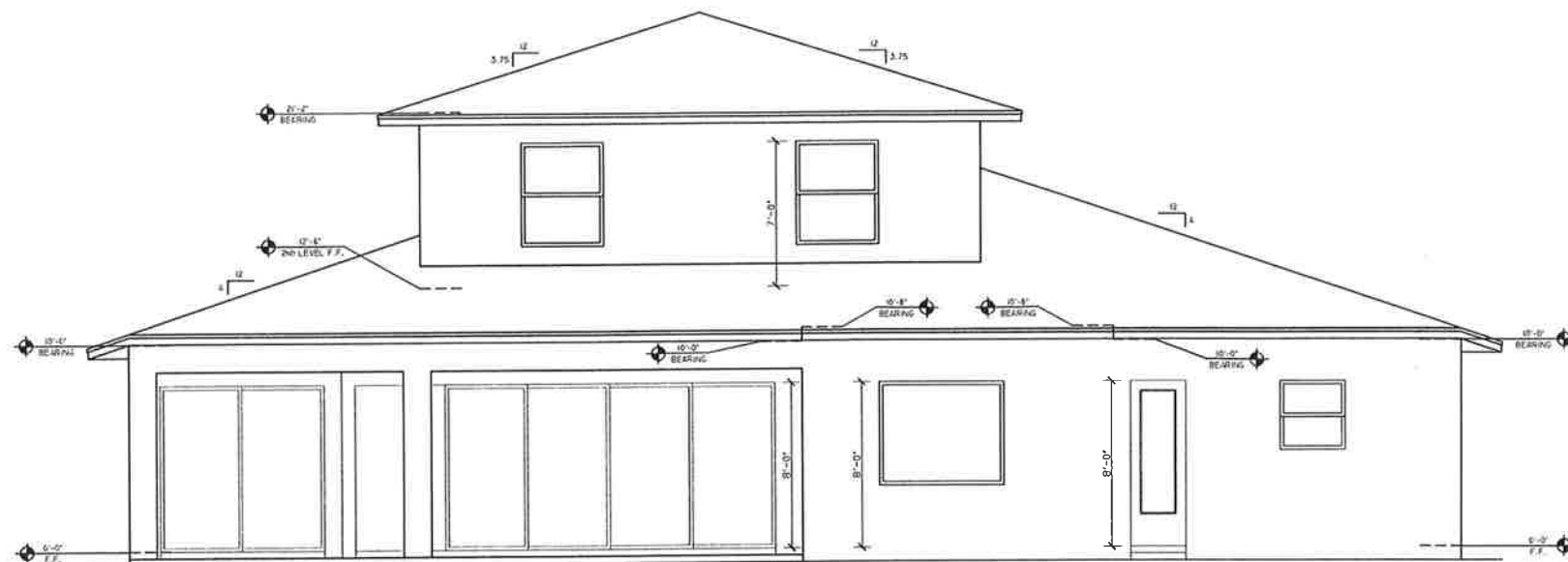
THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY EDWARD F. SHINSKIE, PE ON THE DATE AND/OR TIME STAMP SHOWN USING A DIGITAL SIGNATURE.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPY.

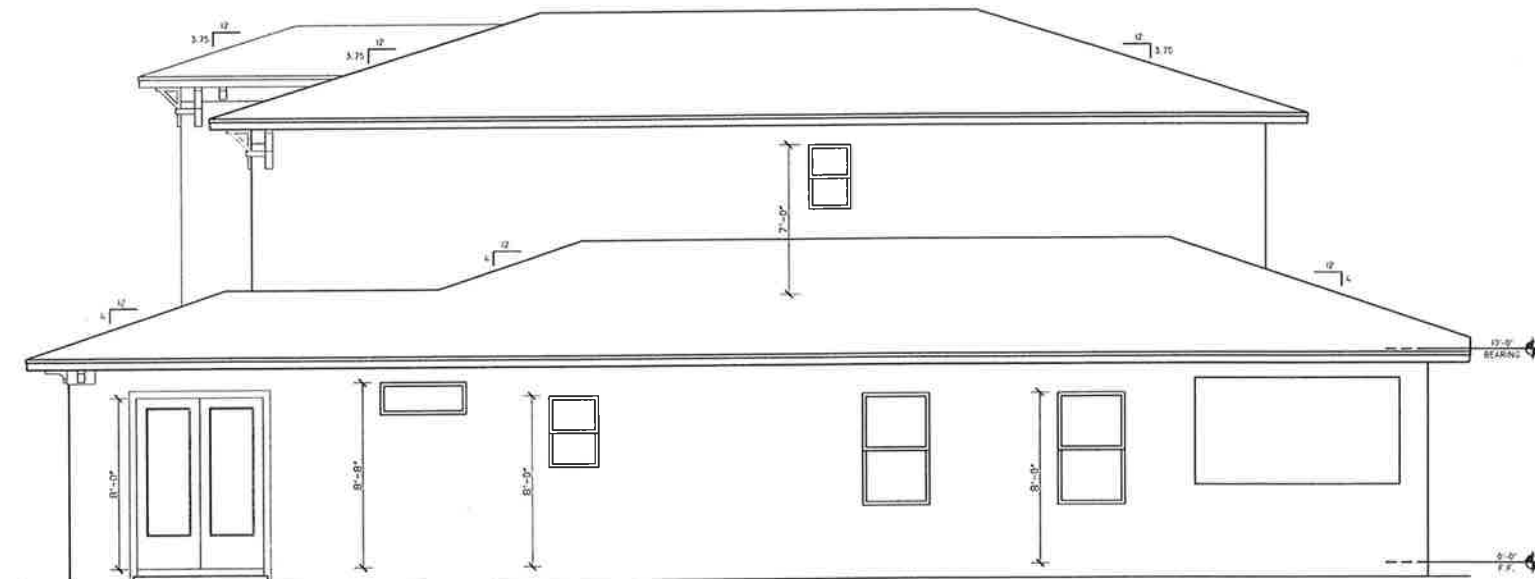
ISSUED: \*\*\*

<

# DOMINO



REAR ELEVATION  
SCALE: 1/4" = 1'-0"



REAR ELEVATION  
SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. THESE DRAWINGS WERE PREPARED WITH THE ASSUMPTION THE CONTRACTOR/OWNER BUILDER IS KNOWLEDGEABLE OF COMMON CONSTRUCTION PRACTICES.
2. THE CONTRACTOR/OWNER BUILDER SHALL REVIEW DRAWINGS FOR CLARITY AND INTERPRETATION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNERS PRIOR TO CONSTRUCTION.
3. THE FOUNDATION PLAN SHALL BE VERIFIED BY THE CONTRACTOR/OWNER BUILDER TO CORRESPOND WITH THE FINAL ENGINEERED TRUSS LAYOUT.
4. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE.

DO NOT SCALE DRAWINGS

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY EDWARD F. SHINSKIE, PE ON THE DATE AND/OR TIME STAMP SHOWN USING A DIGITAL SIGNATURE.

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REVISIONS

NO.	DATE	DESCRIPTION
1	01/15/2018	ISSUED FOR PERMIT

2115 PALM BAY ROAD STE. 6  
PALM BAY, FL 32909  
TEL (321) 724-0740  
FAX (321) 914-4206  
EMAIL: ESHINSKIE@EFL-PR.COM



**EDC**  
ENGINEERING AND DESIGN CONCEPTS, INC.

SFR FOR:  
**CATES, BRYAN**  
419 AVE. B  
MELBOURNE BEACH, FL 32951

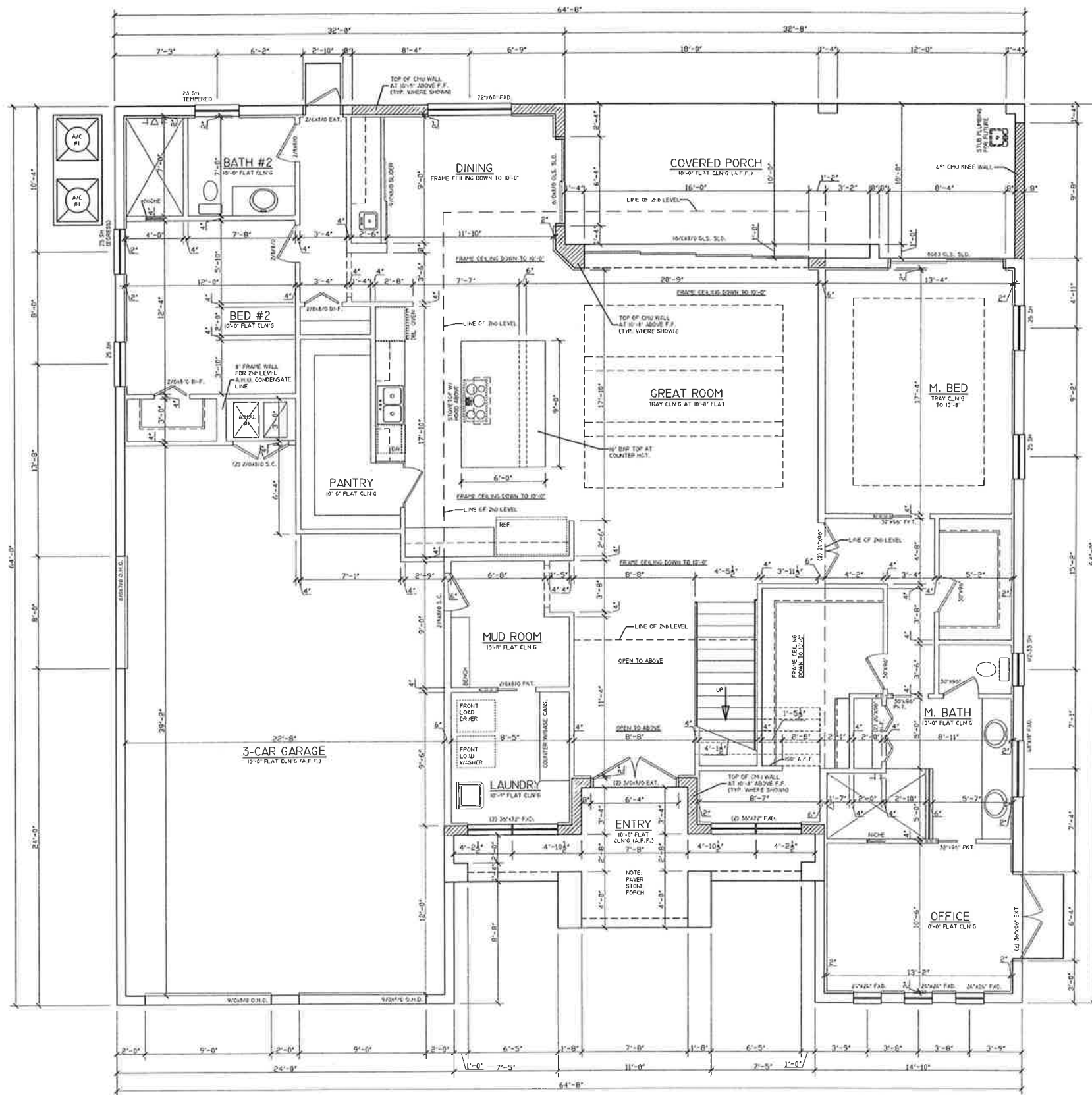


ENGINEER OF RECORD/PE  
EDWARD F. SHINSKIE, PE  
4707 WILD TURKEY ROAD  
MIMS, FLORIDA 32754  
FLORIDA PE# 47515  
PH. 321-863-3223

**A2**

SHEET 2 OF 4  
DRAWN BY:  
DANIEL FRECHETTE





- GENERAL NOTES**
1. THESE DRAWINGS WERE PREPARED WITH THE ASSUMPTION THE CONTRACTOR/OWNER BUILDER IS KNOWLEDGEABLE OF COMMON CONSTRUCTION PRACTICES.
  2. THE CONTRACTOR/OWNER BUILDER SHALL REVIEW DRAWINGS FOR ACCURACY AND INTERPRETATION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNERS PRIOR TO CONSTRUCTION.
  3. THE FOUNDATION PLAN SHALL BE VERIFIED BY THE CONTRACTOR/OWNER BUILDER TO CORRESPOND WITH THE FINAL ENGINEERED TRUSS LAYOUT.
  4. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE.
- DO NOT SCALE DRAWINGS

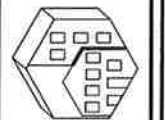
AREA TABULATION (10-22-21)	
1ST LEVEL LIVING	2579 SQ.FT.
2ND LEVEL LIVING	977 SQ.FT.
TOTAL LIVING	3556 SQ.FT.
GARAGE	865 SQ.FT.
ENTRY	148 SQ.FT.
COVERED PORCH	378 SQ.FT.
BALCONY	153 SQ.FT.
TOTAL	5100 SQ.FT.

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY EDWARD F. SHINSKIE, PE ON THE DATE AND/OR TIME STAMP SHOWN USING A DIGITAL SIGNATURE.

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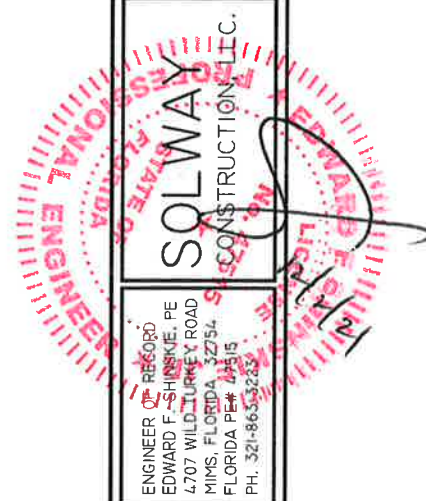
REVISIONS	
1	
2	
3	
4	
5	
6	

2115 PALM BAY ROAD STE. 6  
PALM BAY, FL 32905  
TEL: (321) 724-0740  
FAX: (321) 914-4206  
EMAIL: EFL@EFL.COM



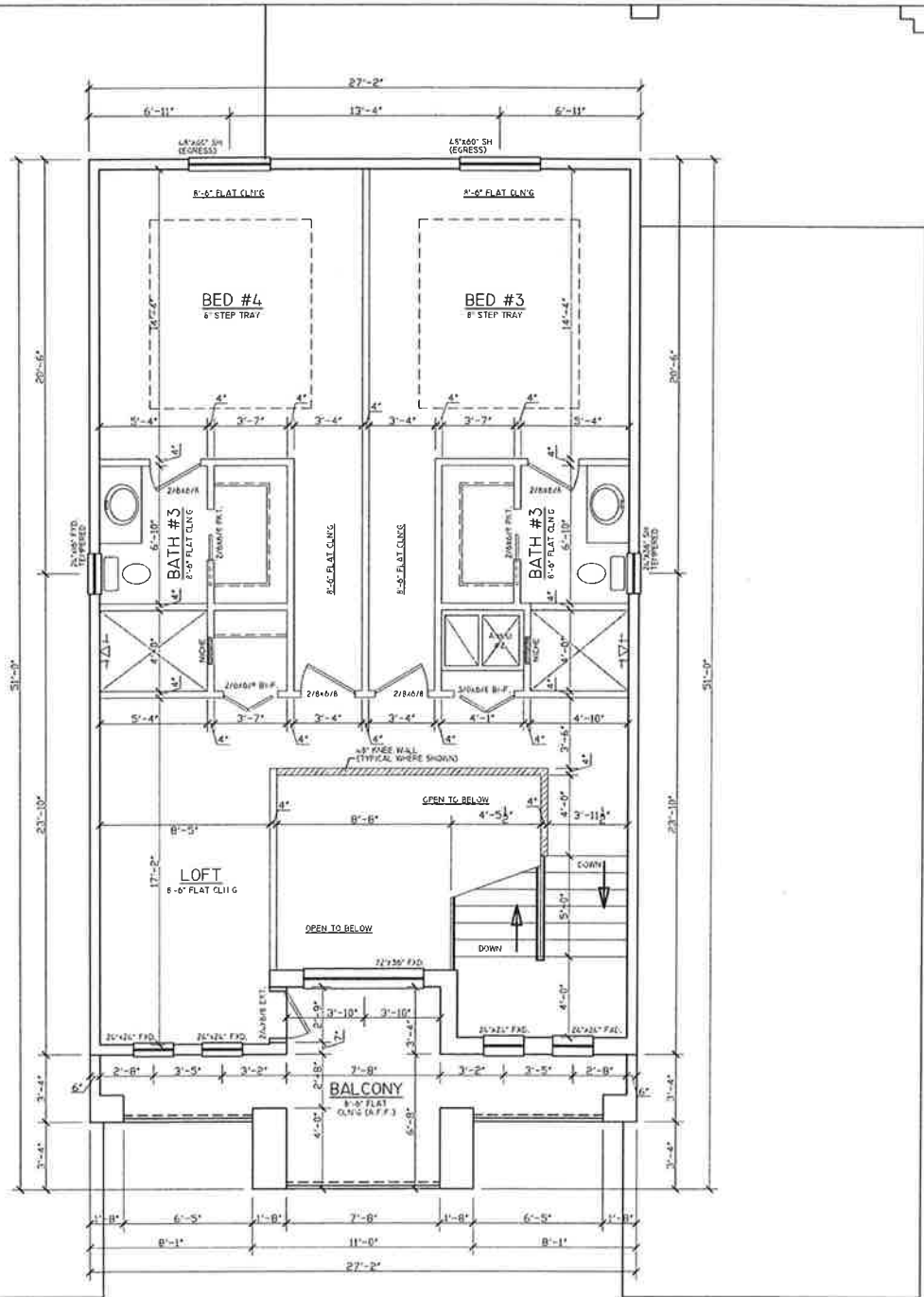
**EDC**  
ENGINEERING AND DESIGN CONCEPTS, INC.

SFR FOR:  
**CATES, BRYAN**  
419 AVE. B  
MELBOURNE BEACH, FL 32951



ENGINEER OF RECORD  
EDWARD F. SHINSKIE, PE  
4707 WILD TURKEY ROAD  
MIMS, FLORIDA 32574  
FLORIDA PE# 12574  
PH: 321-865-3223

**A3**  
SHEET 3 OF 4  
DRAWN BY:  
DANIEL FRECHETTE



2ND LEVEL FLOOR PLAN  
SCALE: 1/4" = 1'-0"

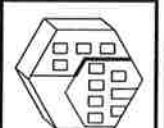
- GENERAL NOTES
1. THESE DRAWINGS WERE PREPARED WITH THE ASSUMPTION THE CONTRACTOR/OWNER BUILDER IS KNOWLEDGEABLE OF COMMON CONSTRUCTION PRACTICES.
  2. THE CONTRACTOR/OWNER BUILDER SHALL REVIEW DRAWINGS FOR ACCURACY AND INTERPRETATION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNERS PRIOR TO CONSTRUCTION.
  3. THE FOUNDATION PLAN SHALL BE VERIFIED BY THE CONTRACTOR/OWNER BUILDER TO CORRESPOND WITH THE FINAL ENGINEERED TRUSS LAYOUT.
  4. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE.
- DO NOT SCALE DRAWINGS

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY EDWARD F. SHINSKIE, PE ON THE DATE AND/OR TIME STAMP SHOWN USING A DIGITAL SIGNATURE.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPY.

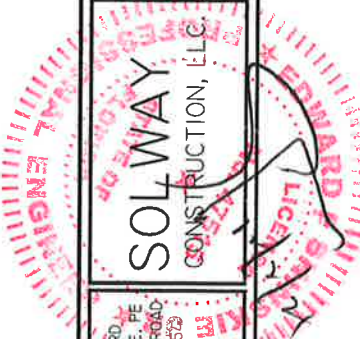
REVISIONS	
1	***
2	***
3	***

2115 PALM BAY ROAD STE. 6  
PALM BAY, FL 32909  
TEL (321) 724-0740  
FAX (321) 914-4206  
EMAIL: DPRECHETTE@FLORIDAPE.com



**EDC**  
ENGINEERING AND DESIGN CONCEPTS, INC.

SFR FOR:  
**CATES, BRYAN**  
419 AVE. B  
MELBOURNE BEACH, FL 32951



**SOLWAY**  
CONSTRUCTION, LLC

ENGINEER OF RECORD  
EDWARD F. SHINSKIE, PE  
4707 WILD TURKEY ROAD  
MIMS, FLORIDA 32753  
FLORIDA PE# 47515  
PH. 321-863-3221

**A4**  
SHEET 4 OF 4  
DRAWN BY:  
DANIEL FRECHETTE



# TOWN OF MELBOURNE BEACH

BREVARD COUNTY'S OLDEST BEACH COMMUNITY ESTABLISHED 1883

## Site Plan Review

### Applicable Codes

Town of Melbourne Beach Land Development Code  
2020 Florida Building Code

**Date:** December 16, 2021  
**Owner:** GW PROPERTIES & RENOVATION OF BREVARD INC  
**Owner Address:** 203 E NEW HAVEN AVE MELBOURNE FL  
**Site Address:** 407 THIRD AVE MELBOURNE BEACH FL  
**Parcel ID:** 28-38-07-FY-19-8  
**Zoning:** 3RS

**Proposed Project:** New Single Family Dwelling. Drainage will be reviewed by Town Engineer.

**References:** Town of Melbourne Beach Code of Ordinances: 7A-33, Ordinance 2019-06

**Request:** Approval by Planning and Zoning Board, Town Commission for construction of a new single-family dwelling.

**Staff Review:** The property lies in Zoning District 3RS

- 1). Project is a new single-family dwelling as a principle use.  
The lot is non-conforming and has a current structure to be demolished to build a new primary dwelling.
- 2). The Building Lot Zoning District requirements of min. lot area, width and depth.  
Lot area is 9,000 sq. ft. min. 10,000 sq. ft. The lot is an existing non-conforming lot.  
Lot width is 60 ft. min. 90 ft. This is an existing non-conforming lot.  
Lot depth is 150 ft. min. 100 ft.
- 3). Lot coverage has a maximum of 30% for principle structure .  
Lot coverage per plan is 23.8 % Footprint of Primary Structure is 2,148 sq. ft.  
Max allowed for Primary Structure is 2,700 sq. ft. for Lot Area of 9,000 sq. ft.  
Minimum pervious area per lot is 30%. Pervious area is 62.1%
- 4). Structure maximum height for zoning district is 28 ft.  
The proposed height provided is 25' 7 ½".  
Flood Zone X

**5). Zoning District Setback requirements**

**Proposed Primary Structure Front Setback 25 ft. (min. 25 ft.)**

**Proposed Primary Structure West Side Setback 15 ft. (min. 15 ft.)**

**Proposed Primary Structure East Side Setback 15 ft. (min. 15 ft.)**

**Proposed Primary Structure Rear Setback 48.9 ft. (min. 25 ft.)**

**6). Sediment and Erosion control measures shall be met and approved by the Building Official in accordance with the Town of Melbourne Beach Code of Ordinances (27-28) and Florida Building Code (3307.1).**

**7). On-site Storm water Retention Control measures shall be met and approved by the Building Official in accordance with the Town of Melbourne Beach Code of Ordinances (27-28) and the Florida Building Code (3307.1). Town Engineer will submit a review of drainage per Ordinance 2019-06. Town Engineer will be required for final inspection before a Certificate of Occupancy may be issued as per Ordinance 2019-06. Minimum Landscaping Standards shall be met.**

**Based on the above review, I find the proposed site plan for the referenced property is in compliance with The Town of Melbourne Beach Code of Ordinances.**



**John Stone  
Building Official**



**407 THIRD**

<b>IMPERVIOUS</b>		<b>PERVIOUS</b>	
Primary Structure	2,148	Shed space	
Pool	700	Open areas	
Decks		Other	
Driveway	558		
Accessory Bldg			
Concrete areas		<b>TOTAL PERVIOUS</b>	<b>5594</b>
Pavers areas			
Other			
<b>TOTAL IMPERVIOUS</b>	<b>3406</b>		
		<b>Lot Total Sq Footage</b>	<b>9,000</b>
		<b>TOTAL % PERVIOUS</b>	<b>0.621556</b>



**B.S.E. CONSULTANTS, INC.**  
 Consulting ~ Engineering ~ Land Surveying

Scott M. Glaubitz, P.E., P.L.S.  
 President

Hassan Kamal, P.E.  
 Vice President

December 13, 2021

**Via E-mail**

Ms. Beth Crowell  
 Town of Melbourne Beach  
 507 Ocean Avenue  
 Melbourne Beach, FL 32951  
 E-mail address: [building@melbournebeachfl.org](mailto:building@melbournebeachfl.org)

**Re: Grading & Drainage Plan Review – 407 3<sup>rd</sup> Avenue  
 B.S.E. File #11440.100.13**

Dear Beth:

We have completed our review and find that the submittal meets Town Code. Trauger Consulting Engineers are repeat engineers for submittal, and they do a great job at meeting Town Code.

Should you have any questions, feel free to contact me.

Very truly yours,

***Scott M. Glaubitz, P.E., P.L.S.***

Scott M. Glaubitz, P.E., P.L.S.  
 President  
 B.S.E. Consultants, Inc.

SMG/rc  
 11440.100.13\_21-s5237.dec



# STORMWATER CALCULATIONS

SUBMITTED TO:  
Town of Melbourne Beach

REVISION DATE: 12-3-21



Erin Trauger, P.E.  
FL License No. 66576

407 3<sup>rd</sup> Avenue  
Residence

DEC 14 12:21 PM '21

## ***I. Introduction***

The goal of this report is to detail requirements of compliance of the stormwater treatment system for the proposed improvements. The proposed single family residence improvements include a new single-family house located at 407 3<sup>rd</sup> Avenue in the Town of Melbourne Beach, Florida. The Brevard County Property Appraiser Aerial and Details have been included for reference.

## ***II. Existing Conditions***

There is currently a house on this lot but currently no extensive storm treatment. There is a small low area in the backyard of the current house but the main improvement and driveway appear to drain to Third Avenue.

## ***III. Proposed Conditions***

The proposed site improvements involve the construction of the new single family house with porch and pool as well as a horseshoe shaped treatment swales to provide for stormwater treatment required on the lot. Stormwater runoff created by the impervious surface for this project will be collected on-site via overland flow and directed to two dry retention swales to treat the stormwater runoff. The 10 year 24 hour storm event was evaluated using the combined volume of the swales to verify retainage of the 8" storm event.

## ***IV. Required Stormwater Calculations***

A complete summary report has been provided in the attachments to include volume calculations for the proposed stormwater system, ICPR stormwater modeling information for the 10 year 24 hour storm event and a MODRET recovery analysis to ensure the Town of Melbourne Beach stormwater requirements are met. Also included in attached calculations are the soils reports provided by KSM identifying the season high water table and the percolation test results for conditions at the property. The following considerations were included in the evaluation.

- 8" of runoff from a 10-yr/24 hour storm event was evaluated for the 0.21 acre drainage basin at 407 Third Ave (including the proposed improvements) using ICPR and zero discharge is proposed from the storm collection ponds for this storm event.
- Canaveral-Palm Beach-Urban land complex has been determined to be the soils mapped according to the Soils Survey Map of Brevard County which is reflected in the weighted average CN value using A soil values for grass.

- The Season High Water Table information is provided in the table below and the soils report completed by KSM Engineering and Testing is provided in the attachments for review.

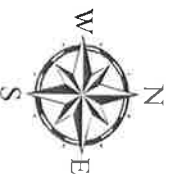
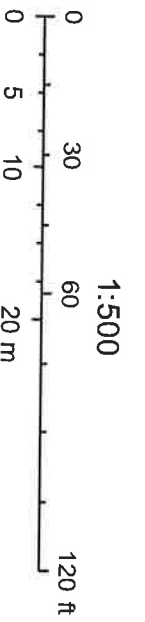
Boring#	Natural Ground	Existing Ground Water Elevation	Estimated Wet Season Ground Water Table
P-1	8.3	4.5	5.6

- The peak stage of the storm ponds remains below the top of bank.
- The pond area is proposed to include removal of the organic build up under the ponds such that the horizontal and vertical percolation rate of 30 feet per day is maintained. Based on the soils report these high percolations rates are in place and therefore the pond volume recovery will be less than 72 hours for the 8 inch storm event.

## V. *Summary*

As presented in the details above it has been determined that the proposed dry retention stormwater treatment system satisfies the design requirements of the Town of Melbourne Beach for the 10 year 24 hour-8 inch storm event.

## **LOCATION INFORMATION**



BCPAO maps and/or map applications are maintained for assessment and illustrative purposes only and do not represent surveys, plats, or any other legal instrument. Likewise, measurement and location tools are for assessment and illustrative purposes only and do not necessarily reflect real-world conditions. Due to the nature of Geographic Information Systems (GIS) and cadastral mapping, map layers may not precisely align and may not represent precise location, shape, and/or legal boundaries. Only a Florida-licensed surveyor can determine legally-relevant property boundaries, elevation, distance, area, and/or location in Florida.



# Brevard County Property Appraiser

Titusville • Viera • Melbourne • Palm Bay

Phone: (321) 264-6700

<https://www.bcpao.us>

## PROPERTY DETAILS

Account	2847472
Owners	GW PROPERTIES & RENOVATION OF BREVARD INC
Mailing Address	203 E NEW HAVEN AVE MELBOURNE FL 32901
Site Address	407 THIRD AVE MELBOURNE BEACH FL 32951
Parcel ID	28-38-07-FY-19-8
Property Use	0110 - SINGLE FAMILY RESIDENCE
Exemptions	NONE
Taxing District	34X0 - MELBOURNE BEACH
Total Acres	0.21
Subdivision	WILCOX MELBOURNE BEACH
Site Code	0001 - NO OTHER CODE APPL.
Plat Book/Page	0001/0058
Land Description	WILCOX MELBOURNE BEACH E 25 FT OF LOT 8 & W 35 FT OF LOT 9 BLK 19



## VALUE SUMMARY

Category	2021	2020	2019
Market Value	\$220,950	\$199,830	\$186,000
Agricultural Land Value	\$0	\$0	\$0
Assessed Value Non-School	\$219,810	\$199,830	\$186,000
Assessed Value School	\$220,950	\$199,830	\$186,000
Homestead Exemption	\$0	\$0	\$0
Additional Homestead	\$0	\$0	\$0
Other Exemptions	\$0	\$0	\$0
Taxable Value Non-School	\$219,810	\$199,830	\$186,000
Taxable Value School	\$220,950	\$199,830	\$186,000

## SALES/TRANSFERS

Date	Price	Type	Instrument
06/11/2021	\$350,000	WD	9155/2436
02/16/2017	\$200,000	WD	7822/1899
01/25/2016	--	QC	7535/2940
01/01/1997	--	QC	3651/2353
02/01/1994	--	QC	3371/3271
08/01/1987	--	QC	2832/0737
09/01/1975	\$26,000	--	1561/0295

## BUILDINGS

### PROPERTY DATA CARD #1

**Building Use:** 0110 - SINGLE FAMILY RESIDENCE

Materials	Details	
Exterior Wall:	PAINTED EXTERIOR	Year Built 1958
Frame:	MASNRYCONC	Story Height 8
Roof:	ASPH/ASB SHNGL	Floors 1
Roof Structure:	HIP/GABLE	Residential Units 1
		Commercial Units 0
Sub-Areas	Extra Features	
Base Area (1st)	912	Covered Patio 160
Carport	216	



65

Utility Room	60
Total Base Area	912
Total Sub Area	1,188

# National Flood Hazard Layer FIRMette

80°34'W 28°41'0"N



## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

**SPECIAL FLOOD HAZARD AREAS**

- Without Base Flood Elevation (BFE)  
Zone A, V, X, Y, Z
- With BFE or Depth  
Zone AE, AH, X, Y, Z
- Regulatory Floodway

66

**OTHER AREAS OF FLOOD HAZARD**

- 0.2% Annual Chance Flood Hazard, Area of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile (Zone D)
- Future Conditions 1% Annual Chance Flood Hazard (Zone X)
- Area with Reduced Flood Risk due to Levee, See Notes, (Zone X)
- Area with Flood Risk due to Levee (Zone D)

**OTHER AREAS**

- NO SCREEN
- Area of Minimal Flood Hazard (Zone X)
- Effective LOMRs
- Area of Undetermined Flood Hazard (Zone X)

**GENERAL STRUCTURES**

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

**OTHER FEATURES**

- Cross Sections with 1% Annual Chance Water Surface Elevation
- Coastal Transect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Feature

**MAP PANELS**

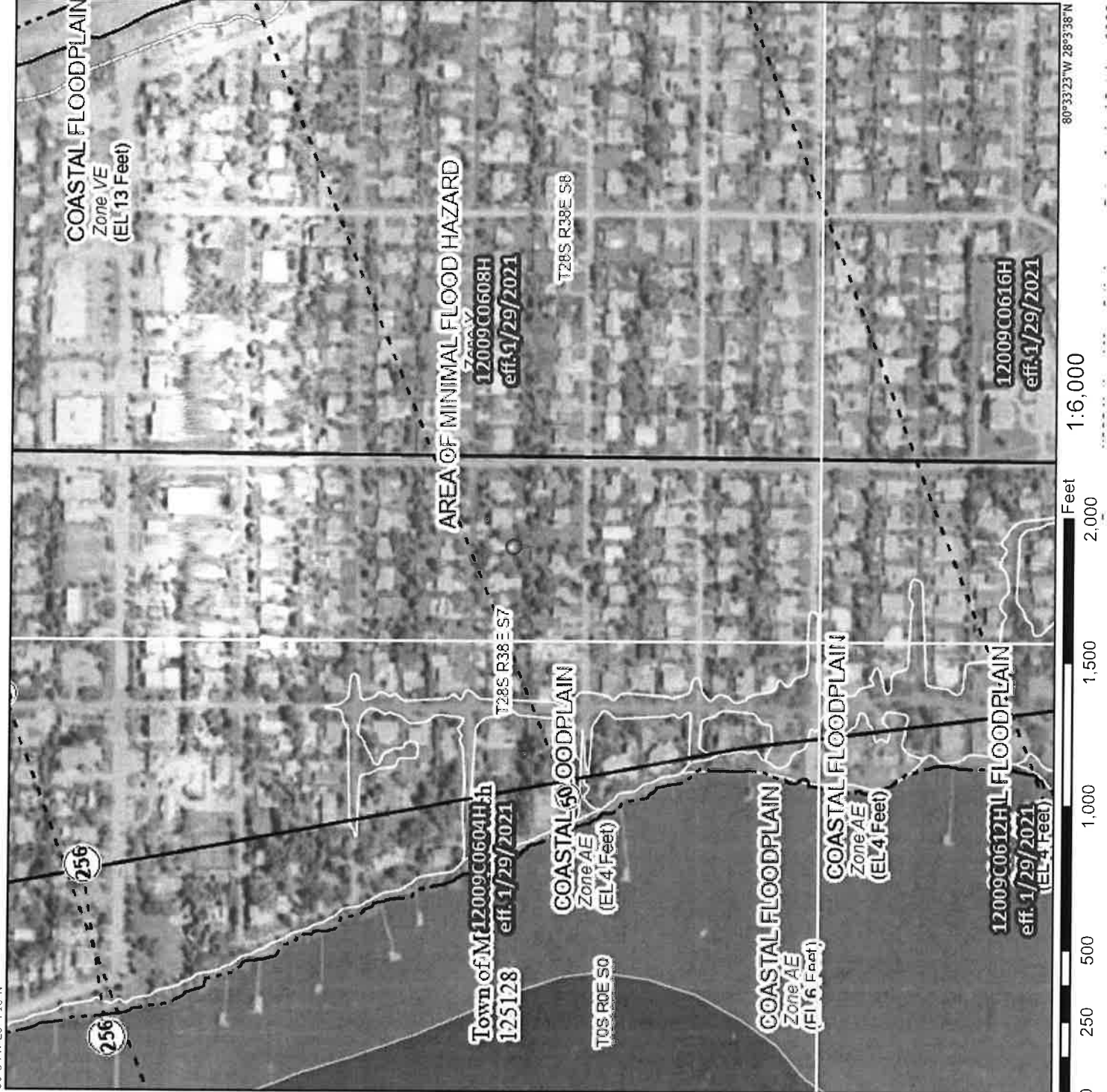
- Digital Data Available
- No Digital Data Available
- Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 12/3/2021 at 11:31 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



## **DATA AND CALCULATIONS**

## STORMWATER CALCULATIONS

### Post-Development Drainage Basin Data: Type A Soils

Cover Type	Area (acres)	CN Value
Impervious (See Note 1)	0.08	98
Pervious	0.13	39
Total Area	0.21	62

**Note 1 - Impervious area proposed includes 3010 sf with a stormwater design to provide for a future impervious area of 500 sf**

**Stage/Storage Volume of Dry Retention Pond:**

Elevation (Feet)	Area (Sq. Ft.)	Avg. Area (Sq. Ft.)	Volume (Cu. Ft.)	Sum. Volume (Cu. Ft.)
8.00	3,328		2,373	2,373
7.00	1,417	2,373	0	0

Nodes

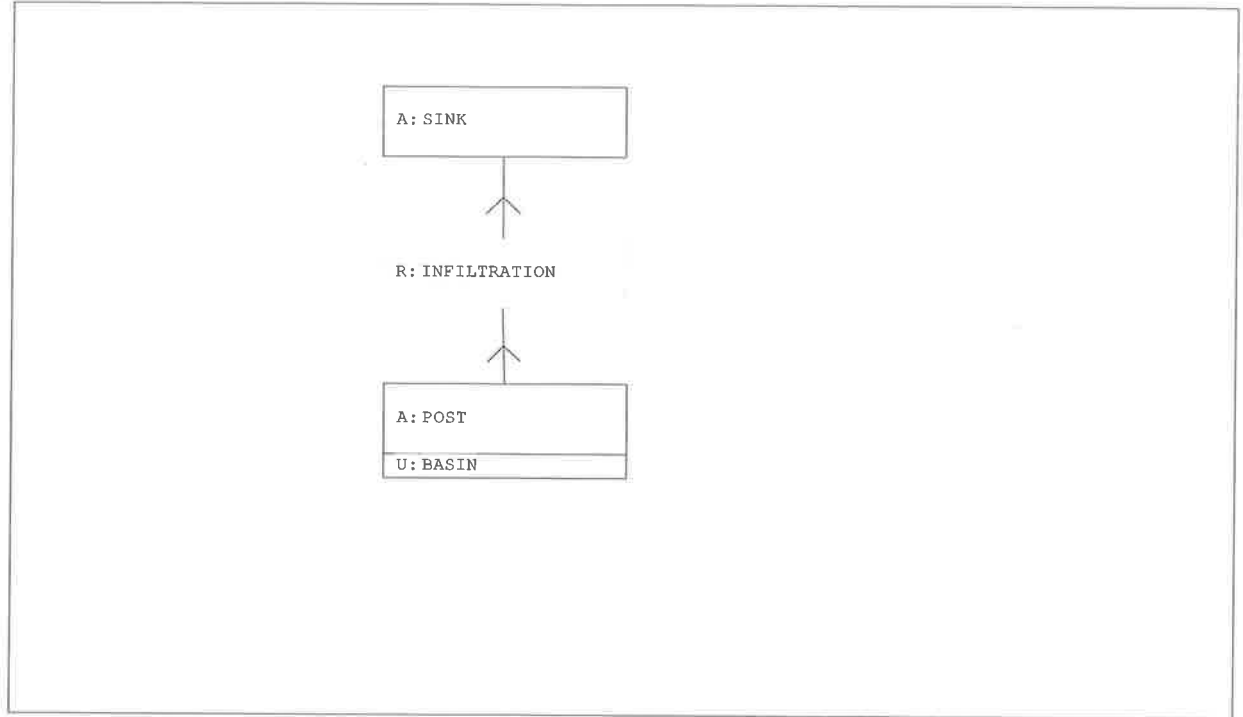
A Stage/Area  
V Stage/Volume  
T Time/Stage  
M Manhole

Basins

O Overland Flow  
U SCS Unit CN  
S SBUH CN  
Y SCS Unit GA  
Z SBUH GA

Links

P Pipe  
W Weir  
C Channel  
D Drop Structure  
B Bridge  
R Rating Curve  
H Breach  
E Percolation  
F Filter  
X Exfil Trench



## POST DEVELOPMENT 10 YEAR 24 HOUR

Name	Group	Simulation	Max Time Stage hrs	Max Stage ft	Warning Stage ft	Max Delta Stage ft	Max Surf Area ft2	Max Time Inflow hrs	Max Inflow cfs	Max Time Outflow hrs
POST	BASE	10 YR	13.53	7.65	8.00	0.0050	2641	12.08	0.56	13.53
SINK	BASE	10 YR	29.99	5.86	7.00	0.0004	9148	13.53	0.07	0.00

## ==== Basins

Name: BASIN  
Group: BASE

Node: POST                      Status: Onsite  
Type: SCS Unit Hydrograph CN

Unit Hydrograph: Uh323                      Peaking Factor: 323.0  
Rainfall File:                      Storm Duration(hrs): 0.00  
Rainfall Amount(in): 0.000                      Time of Conc(min): 10.00  
Area(ac): 0.210                      Time Shift(hrs): 0.00  
Curve Number: 62.00                      Max Allowable Q(cfs): 999999.000  
DCIA(%): 0.00

## ==== Nodes

Name: POST  
Group: BASE  
Type: Stage/Area

Base Flow(cfs): 0.000

Init Stage(ft): 7.000  
Warn Stage(ft): 8.000

Stage(ft)	Area(ac)
7.000	0.0320
8.000	0.0760

Name: SINK  
Group: BASE  
Type: Stage/Area

Base Flow(cfs): 0.000

Init Stage(ft): 5.600  
Warn Stage(ft): 7.000

Stage(ft)	Area(ac)
5.600	0.2100
7.000	0.2100

## ==== Operating Tables

Name: INFILTRATION                      Group: BASE  
Type: Rating Curve  
Function: US Stage vs. Discharge

US Stage(ft)	Discharge(cfs)
7.000	0.01
7.400	0.02
7.840	0.10

## ==== Rating Curves

Name: INFILTRATION  
Group: BASE

From Node: POST  
To Node: SINK

Count: 1  
Flow: Both

TABLE	ELEV ON(ft)	ELEV OFF(ft)
#1: INFILTRATION	0.000	0.000
#2:	0.000	0.000
#3:	0.000	0.000
#4:	0.000	0.000

## ==== Hydrology Simulations

Name: 10 YR 24 HR  
Filename: E:\ICPR\10 YR 24 HR.R32

Override Defaults: Yes  
Storm Duration(hrs): 24.00  
Rainfall File: Flmod  
Rainfall Amount(in): 8.00

Time(hrs)                      Print Inc(min)

POST DEVELOPMENT 10 YEAR 24 HOUR

30.000 5.00

## ==== Routing Simulations

Name: 10 YR Hydrology Sim: 10 YR 24 HR  
Filename: E:\ICPR\10 YR.I32

Execute: Yes Restart: No Patch: No  
Alternative: No

Max Delta Z(ft): 1.00 Delta Z Factor: 0.00500  
Time Step Optimizer: 10.000  
Start Time(hrs): 0.000 End Time(hrs): 30.00  
Min Calc Time(sec): 0.5000 Max Calc Time(sec): 60.0000  
Boundary Stages: Boundary Flows:

Time(hrs)	Print Inc(min)
-----------	----------------

30.000	15.000
--------	--------

Group	Run
-------	-----

BASE	Yes
------	-----



# MODRET

## SUMMARY OF UNSATURATED & SATURATED INPUT PARAMETERS

**PROJECT NAME : 407 3rd Ave**  
**POLLUTION VOLUME RUNOFF DATA USED**  
**UNSATURATED ANALYSIS EXCLUDED**

Pond Bottom Area	1,417.00 ft <sup>2</sup>
Pond Volume between Bottom & DHWL	2,373.00 ft <sup>3</sup>
Pond Length to Width Ratio (L/W)	5.00
Elevation of Effective Aquifer Base	0.00 ft
Elevation of Seasonal High Groundwater Table	5.60 ft
Elevation of Starting Water Level	7.00 ft
Elevation of Pond Bottom	7.00 ft
Design High Water Level Elevation	8.00 ft
Avg. Effective Storage Coefficient of Soil for Unsaturated Analysis	0.08
Unsaturated Vertical Hydraulic Conductivity	30.00 ft/d
Factor of Safety	2.00
Saturated Horizontal Hydraulic Conductivity	30.00 ft/d
Avg. Effective Storage Coefficient of Soil for Saturated Analysis	0.08
Avg. Effective Storage Coefficient of Pond/Exfiltration Trench	1.00

### Hydraulic Control Features:

#### Groundwater Control Features - Y/N

Distance to Edge of Pond

Elevation of Water Level

#### Impervious Barrier - Y/N

Elevation of Barrier Bottom

Top	Bottom	Left	Right
N	N	N	N
0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00

N	N	N	N
0.00	0.00	0.00	0.00

# MODRET

## TIME - RUNOFF INPUT DATA

**PROJECT NAME: 407 3RD AVE**

<b>STRESS PERIOD NUMBER</b>	<b>INCREMENT OF TIME (hrs)</b>	<b>VOLUME OF RUNOFF (ft<sup>3</sup>)</b>
Unsat	0.00	0.00
1	1.00	2,373.00
2	8.88	0.00
3	8.88	0.00
4	8.88	0.00
5	8.88	0.00
6	8.88	0.00
7	8.88	0.00
8	8.88	0.00
9	8.88	0.00

**MODRET****SUMMARY OF RESULTS****PROJECT NAME : 407 3rd Ave**

<b>CUMULATIVE TIME (hrs)</b>	<b>WATER ELEVATION (feet)</b>	<b>INSTANTANEOUS INFILTRATION RATE (cfs)</b>	<b>AVERAGE INFILTRATION RATE (cfs)</b>	<b>CUMULATIVE OVERFLOW (ft<sup>3</sup>)</b>
00.00 - 0.00	5.600	0.000 *		
			0.00000	
0.00	5.600	0.11410		
			0.10643	
1.00	7.839	0.09877		0.00
			0.03075	
9.88	7.424	0.02426		0.00
			0.01778	
18.75	7.185	0.01524		0.00
			0.01270	
27.63	7.014	0.01129		0.00
			0.00988	
28.57	7.000	0.00897		0.00
			0.00805	
45.38	6.773	0.00740		0.00
			0.00676	
54.25	6.682	0.00627		0.00
			0.00578	
63.13	6.604	0.00540		0.00
			0.00503	
72.00	6.536			0.00

Maximum Water Elevation: 7.839 feet @ 1.00 hours

Recovery @ 28.569 hours

\* Time increment when there is no runoff

Maximum Infiltration Rate: 3.875 ft/day

## **SOILS REPORT AND MAP INFORMATION**

77

Headquarters  
11345 U.S. Highway 1  
Sebastian, FL. 32958  
Orlando  
723 Progress Way  
Sanford, FL. 32771



Mailing  
P.O. Box 78-1377  
Sebastian, FL. 32978  
Phone: 772-589-0712  
C.A. # 5693  
KSMengineering.net

Rev: June 21, 2021  
June 10, 2021

Corey Runte  
605 Hibiscus Trail  
Melbourne Beach, FL 32951

**Re: 407 Third Avenue  
Melbourne Beach, Florida  
KSM Project #: 214020-b&p**

Dear Mr. Runte:

As requested, KSM Engineering & Testing has performed a subsurface investigation at the above referenced site. The data gathered during the investigation, together with our geotechnical related opinions, are included in this report.

#### Site Description:

At the time of drilling, the site was developed with an existing structure with light surface vegetation (grass) and a few oak and palm trees.

#### Project Description:

It is our understanding that the existing structure will be demolished and the site will be cleared. A two-story, single-family residential structure and swimming pool are planned for the site. Although our office was not provided with detailed structural loads or a foundation plan, for our geotechnical analysis, we have assumed the maximum wall loading conditions will be about 2,500 pounds per linear foot along the wall foundation. Due to the preliminary nature of this project, the structural engineer should review our assumed loads and notify our office if the design structural loads exceed our assumptions.

We estimate that approximately 1 foot of structural fill will be required to reach the desired grades.

The scope of our study consisted of the following:

1. Performed Standard Penetration Test Borings in the proposed construction area to estimate the subsoil relative density.
2. Performed Dynamic Cone Penetrometer Testing and hand-auger borings in the proposed construction area to estimate the subsoil relative density.
3. Measured the observed groundwater level at each boring.
4. Evaluated the existing soil conditions with respect to the proposed construction and provided recommendations for site preparation and foundation design.
5. Obtain Shelby tube soil samples per each soil type encountered in order to perform both a constant head horizontal and vertical permeability tests in our laboratory.
6. Perform engineering calculations to determine the permeability coefficient "K" values along with estimates for the elevation of wet-season and dry-season water tables for the percolation test locations.
7. Prepared this report to document our findings.

#### Site Investigation:

The site investigation program consisted of performing a total of one (1) Standard Penetration Test (SPT) boring, two (2) portable Dynamic Cone Penetrometer tests one (1) percolation boring (PB-SPT) in the proposed construction area. A hand-auger boring was performed by each Dynamic Cone Penetrometer Test. The borings were terminated between 6 to 15 feet below existing grade. The locations of the borings are shown on the attached boring logs.

The SPT borings were completed in accordance with procedures described in ASTM D-1586. A standard 1.5 inch I.D. 2 inch O.D. split-spoon sampler is driven into the soil by successive blows of a 140 pound hammer freely falling 30 inches. The number of blows required to drive the sampler 1 foot, after seating 6 in., is designated the Penetration Resistance, or "N" value. At regular intervals the sampler is extracted from the ground and opened to allow visual examination and classification of the retained soil sample. Also, the groundwater table was allowed to stabilize and the depth of the groundwater elevation recorded from existing grade.

During the portable Dynamic Cone Penetrometer test, a 35 pound safety hammer is repeatedly dropped 15" driving a 10 square centimeter cone through the ground. Blows per 10 centimeter of penetration, dynamic cone resistance, and equivalent SPT "N" values are measured and shown in the attached logs.

The records of the soils encountered, the penetration resistances and groundwater level are shown on the attached logs.

## Engineering Evaluation and Conclusions:

Based on the information obtained from this site investigation we are pleased to offer the following evaluation:

The boring logs indicate the subsurface soils consist mostly of medium to fine-grained sand. Shell fragments were also encountered in the borings. "N" values recorded during the boring operation indicate the soil density is generally very loose to medium dense. Please refer to the soil boring logs for specific information relative to the soil description.

It is our professional opinion, that the soils will be capable of supporting the proposed structure provided the recommendations for site preparation and foundation design are followed.

## Site Preparation:

Following the completion of the demolition of the existing structure the proposed building area and areas to be paved, plus a minimum margin of seven feet beyond the proposed construction shall be stripped and grubbed of surface debris, including vegetation, roots and organic matter.

Begin by excavating the top 2 feet of material within the prepared area. Excavated fine-grained sand may be stockpiled and used as backfill provided that it is not mixed with organic or other unsuitable material. All over-excavation of fine-grained sand replacement, and compaction of structural backfill material should take place in the "dry".

The exposed surface should be graded level and proof rolled. Sufficient passes should be made to achieve a compaction in accordance with the provided compaction recommendation to a depth of 2 feet.

The exposed surface may then be filled to desired grade in accordance with the provided fill material and compaction recommendations.

We do not recommend the use of large vibratory equipment on this project due to the neighboring structures.

Temporary dewatering will be necessary in order to achieve excavation and compaction specifications. The actual method of dewatering should be determined by the contractor. We suggest drawing down the water table below the bottom of excavations to avoid compaction related problems.

### Fill Material and Compaction:

Structural fill shall consist of clean granular sand containing less than 10 percent material passing the U.S. Standard No. 200 mesh sieve. Fill should be placed in loose layers with a maximum thickness of 12 inches. Compaction of each lift shall be least 95 percent of its modified Proctor value (ASTM D 1557). We recommend field density tests be performed at appropriate times during the earthwork operations in order to verify the site has been properly constructed. In-place density of the compacted soil can be verified using a nuclear density gauge or any other ASTM approved method to determine percent compaction.

Subgrade and each lift (12" max) of fill should be tested for compaction at a frequency no less than one test per 2,500 sf of building area, per lift with a minimum of 4 tests in each area prepared.

After excavating for the footings, the disturbed footing subgrade should be recompacted in accordance with the provided compaction recommendations. It is our recommendation that compaction tests in the excavated footings should be conducted prior to placement of any steel or concrete and conducted at every column footing and once for every 100 linear feet of footing trench. This can be best achieved by making several passes with a relatively light-weight walk-behind vibratory sled or roller.

The placement and frequency of testing can be modified at the discretion of the site contractor and the onsite soils technician based on the requirements of the project as stated by the Engineer of Record.

### Foundation:

Providing our recommendations for site preparation are followed, the proposed residence may be supported on conventional concrete, steel reinforced stem-wall type footings designed for an allowable soil bearing pressure of 2,000 pounds per square foot, or less.

With the foundation properly designed and the site properly prepared, we anticipate total settlements less than  $\frac{3}{4}$  of an inch and differential settlement of less than  $\frac{1}{4}$  of an inch. The majority of the settlement should occur during construction. This is based on the assumed loading as shown on the front page of this report and a minimum stem-wall type continuous footer width of 20 inches with a minimum embedment of 12 inches. If the loading or footer is to vary from these parameters, please contact our office for additional settlement calculations.

We recommend supporting the structure on a stem-wall type foundation however the structure could be supported on a monolithic foundation. Please note that monolithic footings are very sensitive to eccentric wall loading and are notorious for producing differential settlements if not properly designed by the Structural Engineer. The soil pressure at the exterior edge of the footing should not exceed the specified allowable soil pressure and the soil pressure at the interior edge of the footing is always compressive (based on the principle of having no tension in the soil). Therefore, it is important to have the structural engineer verify the footer does not exceed the soil pressure given.



### Floor Slab:

A conventional slab-on-grade can be used in the "at grade" portion of the buildings. We recommend the disturbed subgrade below the floor slab be re-compacted in accordance with the provide compaction recommendations prior to placement of the concrete. We recommend that control joints be incorporated in the slab at frequent intervals to control shrinkage cracks.

A moisture barrier is recommended beneath the floor slab to prevent moisture migration from the underlying soil resulting in dampness of the slab.

### Pool:

Based on the existing soil conditions, the proposed pool can be designed and constructed using an allowable soil bearing pressure of 2,500 pounds per square foot.

When excavating the pool, if any organic soil or soft material is encountered, these materials/soils should be removed and replaced with  $\frac{3}{4}$ " stones so the subgrade becomes firm below the pool bottom. Please note that after placing stone in the bottom of the excavation, granular soil should never be placed on top of the stone.

Backfill material behind the pool shell shall be in accordance with the provided fill material and compaction recommendations.

### Soil Percolation and Water Tables:

The following table indicates the usual Open Hole Hydraulic Conductivity test results:

Usual Open-Hole Test Results	
Test Location (See Location Plan)	Hydraulic Conductivity (CFS/SF- Ft Head)
P-1	$9.4 \times 10^{-4}$

#### NOTES:

- 1) The above hydraulic conductivity values are for a French drain installed to the same depth as the borehole tests. The designer should apply the appropriate factor of safety.
- 2) A hole diameter of 3" was used in the computation of the Hydraulic Conductivity values presented in the above table.

The following table indicates the horizontal and vertical flow rates for the test location:

<b>Constant Head Permeability Results</b>			
<b>Test Location (See Location Plan)</b>	<b>Horizontal Flow Rate (in/hr)</b>	<b>Vertical Flow Rate (in/hr)</b>	<b>Layer Depth (in)</b>
P-1	10.6	8.3	0-10
P-1	38.3	36.1	10-36
P-1	--	41.3	36-54
P-1	--	17.5	54-60

The following table indicates the measured water table along with our estimated normal wet season water table and normal dry season water table for the test location:

<b>Water Table Observations</b>			
<b>Test Location (See Location Plan)</b>	<b>Observed Water Table</b>	<b>Estimated Wet Season Water Table</b>	<b>Estimated Dry Season Water Table</b>
P-1, PB-1	54" Below Grade	32" Below Grade	68" Below Grade

This estimate is based upon our interpretation of existing site conditions and a review of the USDA Soil Survey for Brevard County, Florida. The majority of the site soils are mapped as (25) Canaveral-Palm Beach—urban land complex, according to the Soil Survey Map of Brevard County, Florida.

#### Hydrologic Soil Group Classification:

The soils in the test locations can be classified in accordance with Chapter 7, Part 630 of the USDA National Engineering Handbook as follows:

<b>Test Location (See Location Plan)</b>	<b>Hydrologic Soil Group</b>
P-1	A

The soils in test location P-1 are part of the hydrologic soil group "A" due to the moderate fines content in the soil, the high hydraulic conductivity rates of the soils, the absence a water impermeable layer and the depth to high season water table which is greater than 24 inches from the surface.

Note that the Hydrologic Soil Group is a dynamic classification which changes with the conditions of the site at any given moment. Changes in water table elevation as well as changes in the ground elevations of the site can affect the hydrologic soil group for any particular location.

Porosity:

The material we encountered in the field was fine grained sand which was loose in density so a value of 0.37 can be used as an estimated porosity value.

This estimate is based upon our interpretation of existing site conditions and our experience with the porosity of similar materials. If the in situ field porosity of any layer is required, please contact our office for a further investigation.

Closure:

Based upon our subsurface investigation at the above-mentioned project location, the reliance of the recommendations presented within this signed and sealed report is predicated on KSM representation to verify that not only have the soils been prepared following the indicated recommendations but the foundations are installed in compliance within the parameters indicated. The Structural Engineer of Record is responsible for confirming the estimated loading and that the foundation parameters indicated are structurally adequate. If the indicated assumed loads are found to be less than actual loads, KSM is to be notified so that our recommendations can be amended as required.

This report has been prepared in accordance with generally accepted soil and foundation engineering practice based on the results of the test borings and assumed loading conditions. This report does not reflect any variations which may occur between the borings. If variations appear evident during the course of construction, it would be necessary to re-evaluate the recommendations of this project.

Environmental conditions, wetland delineation, karst activity, water quality, and municipal requirements are not a part of this report.

We are pleased to be of assistance to you on this phase of your project. When we may be of further service to you or should you have any questions, please feel free to contact the office.

Respectfully,

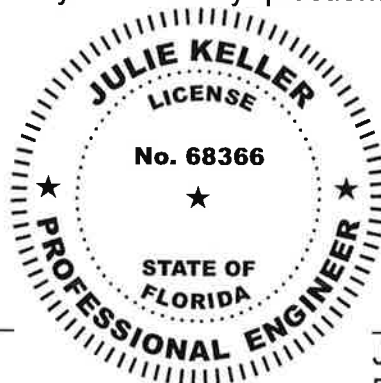
*Cody C. Clawson*

Cody C. Clawson  
Geotechnical Engineer

6/24/2021

JEK/cv

E-mail to: CRunte@cgcfloida.com



Julie E. Keller, P.E.  
President  
Florida Lic. No. 68366  
6/24/2021

**KSM**

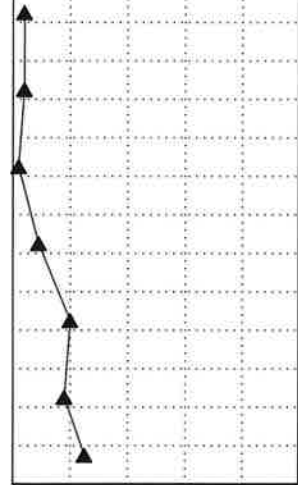
KSM Engineering & Testing  
P.O. Box 78-1377  
Sebastian, FL 32978  
Tel: (772)-589-0712  
Fax: (772)-589-6469

**BORING NUMBER B-1**

PAGE 1 OF 1

CLIENT Corey Runte PROJECT NAME 407 Third Avenue  
PROJECT NUMBER 214020-b&p PROJECT LOCATION Melbourne Beach, Florida  
DATE STARTED 6/8/21 COMPLETED 6/8/21 GROUND ELEVATION \_\_\_\_\_ HOLE SIZE \_\_\_\_\_ inches  
DRILLING CONTRACTOR \_\_\_\_\_ GROUND WATER LEVELS:  
DRILLING METHOD Split Spoon Sample  $\nabla$  AT TIME OF DRILLING 4.58 ft  
LOGGED BY CS/MM CHECKED BY JEK AT END OF DRILLING --  
NOTES See Attached Location Plan AFTER DRILLING --

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY % (RQD)	BLOW COUNTS (N VALUE)	POCKET PEN. (tsf)	DRY UNIT WT. (pcf)	▲ SPT N VALUE ▲	
								20 40 60 80	20 40 60 80
0								PL MC LL	20 40 60 80
		Gray Sand							
		Light Brown Sand	X SS		1-2-2 (4)				
		Brown Sand	X SS		3-2-2 (4)				
5	$\nabla$		X SS		1-1-1 (2)				
		Light Gray Sand with Slight Traces of Shell	X SS		2-4-5 (9)				
10			X SS		6-9-11 (20)				
			X SS		8-8-10 (18)				
			X SS		8-12-13 (25)				

Bottom of ~~sample~~ hole at 14.5 feet.

85

**KSM**

KSM Engineering & Testing  
P.O. Box 78-1377  
Sebastian, FL 32978  
Tel: (772)-589-0712  
Fax: (772)-589-6469

**BORING NUMBER HA-1**

PAGE 1 OF 1

CLIENT Corey RuntePROJECT NAME 407 Third AvenuePROJECT NUMBER 214020-b&pPROJECT LOCATION Melbourne Beach, FloridaDATE STARTED 6/8/21COMPLETED 6/8/21

GROUND ELEVATION \_\_\_\_\_ HOLE SIZE \_\_\_\_\_ inches

DRILLING CONTRACTOR \_\_\_\_\_

GROUND WATER LEVELS:

DRILLING METHOD \_\_\_\_\_

▽ AT TIME OF DRILLING 4.50 ftLOGGED BY CS/MMCHECKED BY JEKAT END OF DRILLING ---NOTES See Attached Location PlanAFTER DRILLING ---

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY % (RQD)	BLOW COUNTS (N VALUE)	POCKET PEN. (tsf)	DRY UNIT WT. (pcf)	▲ SPT N VALUE ▲			
								20	40	60	80
								PL      MC      LL 20      40      60      80			
0								<input type="checkbox"/> FINES CONTENT (%) <input type="checkbox"/> 20      40      60      80			
		Gray Sand with Traces of Root									
		Light Brown Sand									
		Light Gray Sand									
5											

Bottom of borehole at 6.0 feet.

**KSM Engineering & Testing**  
P.O. Box 78-1377  
Sebastian, FL 32978  
Tel: (772)-589-0712  
Fax: (772)-589-6469

**BORING NUMBER HA-2**

PAGE 1 OF 1

**CLIENT** Corey Runte

**PROJECT NAME** 407 Third Avenue

PROJECT NUMBER 214020-b&p

**PROJECT LOCATION** Melbourne Beach, Florida

DATE STARTED 6/8/21

**COMPLETED 6/8/21**

GROUND ELEVATION \_\_\_\_\_ HOLE SIZE \_\_\_\_\_ inches

**DRILLING CONTRACTOR**

**GROUND WATER LEVELS:**

## DRILLING METHOD

▽ AT TIME OF DRILLING 4.58 ft

LOGGED BY CS/MM

CHECKED BY JEK

AT END OF DRILLING ---

**NOTES** See Attached Location Plan

**AFTER DRILLING** ---

[illegible]

Bottom of borehole at 6.0 feet.

87

**KSM**

KSM Engineering & Testing  
P.O. Box 78-1377  
Sebastian, FL 32978  
Tel: (772)-589-0712  
Fax: (772)-589-6469

**BORING NUMBER PB-1**

PAGE 1 OF 1

CLIENT Corey RuntePROJECT NAME 407 Third AvenuePROJECT NUMBER 214020-b&pPROJECT LOCATION Melbourne Beach, FloridaDATE STARTED 6/8/21COMPLETED 6/8/21

GROUND ELEVATION \_\_\_\_\_ HOLE SIZE \_\_\_\_\_ inches

DRILLING CONTRACTOR \_\_\_\_\_

GROUND WATER LEVELS:

DRILLING METHOD Split Spoon Sample▽ AT TIME OF DRILLING 4.50 ftLOGGED BY CS/MMCHECKED BY JEKAT END OF DRILLING --NOTES See Attached Location PlanAFTER DRILLING --

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY % (RQD)	BLOW COUNTS (N VALUE)	POCKET PEN. (tsf)	DRY UNIT WT. (pcf)	▲ SPT N VALUE ▲			
								20	40	60	80
								PL	MC	LL	
0								20	40	60	80
		Gray Sand with Traces of Root									
		Light Brown Sand	X SS		1-2-2 (4)						
		Light Gray Sand	X SS		2-2-3 (5)						
5		Brown Sand	X SS		3-2-2 (4)						
		Light Gray Sand with Traces of Shell	X SS		2-1-3 (4)						
10			X SS		6-10-13 (23)						
			X SS		8-12-10 (22)						
15			X SS		7-10-14 (24)						

Bottom of borehole at 15.0 feet.

Company Name	KSM Engineering & Testing
Company Street #	11345 Hwy. U.S. 1
Company City, State, Zip	Sebastian, Florida 32958

PROJECT NUMBER:	214020-wc1
DATE STARTED:	06-08-2021
DATE COMPLETED:	06-08-2021

HOLE #: DC-1, See Attached Location Plan  
 CREW: CS/MM  
 PROJECT: Corey Runte  
 ADDRESS: 407 Third Avenue  
 LOCATION: Melbourne Beach, Florida

SURFACE ELEVATION:	N/A
WATER ON COMPLETION:	54"
HAMMER WEIGHT:	35 lbs.
CONE AREA:	10 sq. cm

DEPTH	BLOWS	RESISTANCE	GRAPH OF CONE RESISTANCE				N'	TESTED CONSISTENCY	
	PER 10 cm	Kg/cm <sup>2</sup>	0	50	100	150		NON-COHESIVE	COHESIVE
1 ft	1	4.4	•				1	VERY LOOSE	VERY SOFT
	2	8.9	•••				2	VERY LOOSE	SOFT
	2	8.9	•••				2	VERY LOOSE	SOFT
2 ft	3	13.3	••••				3	VERY LOOSE	SOFT
	3	13.3	••••				3	VERY LOOSE	SOFT
	4	17.8	•••••				5	LOOSE	MEDIUM STIFF
3 ft	4	17.8	•••••				5	LOOSE	MEDIUM STIFF
	4	17.8	•••••				5	LOOSE	MEDIUM STIFF
	5	22.2	••••••				6	LOOSE	MEDIUM STIFF
4 ft	4	17.8	•••••				5	LOOSE	MEDIUM STIFF
	3	11.6	••••				3	VERY LOOSE	SOFT
	3	11.6	••••				3	VERY LOOSE	SOFT
5 ft	3	11.6	••••				3	VERY LOOSE	SOFT
	4	15.4	•••••				4	VERY LOOSE	SOFT
	4	15.4	•••••				4	VERY LOOSE	SOFT
6 ft	5	19.3	••••••				5	LOOSE	MEDIUM STIFF
	6	23.2	•••••••				6	LOOSE	MEDIUM STIFF
	6	23.2	•••••••				6	LOOSE	MEDIUM STIFF
7 ft	8	30.9	••••••••				8	LOOSE	MEDIUM STIFF
	9	34.7	•••••••••				9	LOOSE	STIFF
	11	37.6	••••••••••				10	LOOSE	STIFF
8 ft	10	34.2	•••••••••				9	LOOSE	STIFF
	11	37.6	••••••••••				10	LOOSE	STIFF
	14	47.9	•••••••••••				13	MEDIUM DENSE	STIFF
9 ft	16	54.7	••••••••••••				15	MEDIUM DENSE	STIFF
	16	54.7	••••••~				15	MEDIUM DENSE	STIFF
	18	61.6	•••••••••••••				17	MEDIUM DENSE	VERY STIFF
10 ft	20	68.4	••••••••••••••				19	MEDIUM DENSE	VERY STIFF
	24	82.1	•••••••••••••••				23	MEDIUM DENSE	VERY STIFF
	28	95.8	••••••~				25+	MEDIUM DENSE	VERY STIFF
11 ft									
12 ft									
13 ft									



Company Name KSM Engineering & Testing  
 Company Street # 11345 Hwy. U.S. 1  
 Company City, State, Zip Sebastian, Florida 32958

PROJECT NUMBER: 214020-wc2

DATE STARTED: 06-08-2021

DATE COMPLETED: 06-08-2021

HOLE #: DC-2, See Attached Location Plan

CREW: CS/MM

PROJECT: Corey Runte

ADDRESS: 407 Third Avenue

LOCATION: Melbourne Beach, Florida

SURFACE ELEVATION: N/A

WATER ON COMPLETION: 55"

HAMMER WEIGHT: 35 lbs.

CONE AREA: 10 sq. cm

DEPTH	BLOWS PER 10 cm	RESISTANCE Kg/cm <sup>2</sup>	GRAPH OF CONE RESISTANCE 0 50 100 150	N'	TESTED CONSISTENCY	
					NON-COHESIVE	COHESIVE
-	1	4.4	•	1	VERY LOOSE	VERY SOFT
-	1	4.4	•	1	VERY LOOSE	VERY SOFT
- 1 ft	2	8.9	•••	2	VERY LOOSE	SOFT
-	2	8.9	•••	2	VERY LOOSE	SOFT
-	2	8.9	•••	2	VERY LOOSE	SOFT
- 2 ft	3	13.3	••••	3	VERY LOOSE	SOFT
-	3	13.3	••••	3	VERY LOOSE	SOFT
-	3	13.3	••••	3	VERY LOOSE	SOFT
- 3 ft	3	13.3	••••	3	VERY LOOSE	SOFT
- 1 m	3	13.3	••••	3	VERY LOOSE	SOFT
-	4	15.4	•••••	4	VERY LOOSE	SOFT
- 4 ft	3	11.6	••••	3	VERY LOOSE	SOFT
-	3	11.6	••••	3	VERY LOOSE	SOFT
-	4	15.4	•••••	4	VERY LOOSE	SOFT
- 5 ft	4	15.4	•••••	4	VERY LOOSE	SOFT
-	5	19.3	••••••	5	LOOSE	MEDIUM STIFF
-	7	27.0	•••••••	7	LOOSE	MEDIUM STIFF
- 6 ft	9	34.7	••••••••	9	LOOSE	STIFF
-	9	34.7	••••••••	9	LOOSE	STIFF
- 2 m	12	46.3	•••••••••	13	MEDIUM DENSE	STIFF
- 7 ft	14	47.9	••••••••••	13	MEDIUM DENSE	STIFF
-	15	51.3	••••••••••	14	MEDIUM DENSE	STIFF
-	17	58.1	•••••••••••	16	MEDIUM DENSE	VERY STIFF
- 8 ft	22	75.2	••••••••••••	21	MEDIUM DENSE	VERY STIFF
-	24	82.1	•••••••••••••	23	MEDIUM DENSE	VERY STIFF
-	26	88.9	••••••••••••••	25	MEDIUM DENSE	VERY STIFF
- 9 ft	24	82.1	•••••••••••••	23	MEDIUM DENSE	VERY STIFF
-	25	85.5	••••••~	24	MEDIUM DENSE	VERY STIFF
-	27	92.3	••••••~	25+	MEDIUM DENSE	VERY STIFF
- 3 m 10 ft	30	102.6	••••••~	25+	MEDIUM DENSE	VERY STIFF
-						
-						
-						
- 11 ft						
-						
- 12 ft						
-						
- 4 m 13 ft						



## LOCATION OF TESTS

PROJECT: 407 Third Avenue, Melbourne Beach, Florida

SHEET 1 OF 2

PERMIT #:

PROJECT #: 214020-b&p

**KSM ENGINEERING  
AND TESTING**

DRAWN BY: C.V.

DESIGNED BY: J.K.

DATE: 20210611

SCALE: NONE



## **USDA SOILS SURVEY**

### **25—Canaveral-Palm Beach-Urban land complex**

**PROJECT:** 407 Third Avenue, Melbourne Beach, Florida

**SHEET 2 OF 2**

**PERMIT #:**

**PROJECT #:** 214020-soils

**KSM ENGINEERING  
AND TESTING**

**DRAWN BY:** C.V.

**DESIGNED BY:** J.K.

**DATE:** 20210611

**SCALE:** NONE

BRG)  
(M)  
1/2" IRF  
NO ID, FND  
0.29'N, 0.06'E

REMOVE TREE AND ROOTS  
IN THEIR ENTIRETY

REMAINDER OF LOT 8  
FF ELEV=8.39

N 00°00'04" E 150.00'

1/2" IPF  
NO ID, FND  
0.79'N

1/2" IRF  
NO ID, FND  
0.68'N, 0.45'E

S 89°50'00" W 60.02'(M)

LANDSCAPE PLAN

1"=10'

EOP  
24' 4  
EAST 60.00'

5/8" IRC  
LS 4029

REMAINDER OF LOT 9  
FF ELEV=9.59

S 00°00'19" E 149.83'(M)

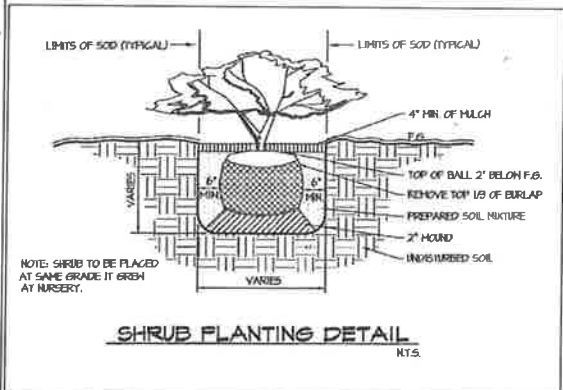
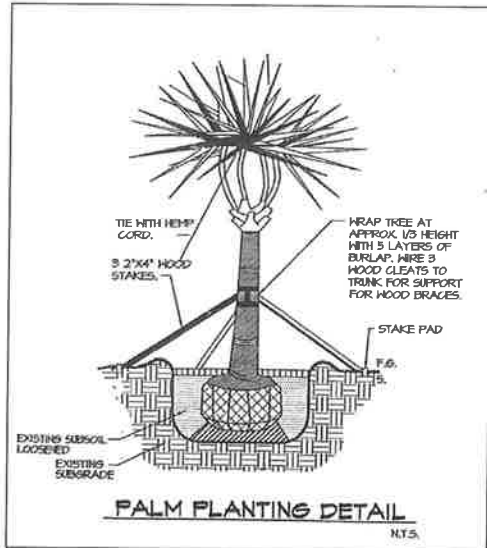
PROTECT AND MAINTAIN EXISTING  
TREES AS MUCH AS POSSIBLE IF NOT  
IN CONFLICT WITH DRAINAGE. CONTACT  
TOWN OF MELBOURNE BEACH AND ENGINEER  
OF RECORD TO COORDINATE ANY REMOVAL  
OR RELOCATION OF TREES OR DRAINAGE.(TYP)

REMOVE EXISTING TREE AND ROOTS IN THEIR ENTIRETY

5/8" IRC  
LS 4029

PLANT SCHEDULE:

SYMBOL	QUANTITY	SPECIFICATIONS	COMMON NAME (GENUS)
✱	3	8' CLEAR TRUNK/30 GAL	FOXTAIL PALM(WODYETIA BIFURCATA)
✱	1	6' TALL/25 GAL	ARECA PALM(CHRYSAIDOCARPUS LUTECENS)
✱	5	4.5' TALL/10 GAL	HIBISCUS (HIBISCUS ROSA-SINENSIS)
○	5	3 GAL	FICUS 'GREEN ISLAND' (FICUS MICROCARPA 'GREEN ISLAND')
○	15	1 GAL	BLUE MY MIND (EVOICULUS HYBRID)



LANDSCAPE NOTES:

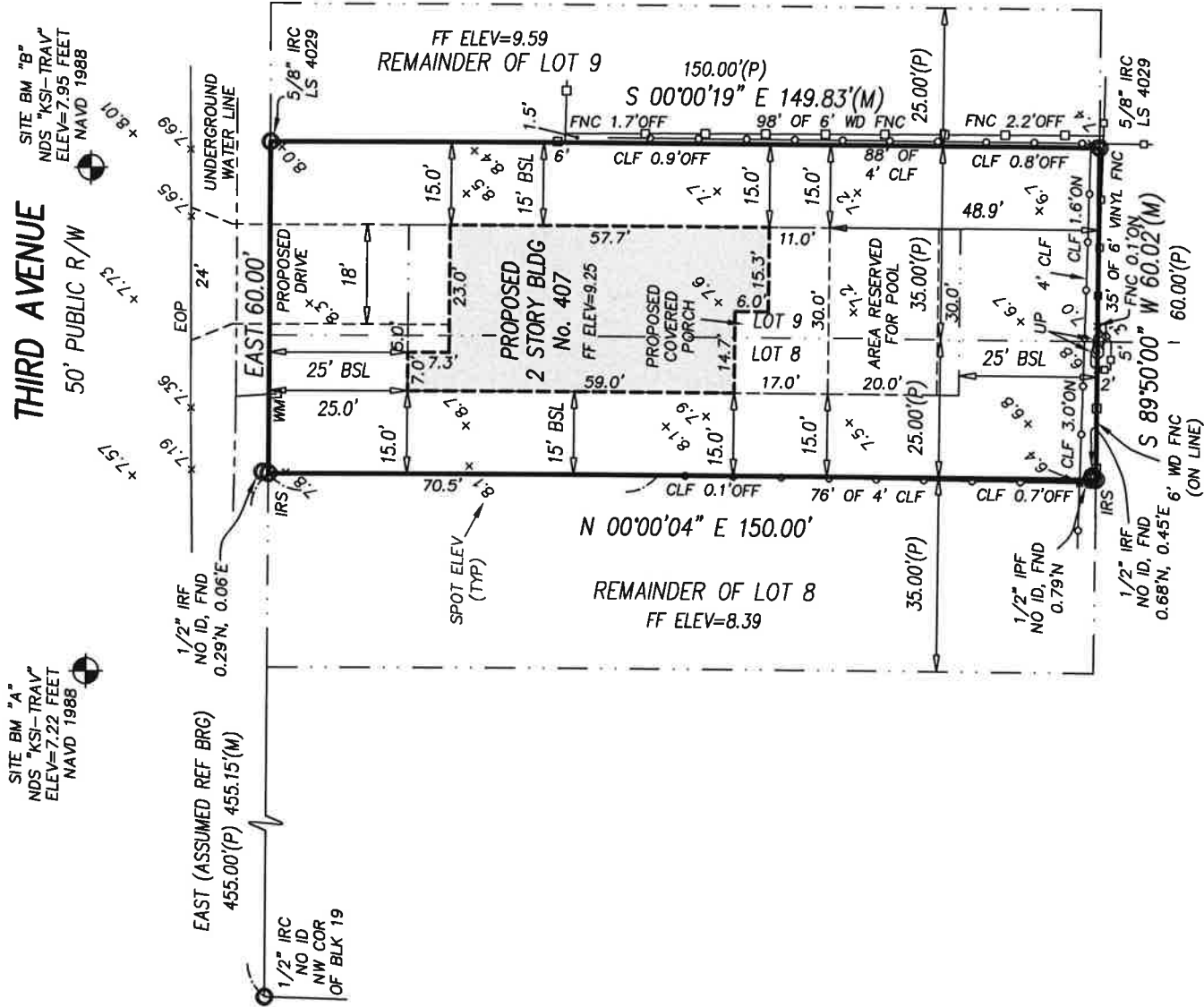
- CONTACT TOWN OF MELBOURNE BEACH FOR TREE ROOT PROTECTION. INSPECTION IS REQUIRED PRIOR TO ANY AND CLEARING, ALTERATION, OR COMMENCEMENT OF CONSTRUCTION, INCLUDING GRADING AND FINISH.
- ALL PLANTINGS SHALL BE FLORIDA GRASS GRAD, OR BETTER, AS DEFINED BY THE GRASSES AND STANDARDS FOR NURSERY PLANTS, 1998.
- ALL ON-SITE AREAS NOT DESIGNATED FOR LANDSCAPING SHALL BE SOILED WITH ST. AUGUSTINE SOD EXCEPT DRY RETENTION SWALE AREAS. THEY SHALL BE SEED AND MULCHED OR SOILED WITH SAND BASED ST. AUGUSTINE SOD.
- CONTRACTOR TO PROVIDE QUANTITY TAKE-OFFS. ALL SODDED AREAS OF 15' SHALL BE COMMON BERMUDA TYPE. CONTRACTOR TO PROVIDE QUANTITY TAKE-OFFS.
- LANDSCAPE PLANTS AND PLANTING METHODS SHALL MEET OR EXCEED ALL REQUIREMENTS HEREIN AND ALL TOWN OF MELBOURNE BEACH LAND DEVELOPMENT CODE REQUIREMENTS.
- USE 35# ARGENTINE BAHIA SEED, MIXED WITH 20# OF MULCH/SEED. INCLUDE GRANULAR SOD RELEASE FERTILIZER 16-8-8 AT THIS VOLUME, PER MANUFACTURER'S RECOMMENDATION.
- THE LOCATION OF VEGETATION OR TREES SHALL NOT INTERFERE WITH UTILITY SERVICES OR CREATE AN UNSAFE VISUAL CLEARANCE OR OTHER SAFETY HAZARD TO THE EXTENT THAT CORRECTION CANNOT BE REMEDIATED BY TRIMMING.
- UPON FINAL INSPECTION, ANY PLANT THAT APPEARS TO BE DAMAGED OR IN SHOCK SO THAT IT IS NO LONGER FLORIDA GRASS GRAD SHALL BE REMOVED AND REPLACED WITH A HEALTHY PLANT OF THE SAME SPECIES, SIZE AND AGE.
- NEW PLANTS AND NEW BEDS ARE TO HAVE A 1\"/>
- ALL PLANTS ARE TO BE INSTALLED IN HOLES WHICH ARE TWICE THE WIDTH OF THE ROOT BALL. REMOVE EXCESSIVE DEBRIS AND BACKFILL PLANTS WITH LOOSE, EXCAVATED SOIL.
- INSTALL ALL PLANTS WITH PROPER SPACING AS INDICATED ON THE PLANT LIST. DO NOT INSTALL PLANTS IN LOCATIONS THAT ARE TOO CLOSE TO EQUIPMENT, PAVEMENT, CONCRETE, FENCES, OVERHEAD WIRES, UTILITY STRUCTURES, LIGHTS, SPRINKLER HEADS OR VALVES. MAKE FIELD ADJUSTMENTS TO AVOID SUCH CONFLICTS DURING FUTURE GROWTH OF PLANTS. SPACING OF SHRUBS AND PLANTS FROM EDGE OF SOD OR EDGE OF CONCRETE IS TO BE A MINIMUM OF 2/3 OF THE SPECIFIED SPACING.
- THE LANDSCAPE CONTRACTOR SHALL PROTECT ALL MATERIALS AND WORK AGAINST INJURY FROM ANY CAUSES AND SHALL PROVIDE AND MAINTAIN ALL NECESSARY SAFEGUARDS FOR THE PROTECTION OF THE PUBLIC. HE SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY WHICH MAY OCCUR AS A RESULT OF HIS NEGLIGENCE IN THE PROTECTION OF THE WORK.
- SHOULD ANY OBJECT OR MATERIAL SUCH AS OLD CONCRETE, BRICKS, OR OTHER DEBRIS BE ENCOUNTERED DURING PLANTING OPERATIONS, THEY SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS WORK WITH ALL OTHER PARTIES INVOLVED WITH THE JOB IN ORDER TO ELIMINATE UNNECESSARY CONFLICTATION DURING THE INSTALLATION OF HIS WORK.
- ALL NEW PLANT MATERIALS, EXCEPT SOD, SHALL BE GUARANTEED FOR ONE YEAR FROM THE TIME OF FINAL INSPECTION AND INTERIM ACCEPTANCE, AND SHALL BE ALIVE AND IN SATISFACTORY GROWTH FOR EACH SPECIFIC KIND OF PLANT AT THE END OF THE GUARANTEE PERIOD. SOD SHALL BE GUARANTEED FOR A PERIOD OF 60 DAYS AND SEED FOR A PERIOD OF 90 DAYS FROM THE DATE FINAL REVIEW AND INTERIM ACCEPTANCE.
- DURING THE GUARANTEE PERIOD, ANY PLANT REQUIRED UNDER THIS CONTRACT THAT IS DEAD OR NOT IN SATISFACTORY GROWTH, AS DETERMINED BY THE PROJECT REPRESENTATIVE SHALL BE REMOVED. REPLACEMENTS SHALL BE MADE WITHIN TEN DAYS OF NOTICE TO THE LANDSCAPE CONTRACTOR.
- SPECIFICALLY EXCLUDED FROM THE GUARANTEE ARE DAMAGES RESULTING FROM NATURAL CAUSES SUCH AS FLOOD, LIGHTNING STRIKES, FREEZING RAINS OR WINDS OVER 60 MPH, DAMAGES FROM ACTS OF NEGLIGENCE ON THE PART OF THE PART OF THE OWNER OR OTHERS OCCUPYING THE SITE, FIRES, VANDALISM AND HERBIVOROUS ANIMALS.
- THE SOD SHALL BE OF FIRM, TIGHT TEXTURE, HAVING A COMPACT GROWTH OF GRASS WITH GOOD ROOT DEVELOPMENT. IT SHALL CONTAIN NO WEEDS, OR ANY OTHER OBJECT OR MATERIAL. THE SOIL EMBEDDED IN THE SOD SHALL BE GOOD CLEAN EARTH, FREE FROM STONES AND DEBRIS. THE SOD SHALL BE FREE FROM FUNGUS, WORM AND OTHER DISEASES. SOD SHALL BE AS SPECIFIED ON PLANS.
- GRASS SEED SHALL BE ARGENTINE BAHIA WITH A MINIMUM PURITY OF 85%, MINIMUM GERMINATION OF 80% AND WEED CONTENT NOT TO EXCEED ONE-HALF PERCENT (1/2%). A COVER GRASS SHALL BE MIXED WITH THE BAHIA SEED AS FOLLOWS:  
1. MARCH - OCTOBER: 2/3 BAHIA AND 1/3 BROWN TOP MILLET.
- STAKES AND GUYS: PROVIDE STAKES AND DEADEN OF SOUND NEW HARDWOOD, TREATED SOFTWOOD, OR REDWOOD, FREE OF KNOT HOLES AND OTHER DEFECTS. PROVIDE WIRE TIES AND GUYS OF 2-STRAND, TWISTED, PLIABLE GALVANIZED IRON WIRE NOT LIGHTER THAN 12 GA. WITH 2\"/>
- ALL PLANTS EXCEPT AS OTHERWISE SPECIFIED, SHALL BE CENTERED IN PITS AND SET ON COMPACTED TOP SOIL TO SUCH A DEPTH THAT THE FINISHED GRADE LEVEL AT THE PLANT AFTER SETTLEMENT WILL BE THE SAME AS THAT AT WHICH THE PLANT WAS GROWN. NO BURLAP SHALL BE PULLED OUT FROM UNDER BALLS. ROOTS SHALL BE SPREAD AT THE NORMAL POSITION. ALL BROKEN OR DAMAGED ROOTS SHALL BE CUT OFF CLEANLY. SOIL SHALL BE PLACED AND COMPACTED THOROUGHLY. AVOIDING INJURY AND SHALL BE SETTLED BY WATERING. NO FILLING ROUND TRUNKS WILL BE PERMITTED.
- NEW PLANTING SHALL BE SO SET THAT THE FINAL LEVEL OF GROUND AROUND THE PLANTS SHALL CONFORM TO SURROUNDING GRADES, OR AS OTHERWISE SPECIFIED.
- SOD-3 SOD SHALL BE LAID WITH CLOSELY ADJUTING JOINTS WITH A TAMPERED OR ROLLED OPEN SURFACE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO BRING THE SOD EDGE IN A NEAT-CLEAN MANNER TO THE EDGE OF ALL PAVING AND SHRUB AREAS. AFTER THE SOD IS LAID, A TOP DRESSING OF CLEAN SAND SHALL BE EVENLY APPLIED OVER THE ENTIRE SURFACE AND THOROUGHLY WASHED, IF DETERMINED NECESSARY BY ENGINEER. NOTE: SAND WILL NOT BE REQUIRED ON PROPERLY LAID SOD.
- SUBMIT TYPEWRITTEN INSTRUCTIONS RECOMMENDING PROCEDURES TO BE ESTABLISHED BY OWNER FOR MAINTENANCE OF LANDSCAPE WORK FOR ONE FULL YEAR. SUBMIT PRIOR TO EXPIRATION OF REQUIRED MAINTENANCE PERIOD.
- HEREIN LANDSCAPE NOTES AND INFORMATION ARE PROVIDED FOR GENERAL PURPOSES, IN INSTANCES THAT THIS CODE CONFLICTS OR OMMITS INFORMATION DETAILED BY BREVARD COUNTY NOTES AND CODE REQUIREMENTS, BREVARD COUNTY DETAILS AND SPECIFICATIONS SHALL SUPERSEDE.
- PROVIDE ROOT BARRIAR PROTECTION FOR ANY TREES ADJACENT TO SIDEWALKS WHERE AT LEAST AN 8\"/>
- ACTUAL TREE AND SHRUB LOCATIONS CAN BE SLIGHTLY ADJUSTED AT TIME OF LANDSCAPE INSTALLATION TO AVOID GROWTH INTERFERENCE WITH CURBING, PAVEMENT AND NEARBY UTILITIES.
- ANY CHANGES TO THE APPROVED LANDSCAPE AND/OR CLEARING PLAN WILL BE CONFIRMED IN WRITING THROUGH THE TOWN OF MELBOURNE BEACH PRIOR TO PLANTING.
- EXISTING TREE LOCATIONS AND PROPOSED TREE LOCATIONS WILL BE PROVIDED BY OWNER AND BUILDER. ACCURACY IS NOT GUARANTEED BY ENGINEER OR ARCHITECT. GRADING SHALL BE AROUND TREES TO MAINTAIN A 6\"/>
- OR REVISIONS TO DAMAGE CONDITIONS PRIOR TO CONSTRUCTION.
- AUTOMATIC SPRINKLER SYSTEM SHALL BE DESIGNED AND INSTALLED BY IRRIGATION CONTRACTOR FOR ALL PERVIOUS AREAS ON-SITE. IRRIGATION CONTRACTOR SHALL COORDINATE ELECTRICAL SERVICE AS NEEDED, AND PROVIDE 100% COVERAGE WITH AUTOMATIC CONTROLLER AND RAIN SENSOR. PROVIDE A WELL FOR IRRIGATION SOURCE (PERMIT BY OTHERS) WELL CONTRACTOR TO CONFIRM REQUIREMENTS. OR NEEDED FLOW BUT ESTIMATED SYSTEM TO INCLUDE: 1.5 HP PUMP WITH APPROXIMATELY 4 ZONES.

TRAUGER CONSULTING ENGINEERS  
2210 FRONT STREET STE 204, MELBOURNE FL 32903  
email - erin.trauger@gmail.com direct - (321) 652-5316

GW PROPERTIES  
407 3RD AVENUE  
MELBOURNE BEACH, FL  
LANDSCAPE PLAN

DATE: 11-21-21  
SECTION: 7  
TOWNSHIP: 28S  
RANGE: 38E  
SCALE: 1"=10'  
DRAWING NO. L-1  
PROJECT: XX-XXX

MAP OF BOUNDARY SURVEY



BOUNDARY	DATE: 6/1/21
REVISED PLOT PLAN	DATE: 11/19/21
REVISED PLOT PLAN	DATE: 12/1/21
ADDED FF ELEV	DATE: 12/7/21

A = ARC  
A/C = AIR CONDITIONER  
BFE = BASE FLOOD ELEVATION  
BLDG = BUILDING  
BLK = BLOCK  
BLM = BENCHMARK  
BRG = BEARING  
CALC = CALCULATED  
CATV = CABLE TELEVISION  
CBS = CONCRETE BLOCK STRUCTURE  
CHD = CHIMNEY  
C/L = CENTERLINE  
C/F = CORRUGATED FENCE  
CMP = CONCRETE MONUMENT FOUND  
CONC = CONCRETE  
COR = CORNER  
(D) = DEED BOOK  
DB = DEED BOOK  
DHF = DRILL HOLE FOUND  
ELEC = ELECTRIC  
ELEV = ELEVATION  
ENC = ENCROACHMENT  
EOP = EDGE OF PAVEMENT  
ESMT = EASEMENT  
FB = FIELD BOOK

FEMA = FEDERAL EMERGENCY MANAGEMENT AGENCY  
FF = FINISHED FLOOR  
FNC = FENCE  
FND = FOUND  
FL & L = FLORIDA POWER & LIGHT COMPANY  
ID = IDENTIFICATION  
IPF = IRON PIPE FOUND  
IRC = IRON ROD & CAP FOUND  
IRF = IRON ROD FOUND  
IRS = 5/8" IRON ROD SET "LB 7838"  
LB = LICENSED BUSINESS NUMBER  
LS = (PLS) REGISTERED OR PROFESSIONAL LAND SURVEYOR  
(M) = MEASURED  
NAV = NORTH AMERICAN VERTICAL DATUM  
NDF = NORTH DISK FOUND  
NDS = 1" 4" NAIL & DISK SET "LB 7838"  
NGVD = NATIONAL GEODETIC VERTICAL DATUM  
No. = NUMBER  
O/H = OVERHEAD  
ORB = OFFICIAL RECORDS BOOK  
O/S = OFFSET  
(P) = PLAT  
PB = PLAT BOOK

PC = POINT OF CURVATURE  
PCC = POINT OF COMPOUND CURVATURE  
PCI = PERMANENT CONTROL POINT  
PI = POINT OF INTERSECTION  
PLS = PROFESSIONAL LAND SURVEYOR  
POB = POINT OF BEGINNING  
POC = POINT OF COMMENCEMENT  
PRC = POINT OF REVERSE CURVATURE  
PRM = PERMANENT REFERENCE MONUMENT  
PSM = PROFESSIONAL SURVEYOR AND MAPPER  
PUE = POINT OF UTILITY & DRAINAGE EASEMENT  
R = RADIUS  
REF = REFERENCE  
RNG = RANGE  
R/W = RIGHT OF WAY  
SEC = SECTION  
SFHA = SPECIAL FLOOD HAZARD AREAS  
TEL = TELEPHONE RISER  
TWP = TOWNSHIP  
TYP = TYPICAL  
UP = UTILITY POLE  
WD = WOOD  
WIT-COR = 5/8" IRON ROD SET WITH CAP "WITNESS LB 7838"  
WM = WATER METER  
XCF = CROSS CUT FOUND

LEGAL DESCRIPTION:

THE EAST 25 FEET OF LOT 8 AND THE WEST 35 FEET OF LOT 9, BLOCK 19, WILCOX PLAT OF MELBOURNE BEACH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 58, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA

WILCOXMB/L9B19	FB 21-4-41	JOB No. 41165
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CERTIFIED TO:  
COREY RUNTE

NOTES:

1. BEARINGS BASED ON THE S. R/W LINE BEING EAST AS PER ASSUMED DATUM (SEE SKETCH)
2. ELEVATIONS BASED ON BREVARD COUNTY BENCHMARK 422-35 BEING AT AN ELEVATION OF 9.899 FEET NAVD 1988.
3. JANUARY ZONE 18N, MAP No. 12009C0808H COMMUNITY No. 125128, APPROXIMATE 2021 FLOOD ZONE INFORMATION DEPICTED HEREON IS AND APPROXIMATE FEMA RETAINS SOLE AUTHORITY REGARDING BOUNDARY AND EXTENT OF SFHA.
4. HORIZONTAL CURVATURE MEETS OR EXCEEDS THE ACCURACY REQUIREMENTS FOR SUBURBAN LOTS AS PER FLORIDA STATUTE SJ-17-6.003
5. BEARINGS DISTANCES OR ANGLES SHOWN ARE THE SAME AS PLAT, DEED OR RECORD UNLESS SHOWN OTHERWISE. THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY, IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY.
6. THE SURVEYOR HAS NOT LOCATED NOR ATTEMPTED TO LOCATE ANY UNDERGROUND UTILITIES, FOUNDATIONS, OR STRUCTURES OTHER THAN THOSE THAT MAY BE SHOWN HEREON.
7. ONLY BOUNDARY CORNER MONUMENTS AS SHOWN HEREON ARE TO BE USED FOR THE LOCATION AND CONSTRUCTION OF IMPROVEMENTS. UNLESS OTHERWISE INDICATED THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE SEARCH OR ATTORNEY'S TITLE OPINION.

CERTIFICATION:

I HEREBY CERTIFY THAT THE ATTACHED SURVEY WAS DONE UNDER MY DIRECTION MEETING THE STANDARDS AND PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER SJ-17 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 FLORIDA STATUTES.

Joel Seymour

JOEL A. SEYMOUR PROFESSIONAL LAND SURVEYOR AND MAPPER  
STATE OF FLORIDA No. LS 6133

DATE: 12/7/21

Kane Surveying, Inc.

FLORIDA LICENSED BUSINESS No. LB 7838  
505 DISTRIBUTION DRIVE  
MELBOURNE, FLORIDA 32904

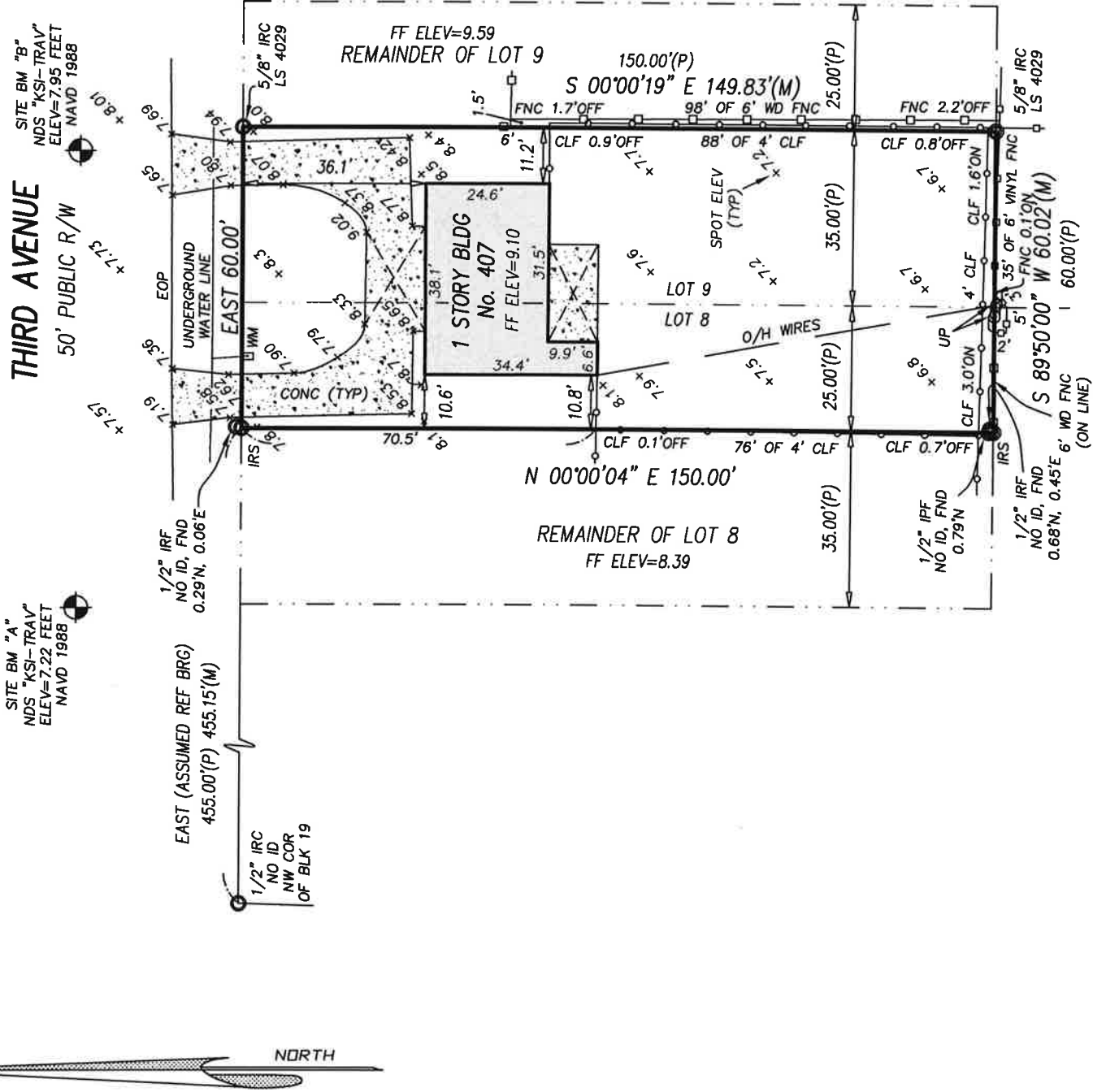
(321) 676-0427 FAX (321) 984-1448

DRAWN BY: JIL/JED

SCALE 1 INCH = 30 FEET



MAP OF BOUNDARY SURVEY



A = ARC  
A/C = AIR CONDITIONER  
BFE = BASE FLOOD ELEVATION  
BLDG = BUILDING  
BLK = BLOCK  
BRG = BEARING  
C/L = CALCULATED  
C/T = CABLE TELEVISION  
CBS = CEMENT BLOCK STRUCTURE  
CHD = CHAIN LINK FENCE  
C/L = CENTERLINE FENCE  
CMF = CONCRETE MONUMENT FOUND  
CMP = CORRUGATED METAL PIPE  
CONC = CONCRETE  
COR = CORNER  
(D) = DEED BOOK  
DB = DEED BOOK  
DHF = DRILL HOLE FOUND  
ELEC = ELECTRIC  
ELEV = ELEVATION  
ENC = ENCROACHMENT  
EOP = EDGE OF PAVEMENT  
ESMT = EASEMENT  
FB = FIELD BOOK

FEMA = FEDERAL EMERGENCY MANAGEMENT AGENCY  
FF = FINISHED FLOOR  
FNC = FENCE  
FND = FOUND  
FPL = FLORIDA POWER & LIGHT COMPANY  
ID = IDENTIFICATION  
IPF = IRON PIPE FOUND  
IRC = IRON ROD FOUND  
IRF = IRON ROD FOUND  
IRS = 5/8" IRON ROD SET "LB 7838"  
LB = LICENSED BUSINESS NUMBER  
LS = (PLS) (PLS) REGISTERED OR PROFESSIONAL LAND SURVEYOR  
(M) = MEASURED  
NAV = NORTH AMERICAN VERTICAL DATUM  
NDF = NAIL & DISK FOUND  
NDS = 1 1/4" NAIL & DISK SET "LB 7838"  
NGVD = NATIONAL GEODETIC VERTICAL DATUM  
No. = NUMBER  
O/H = OVERHEAD  
ORB = OFFICIAL RECORDS BOOK  
O/S = OFFSET  
(P) = PLAT  
PB = PLAT BOOK

LEGEND  
PC = POINT OF CURVATURE  
PCC = POINT OF COMPOUND CURVATURE  
PCI = POINT OF INTERSECTION  
PLS = PROFESSIONAL LAND SURVEYOR  
POB = POINT OF BEGINNING  
POC = POINT OF COMMENCEMENT  
PRM = PERMANENT REFERENCE MONUMENT  
PT = POINT OF TANGENCY  
PUE = PUBLIC UTILITY & DRAINAGE EASEMENT  
R = RADIUS  
REF = REFERENCE  
RNG = RANGE  
R/W = RIGHT OF WAY  
SEC = SECTION  
SFHA = SPECIAL FLOOD HAZARD AREAS  
TEL = TELEPHONE RISER  
TWP = TOWNSHIP  
TYP = TYPICAL  
UP = UTILITY POLE  
WD = WOOD  
WIT-COR = 5/8" IRON ROD SET WITH CAP "WITNESS LB 7838"  
WM = WATER METER  
XCF = CROSS CUT FOUND

NOTES:  
1. BEARINGS BASED ON THE S. R/W LINE BEING EAST AS PER ASSUMED DATUM (SEE SKETCH)  
2. ELEVATIONS BASED ON BREVARD COUNTY BENCHMARK 422-35 BEING AT AN ELEVATION OF 9.899 FEET NAVD 1988.  
3. FLOOD ZONE "X" MAP No. 12009C0808H COMMUNITY No. 125128, APPROXIMATE 2021. FLOOD ZONE INFORMATION DEPICTED HEREON IS APPROXIMATE AND DOES NOT REPRESENT THE ACTUAL FLOOD ZONE AND EXTENT OF SEVERITY.  
4. HORIZONTAL CLOSURE MEETS OR EXCEEDS THE ACCURACY REQUIREMENTS FOR SUBURBAN LAND AS PER FLORIDA STATUTE, SJ-17-6.003  
5. BEARINGS, DISTANCES OR ANGLES SHOWN ARE THE SAME AS PLAT, DEED OR RECORD UNLESS SHOWN OTHERWISE.  
6. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY.  
7. THE SURVEYOR HAS NOT LOCATED NOR ATTEMPTED TO LOCATE ANY UNDERGROUND UTILITIES, FOUNDATIONS, OR STRUCTURES OTHER THAN THOSE THAT MAY BE SHOWN HEREON.  
8. ONLY BOUNDARY CORNER MONUMENTS AS SHOWN HEREON ARE TO BE USED FOR THE LOCATION AND CONSTRUCTION OF IMPROVEMENTS.  
9. UNLESS OTHERWISE INDICATED THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE SEARCH OR ATTORNEY'S TITLE OPINION.

LEGAL DESCRIPTION:  
THE EAST 25 FEET OF LOT 8 AND THE WEST 35 FEET OF LOT 9, BLOCK 19, WILCOX PLAT OF MELBOURNE BEACH, BOOK 1, PAGE 58, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA

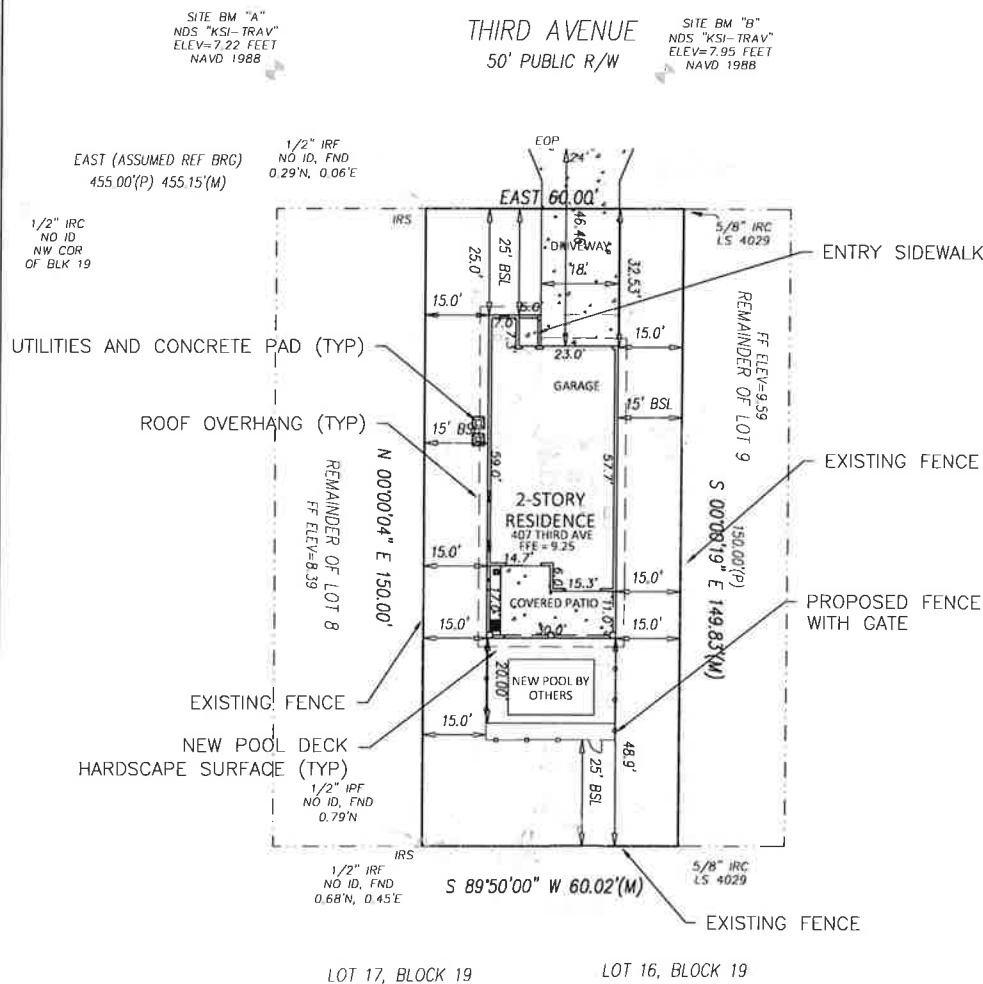
BOUNDARY  
DATE: 6/1/21  
JOB No. 41165  
FB 21-4-41  
WILCOXMB/L9B19

CERTIFIED TO:  
COREY RUNTE

CERTIFICATION:  
I HEREBY CERTIFY THAT THE ATTACHED SURVEY WAS DONE UNDER MY DIRECTION AND IN ACCORDANCE WITH THE STANDARDS AND PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER SJ-17 FLORIDA STATUTES.

Joel Seymour  
JOEL A. SEYMOUR PROFESSIONAL LAND SURVEYOR AND MAPPER  
STATE OF FLORIDA No. LS 6133  
DATE: 6/10/21  
DRAWN BY: JIL  
SCALE 1 INCH = 30 FEET

Kane Surveying, Inc.  
FLORIDA LICENSED BUSINESS No. LB 7838  
505 DISTRIBUTION DRIVE  
MELBOURNE, FLORIDA 32904  
(321) 676-0427 FAX (321) 984-1448



## SITE PLAN

 $1'' = 20'$ 

SURVEYOR LEGEND:

LEGEND		
A/C = AIR CONDITIONER	FEMA = FEDERAL EMERGENCY MANAGEMENT AGENCY	PC = POINT OF CURVATURE
AB = BASE FLOOD ELEVATION	FF = FINISHED FLOOR	PCC = POINT OF COMPOUND CURVATURE
BLDG = BUILDING	FNC = FENCE	PCP = PERMANENT POINT
BLK = BLOCK	PD = POUND	PI = POINT OF INTERSECTION
BNK = BENCHMARK	PL = PLANT	PLS = PROFESSIONAL LAND SURVEYOR
BRG = BEARING	PL&L = FLORIDA POWER & LIGHT COMPANY	POB = POINT OF BEGINNING
CA = CALCULATED	ID = IDENTICAL	POC = POINT OF COMMENCEMENT
CE = CABLE TELEVISION	IPF = IRON PIPE FOUND	POE = POINT OF REVERSE CURVATURE
CBS = CONCRETE BLOCK STRUCTURE	IRF = IRON ROD FOUND	PRM = PERMANENT REFERENCE MONUMENT
CHD = CHORD	IRS = 3/8" IRON ROD SET "LB 7838"	PSM = PROFESSIONAL SURVEYOR AND MAPPER
C/L = CENTERLINE	LB = LICENSED BUSINESS NUMBER	PT = POINT OF TANGENCY
CMP = CONCRETE MONUMENT FOUND	LS = (RLS) or (PLS) REGISTERED OR PROFESSIONAL LAND SURVEYOR	PUD = PUBLIC UTILITY DRAINAGE EASEMENT
CMP = CORRUGATED METAL PIPE	(M) = MEASURED	PVE = PUBLIC UTILITY EASEMENT
CONE = CONCRETE	NAVD = NORTH AMERICAN VERTICAL DATUM	R = RADII
COR = CORNER	NEP = NAIL & DISH FOUND	REF = REFERENCE
CR = CREEK	NDS = 1 1/4" NAIL & DISH SET "LB 7838"	RNG = RANGE
CR = DECK BOOK	NVD = NATIONAL MEADDETT VERTICAL DATUM	R/W = RIGHT OF WAY
CR = DRILL HOLE FOUND	No. = NUMBER	SEC = SECTION
ELEC = ELECTRIC	O/H = OVERHEAD	SEF = SPECIAL FLOOD HAZARD AREAS
ELEV = ELEVATION	ORB = OFFICIAL RECORDS BOOK	TEL = TELEPHONE RISEN
ENC = ENCROACHMENT	O/S = OFFSET	TWP = TOWNSHIP
FR = EDGE OF PAVEMENT	PLAT = PLAT	UT = UTILITY POLE
FR = EASEMENT	PB = PLAT BOOK	WG = WOOD
FR = FIELD BOOK		WN-COR = 5/8" IRON ROD SET WITH CAP "WITNESS LB 7838"
		WM = WATER
		WC = CROSS CUT FOUND

SURVEYOR NOTES:

**NOTES:**

1. BEARINGS BASED ON THE S. R/W LINE BEING EAST AS PER ASSUMED DATA (SEE SKETCH)  
2. ALL DISTANCES ON BREVARD COUNTY BENCHMARK 422-35 BEING AT AN ELEVATION OF 0.895 FEET NAVD 1983  
3. PLAT FILE NO. 1200B-CGDBH COMMUNITY NO. 125126,  
JANUARY 29, 2021, FLD 2021 INFORMATION DEPOSITED HEREIN IS APPROXIMATE. FEMA RETAINS SOLE AUTHORITY REGARDING BOUNDARY LOCATION.  
4. HORIZONTAL CLOSURE MEETS OR EXCEEDS THE ACCURACY REQUIREMENTS FOR A FIRST ORDER RECONCILING SURVEY STATE 57-17-6.003  
5. BEARINGS, DISTANCES OR ANGLES SHOWN ARE IN PLAT, DEED AND RECORD UNLESS SHOWN OTHERWISE.  
6. NOT TO BE USED FOR THE ORIGINAL REAL SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO THIS PLAT MUST BE MADE BY THE SIGNING PARTY. ANY SUCH CHANGE IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY.  
7. THIS PLAT WAS NOT CONDUCTED OR ATTEMPTED TO LOCATE ANY UNDERGROUND UTILITIES, FOUNDATIONS OR OTHER FEATURES OTHER THAN THOSE THAT MAY BE SHOWN HEREON.  
8. CHANGES FOR MODIFICATIONS AS SHOWN HEREON ARE TO BE USED FOR THE LOCATION AND CONSTRUCTION OF IMPROVEMENTS.  
9. UNLAWFUL TO REPRODUCE OR TRANSMIT IN ANY MANNER WITHOUT BENEFIT OF A TITLE SEARCH OR ATTORNEY'S TITLE OPINION.

## VICINITY MAP:



## GENERAL INFORMATION:

### CONTACT INFORMATION

OWNER  
SW PROPERTIES & RENOVATIONS OF BREVARD INC  
203 E NEW HAVEN AVE  
MELBOURNE, FL 32901  
E-MAIL: CBRUNOSSON@GMAIL.COM

CIVIL ENGINEER:  
TRAUGER CONSULTING ENGINEERS, INC.  
ERIN TRAUGER, P.E.  
2210 FRONT STREET STE 204  
MELBOURNE, FL 32901  
TEL: 321-652-5316  
E-MAIL: ERIN.TRAUGER@GMAIL.COM

## SITE DATA

TOTAL ACREAGE: 0.21 ACRES	TOWNSHIP:	28S
ADDRESS: 407 THIRD AVE, MELBOURNE BEACH, FL 32951	RANGE:	38E
SCOPE OF WORK: NEW CONSTRUCTION TWO STORY HOUSE	SECTION:	7
TAX ACCOUNT NUMBER: 2736150		
ZONING: RESIDENTIAL		
PROPOSED USE: SINGLE FAMILY RESIDENTIAL		
TOTAL BUILDING COVERAGE = (1300 SF 1ST LEVEL LIVING+393 SF GARAGE + 37 SF ENTRY + 418 SF)/8996 SF		
= 2148 SF /8996 SF		
= 23.9%		

### BUILDING DATA

GARAGE SPACES: 2  
NUMBER OF STORIES: 2  
CROWN OF ROAD: EL. 7.73'  
CODE MINIMUM REQUIRED FFE (18" ABOVE CROWN OF ROAD): EL. 9.25'  
CODE MAXIMUM ALLOWED HEIGHT (+28'): EL. 35.73'

PROPOSED FFE: 9.25'  
PROPOSED HEIGHT OF BUILDING (2ND LEVEL CEILING) : ACTUAL HEIGHT OF BUILDING EL. 26.29' + CROWN OF ROAD EL. 7.73' = EL. 34.02'

BUILDING SETBACKS:	MINIMUM	PROPOSED
FRONT	25'	25'
SIDE/INTERIOR	15'	15'
REAR	25'	48.9'

**AUTHORITY/JURISDICTION:**

TOWN OF MELBOURNE BEACH FLORIDA

**LEGAL DESCRIPTION:**

THE EAST 25 FEET OF LOT 8 AND THE WEST 35 FEET OF LOT 9, BLOCK 19, WILCOX PLAT OF MELBOURNE BEACH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 58, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.

## INDEX OF DRAWINGS:

DRAWING NO.	DESCRIPTION
C-1	COVER SHEET AND SITE PLAN
C-2	GRADING AND DRAINAGE PLAN

GENERAL NOTES:

1. CONTRACTOR SHALL BECOME FAMILIAR AND COMPLY WITH ALL PERMITS AND PERMIT CONDITIONS. CONTRACTOR SHALL OBTAIN PERMISSION FROM ALL NECESSARY PERMIT AGENCIES PRIOR TO COMMENCING SITE WORK.
2. ALL AREAS DISTURBED OFF-SITE SHALL BE RESTORED TO EQUAL OR BETTER CONDITION THAN PRE-CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO PUBLIC ROADWAYS, EASEMENTS, CURBS, SIDEWALKS, DRAINAGE SYSTEMS, BENCHMARKS, UTILITIES AS A DIRECT RESULT OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING ALL BOUNDARY CORNERS AND BENCHMARKS DISTURBED OR DESTROYED DURING CONSTRUCTION REPLACED BY A FLORIDA LICENSED LAND SURVEYOR.
3. THIS PLAN HAS BEEN PREPARED WITH A BASE SURVEY, FOOT PRINT AND LAYOUT PROVIDED BY GW PROPERTIES AND KANE SURVEYING. CIVIL ENGINEER DOES NOT WARRANT THE ACCURACY OF THE RECORD SURVEY NOR HAVE THEY COMPLETED THE DESIGN FOR THE SITE LAYOUT.
4. SEE ARCHITECTURAL/HOME BUILDER DRAWINGS FOR BUILDING DIMENSIONS AND LAYOUT, SEE PLUMBING, MECHANICAL, ELECTRICAL AND LANDSCAPING DRAWINGS FOR UTILITY CONNECTION LOCATIONS, HEATING/GAS, ELECTRICAL AND LANDSCAPING INFORMATION.
5. CLEARING SPECIFICATIONS, UTILITY DESIGN, PAVING AND OTHER SITE MATERIALS AND SPECIFICATIONS ARE NOT INCLUDED. CIVIL ENGINEER NOT RESPONSIBLE FOR THE DESIGN SPECIFICATIONS RELATED TO THESE ITEMS. CONTRACTOR TO CONSULT WITH CIVIL ENGINEER PRIOR TO CONSTRUCTION TO ENSURE SOILS AS ANTICIPATED FOR DESIGN.
6. BOUNDARY, TOPOGRAPHIC, AND UTILITIES INFORMATION INDICATED ON THIS DRAWING IS FROM A FIELD DATA SUPPLIED BY KANE SURVEYING, INC. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE INFORMATION AND PROTECT SAME FROM DAMAGE DURING THE CONSTRUCTION PHASE. DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
7. THIS IS A SPECIFIC PURPOSE DRAWING SET, FOR THE PERMITTING AND THE CONSTRUCTION OF A STORMWATER TREATMENT AREA. THE ENGINEER CERTIFIES THE DRAWINGS ONLY FOR THE CONSTRUCTION OF THAT INFORMATION AND NO OTHER PERMITTING AND CONSTRUCTION USES.
8. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SETBACKS PRIOR TO STARTING CONSTRUCTION.



GW PROPERTIES  
407 3RD AVENUE  
MELBOURNE BEA  
SITE PLAN

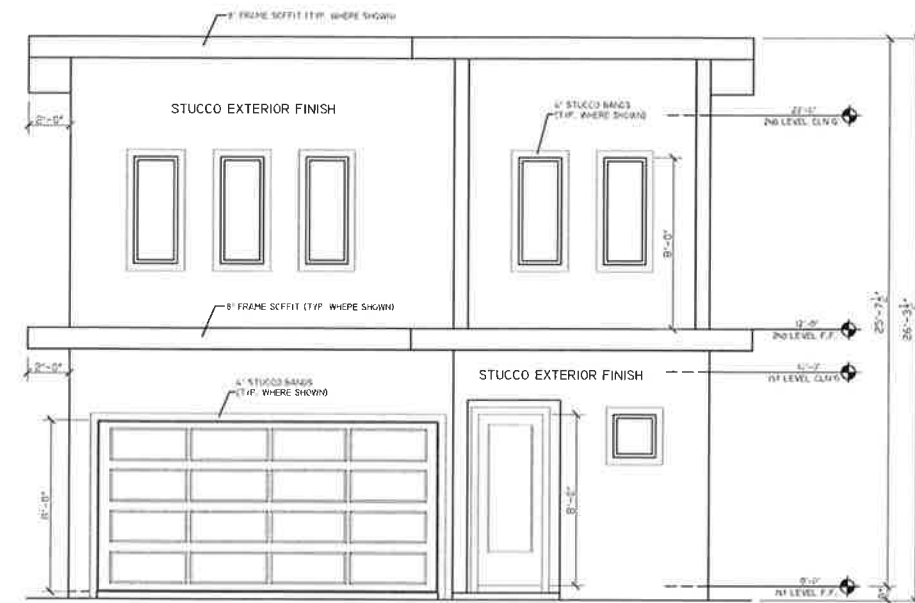
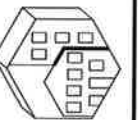
# SITE PLAN



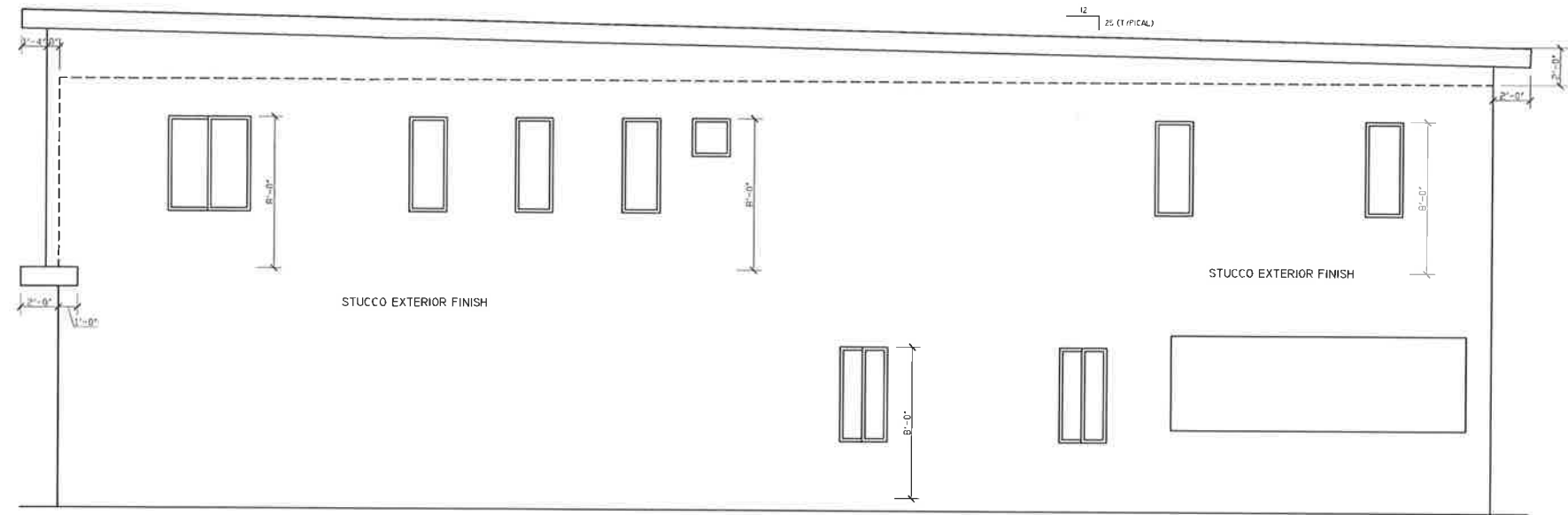
DATE: 11-21-21  
SECTION: 7  
TOWNSHIP: 28S  
RANGE: 38E  
SCALE: 1"=20'  
DRAWING NO.  
**C-1**  
PROJECT: XX-XX

THIS DOCUMENT HAS BEEN ELECTRONICALLY SIGNED AND SEALED  
BY ERIN TRAUGER, PR ON THE DATE AND/OR TIME STAMP SHOWN  
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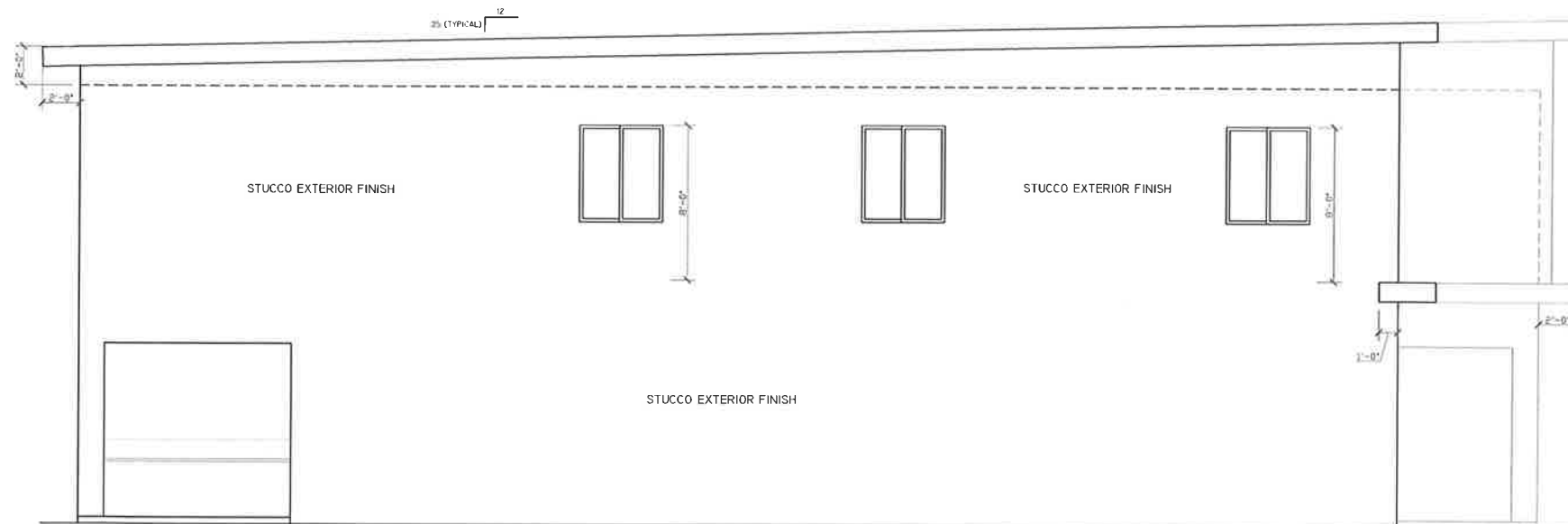




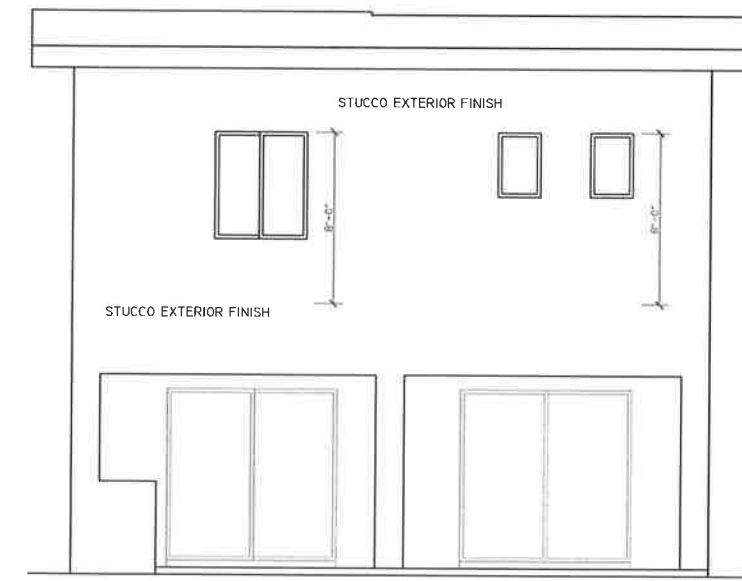
**FRONT ELEVATION**  
SCALE: 1/4"=1'-0"



**RIGHT ELEVATION**  
SCALE: 1/4"=1'-0"



**LEFT ELEVATION**  
SCALE: 1/4"=1'-0"



**REAR ELEVATION**  
SCALE: 1/4"=1'-0"

BUILDING INFORMATION	
SETBACKS LINES:	
FRONT:	25'-0"
SIDE:	15'-0"
REAR:	25'-0"
NUMBER OF STORIES: 2	
CROWN OF ROAD:	EL 7.73'
CODE MINIMUM FINISH FLOOR OF 18" ABOVE CROWN OF ROAD:	EL 9.25'
CODE MAX HEIGHT (+28')	EL 37.25'
ACTUAL HEIGHT OF BUILDING:	25'-7 1/2" (EL 34.88')
MAX ALLOWABLE HEIGHT OF BUILDING:	28'-0" (EL 37.25')

## GENERAL NOTES

- THESE DRAWINGS WERE PREPARED WITH THE ASSUMPTION THE CONTRACTOR/OWNER/BUILDER IS AWARE OF THE COMMON CONSTRUCTION PRACTICES.
- THE CONTRACTOR/OWNER/BUILDER SHALL REVIEW DRAWINGS FOR ACCURACY AND INTERPRETATION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO CONSTRUCTION.
- THE FOUNDATION PLAN SHALL BE VERIFIED BY THE CONTRACTOR/OWNER/BUILDER TO CORRESPOND WITH THE FINAL ENGINEERED TRUSS LAYOUT.
- DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE.

DO NOT SCALE DRAWINGS

## DESIGN CRITERIA

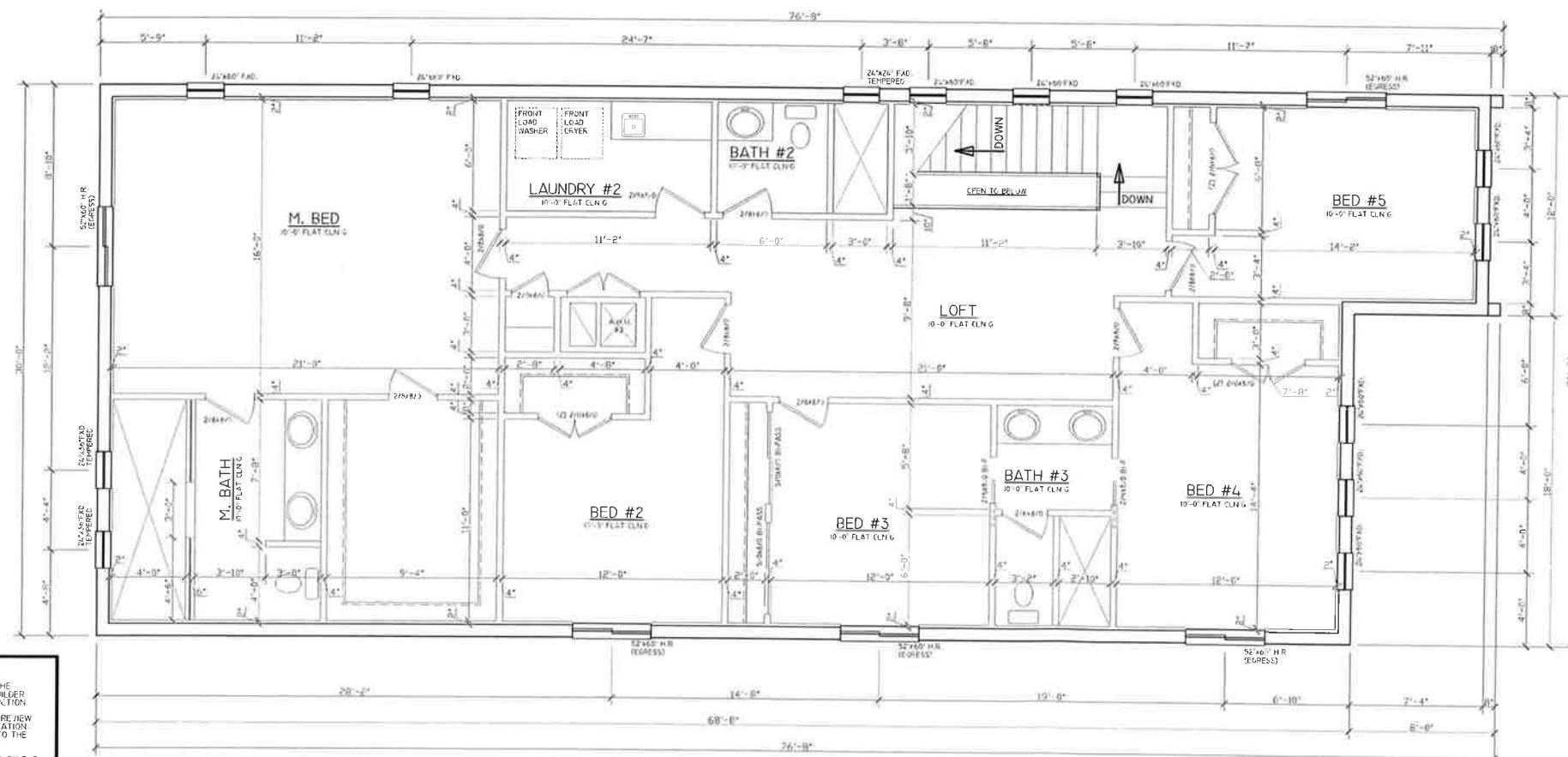
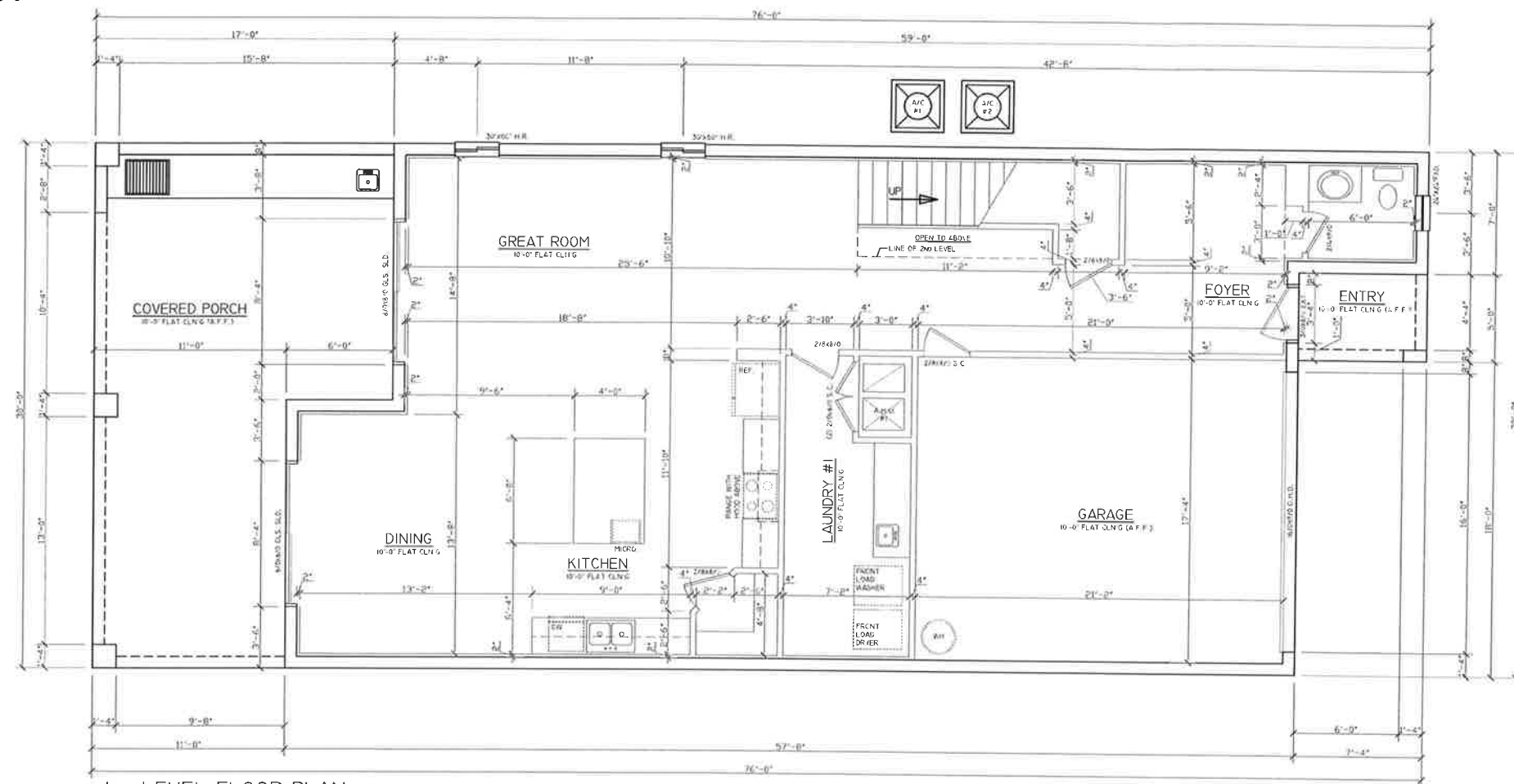
## FULLY ENCLOSED

WIND SPEED	160 MPH
EXPOSURE	D
BUILDING CATEGORY	TWO (2)

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY EDWARD F. SHINSKIE, PE ON THE DATE AND/OR TIME STAMP SHOWN USING A DIGITAL SIGNATURE.

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- GENERAL NOTES**
1. THESE DRAWINGS WERE PREPARED WITH THE ASSUMPTION THE CONTRACTOR/OWNER/BUILDER IS KNOWLEDGEABLE OF COMMON CONSTRUCTION PRACTICES.
  2. THE CONTRACTOR/OWNER/BUILDER SHALL REVIEW DRAWINGS FOR ACCURACY AND INTERPRETATION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO CONSTRUCTION.
  3. THE FOUNDATION PLAN SHALL BE VERIFIED BY THE CONTRACTOR/OWNER/BUILDER TO CORRESPOND WITH THE FINAL ENGINEERED TRUSS LAYOUT.
  4. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE.
- DO NOT SCALE DRAWINGS

AREA TABULATION (11-15-21)	
1ST LEVEL LIVING	1300 SQ. FT.
2ND LEVEL LIVING	2053 SQ. FT.
TOTAL LIVING	3353 SQ. FT.
GARAGE	393 SQ. FT.
ENTRY	37 SQ. FT.
COVERED PORCH	418 SQ. FT.
TOTAL	4201 SQ. FT.

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**REVISIONS**

1	
2	
3	
4	
5	
6	

2105 PALM BAY ROAD STE. 6  
PALM BAY, FL 32909  
TEL: (321) 724-0740  
FAX: (321) 914-4206  
EMAIL: DFRCHETTE150@GMAIL.COM

**EDC**  
ENGINEERING AND DESIGN CONCEPTS, INC.

**-SFR FOR- GW PROPERTIES**  
407 3RD AVE. MELBOURNE BEACH, FL 32951

ENGINEER OF RECORD  
EDWARD F. SHINSKIE, PE  
4707 WILD TURKEY ROAD  
MMMS, FLORIDA 32754  
FLORIDA LICENSE #15115  
PH: 352-865-3225

**A2**  
SHEET 2 OF 2  
DRAWN BY: DANIEL FRECHETTE



## Town Commission Meeting

**Section:** Old Business  
**Meeting Date:** January 19, 2022  
**Subject:** S.E.A. Project F/K/A Beautification Project  
**From:** Town Manager Mascaro

### **Background Information:**

After consideration of the report provided by Dix Height, The Commission has decided to better define its vision of the Beautification Project to reflect more specific objectives and to better define the process in order execute on its vision.

### **Vision Statement:**

***The Purpose of This Project is To Sustain the Town's  
Character While Addressing its Needs.***

***Thank you to Neal Tompkins for developing our Vision statement.***

1. Change the name to the S.E.A. which is an acronym for

**Safety & Successful,**

**Environmental & Ecological,**

**Attractive & Accessible.**

***Thank you to Ali Dennington for the S.E.A. acronym.***

2. Work with Neal Thompkins to develop a process to move the project forward in a logical manner.
3. Contact additional Architectural Planning and Design firms to obtain vision statements

- a) Perry Becker Design
- b) Drummond Carpenter, PLCC (Donald Carpenter)
- c) Mead & Hunt

4. Develop RFP for Design Concepts
5. Review and refine with all stakeholders: residents, business, organizations and boards.
6. Create plan, budget and schedule for implementations

Of course there will be many other considerations through-out the process. This agenda is to define the Vision of the project and some of the objectives.

A very big Thank You to Neal Tompkins for volunteering to develop a course of action to follow and to work with me and the Commission on bringing our goals to fruition.

**Recommendation:.**

1. Consider the approval of the Vision Statement.
2. Consider the approval of the project name S.E.A.
3. Agree to have TM contact the Architectural Planning and Design firms listed.
4. Consider the approval of the steps to move forward: #4, 5, 6.

**Attachments:**

- Outline authored by Neal Tompkins

**VISION STATEMENT  
OCEAN AVENUE CORRIDOR**

**SUSTAINING ITS CHARACTER WHILE ADDRESSING ITS NEEDS**

**Priorities (Safety, Environment and Accessibility - S.E.A.)**

- From ocean to river, a social gathering corridor for family and friends
- A pedestrian friendly streetscape that safely accommodates pass through traffic
- Improve storm water management
- Align with building codes, zoning and DOT constraints
- Encourage and embrace the activities, businesses and organizations that enhance our lives

**Steps**

- Vision statement
- RFP for design concepts
- Review and refine with all stakeholders: residents, businesses, organizations, and boards
- Create plan, budget and schedule for implementation

**RFP process**

- Select Point person to interface with outside resources
- Curate all current inputs of wants, needs and limitations
- Engage with all stakeholders
- Identify funding sources, budgetary planning and timeline expectations
- Try to anticipate and leverage 3<sup>rd</sup> party lagoon and beach enhancement projects
- Require continued design support during any future construction
- Competitive bid process and defined deliverables

**Considerations for RFP**

- Zoning and outstanding issues on ocean avenue corridor, beach and lagoon needs
- List of all businesses, buildings, organizations and residents in corridor
- Ocean park parking lot and storm water issues
- Parking requirements throughout corridor
- DOT right of way considerations
- Safety and Pedestrian friendly
- Thematic elements for cosmetics
- Parking accommodations for cars, golf carts, scooters and bikes
- In flow for the future
- Funding
- Other known challenges and issues



## Regular Town Commission Meeting Agenda Item

**Section:** New Business

**Meeting Date:** January 19, 2022

**Subject:** Proclamation for Human Trafficking Awareness Month January 2022

**Submitted By:** Vice Mayor Barton

**Background Information:**

January 2022 has been designated as National Human Trafficking Awareness and Prevention Month by the Federal Government. This proclamation serves to inspire education and awareness.

**Recommendation:**

- Approve Proclamation establishing January 2022 as Human Trafficking Awareness Month in the Town of Melbourne Beach

**Attachments:**

- Proclamation for Human Trafficking Awareness Month January 2022

**HUMAN TRAFFICKING AWARENESS MONTH**  
**January 2021**

**IT IS HEREBY PROCLAIMED BY THE MAYOR OF THE TOWN OF MELBOURNE BEACH, BREVARD COUNTY, FLORIDA, that:**

**WHEREAS**, January 2022 has been designated as National Human Trafficking Awareness and Prevention Month by the Federal Government; and

**WHEREAS**, human trafficking is the illegal trade in human beings, a public health and humanitarian issue, a form of modern-day slavery and a crime against humanity that violates the most basic human rights and deprives victims of their freedom, and

**WHEREAS**, human trafficking is the recruitment, harboring, transporting, providing, or obtaining of a person for the purpose of a commercial sex act, labor or services induced by force, fraud, or coercion, or in which the person induced to perform such act has not attained 18 years of age, and

**WHEREAS**, there are three main forms of trafficking: sex trafficking, labor trafficking and organ trafficking. Most awareness and information focuses on the first two, but all three exist, and

**WHEREAS**, over 45 million people are being trafficked worldwide and the United States is one of the worst countries globally with an estimated 199,000 incidents occurring each year, and

**WHEREAS**, Florida ranks third in the United States for human trafficking cases reported to the National Human Trafficking Resource Center, with the Central Region having the highest number of cases reported to FDCF, as human traffickers regard Florida as one of the most attractive destination and transit points for their victims, and

**WHEREAS**, human trafficking has increased exponentially as the fastest growing and third largest international criminal enterprise behind illegal drugs and arms trades, generating over \$150 billion dollars, specifically involving CSAM, pornography and online exploitation and often involves family members or those personally known to the victim, and

**WHEREAS**, human trafficking community awareness initiatives, interventions and education of parents and caregivers are critical to the fabric of our society as the average age of recruitment into trafficking is 12-14 years of age and half of all trafficking victims are children, and

**WHEREAS**, we commit ourselves to eradicating the evil of enslavement. Human trafficking is a modern form of the oldest and most barbaric type of exploitation and we proclaim it has no place in the world, our great nation, or our Town; and

**WHEREAS**, more awareness and education are crucial to eradicating human trafficking in our communities, state, and nation; and

**WHEREAS**, ANEW Life International (ANEW) is a local faith-based not-for-profit organization serving as a trusted partner to raise awareness, reduce vulnerability and provide resources and services to victims, survivors and our community, and

**NOW, THEREFORE, I**, Wyatt Hoover, Mayor of the Town of Melbourne Beach, by virtue of the authority of said office, do hereby proclaim the month of January 2022 as:

**HUMAN TRAFFICKING AWARENESS MONTH**

in the Town of Melbourne Beach, Florida, and urge all citizens to protect the vulnerable and end human trafficking through continued prevention, prosecution, education, and awareness and to send a strong message to perpetrators that Florida is a zero-tolerance state for all forms of human trafficking and that we are committed to protecting victims' rights and restoring their dignity and freedom.



**IN WITNESS WHEREOF**, I have hereunto set my hand and caused the Seal of the Town of Melbourne Beach to be affixed this Nineteenth day of January, Two Thousand Twenty-two.

\_\_\_\_\_  
Wyatt Hoover, MAYOR

ATTEST:

\_\_\_\_\_  
Jennifer Torres, TOWN CLERK

## Regular Town Commission Meeting

**Section:** New Business

**Meeting Date:** January 19, 2022

**Subject:** Update Code of Ordinance's to include a Definition of Kitchen

**Submitted By:** Town Manager Mascaro

### Background Information:

The Planning & Zoning Board wanted to define the word KITCHEN in the Town Code of Ordinance's. The Board felt providing a definition of the word kitchen, would provide a tool for Code Enforcement to bring an action against a homeowner who has 2 kitchens. A single family dwelling with 2 kitchens would be considered multifamily, which isn't a permitted use under the Code. P&Z also felt having a definition of kitchen would discourage single family dwellings from becoming multifamily dwellings for the purpose of having a rental unit.

.

**Recommendation:** 1. Consider the definition of Kitchen provided by the Planning & Zoning Board.

2. Consider including the definition of kitchen in the Town's Code of Ordinances.

### Attachments:

- P&Z draft minutes

# Town of Melbourne Beach

## DRAFT MINUTES

### PLANNING & ZONING BOARD MEETING TUESDAY JANUARY 11, 2022 @ 6:30pm COMMUNITY CENTER – 509 OCEAN AVENUE

**Board Members:**

Chair David Campbell  
Member Kurt Belsten  
Member April Evans  
Member Douglas Hilmes  
Member Daniel Gonzalez

**Staff Members:**

Town Manager Elizabeth Mascaro  
Town Clerk Jennifer Torres  
Town Attorney Clifford Repperger  
Town Planner Corey O’Gorman

Notice: Commission discussion and possible action may occur during any Commissioner Meeting. The following sections of the Agenda are always subject to such discussion and possible action without further motion by the Commission: Changes to the Agenda, Public Hearings, Old Business, and New Business.

The public is advised that members of the Town Commission may be in attendance and participate in proceedings of the board. Attorney General Opinions (AGO) AGO 91-95, AGO 98-14, AGO 2000-68.

PURSUANT TO SECTION 286.0105, FLORIDA STATUTES, THE TOWN HEREBY ADVISES THE PUBLIC THAT: In order to appeal any decision made at this meeting, you will need a verbatim transcript of the proceedings. It will be your responsibility to ensure such a record is made. Such person must provide a method for recording the proceedings verbatim as the Town does not do so.

In accordance with the Americans with Disability Act and Section 286.26, Florida Statutes, persons needing special accommodations for this meeting shall, at least 5 days prior to the meeting, contact the Office of the Town Clerk at (321) 724-5860 or Florida Relay System at 711.

### 1. CALL TO ORDER

Chairman Campbell called the meeting to order at 6:30 p.m.

### 2. ROLL CALL

Town Clerk Torres conducted the roll call

Present:

Chairman Campbell  
Vice Chairperson Belsten  
Member Hilmes  
Member Evans  
Member Gonzalez

Staff Present:

Town Manager Mascaro  
Town Attorney Cliff Repperger  
Town Planner Corey O’Gorman  
Town Clerk Jennifer Torres  
Building Department Beth Crowell

### 3. APPROVAL OF MINUTES

- December 7, 2021 Draft Minutes

Member Evans asked about the definition of kitchen and queried as to whether we kept microwave in the definition. The Board agreed to remove the strike-through over “or other related device for cooking” and keep it as part of the definition. Therefore the definition will read:

*Kitchen means any indoor room or area containing all of the following equipment,: Sink and/or other device for dish washing, stove or other device for cooking, refrigerator or other device for cool storage of food, cabinets and/or shelves for storage of equipment.*

**Vice Chair Belsten moved to approve the December 7, 2022 draft minutes with correction; Member Evans seconded; Motion carried 5-0.**

### 4. NEW BUSINESS

#### A. Site Plan Approval for 419 Avenue B

Chair Campbell said the plan shows a 6-foot fence going past the front building line – which they do not allow. In addition proposed height is different.

Building Assistant Crowell explained the addition in height was a technical issue.

Member Hilmes said the fence in question appears to already exist. The owner, who was present, acknowledged that is the case.

Building Assistant Crowell said the fence is actually the neighbors backyard fence.

**Member Hilmes moved to approve the site plan for 419 Avenue B; Member Evans seconded; Motion carried 5-0.**

B. Site Plan Approval for 407 3<sup>rd</sup> Avenue

**Member Gonzalez moved to approve the site plan at 407 3<sup>rd</sup> Avenue; Member Evans seconded; Motion carried 5-0.**

## **5. PUBLIC HEARINGS**

## **6. OLD BUSINESS**

## **7. PUBLIC COMMENT**

Please limit comments to items that are not on the agenda

## **8. REPORTS: TOWN MANAGER AND TOWN ATTORNEY**

## **9. ITEMS TO BE ADDED TO THE AGENDA FOR FUTURE MEETINGS**

Member Hilmes asked about the definition of a pool. He said the Town does not seem to have setbacks for spas. He mentioned a neighbor whose spa is about 2-feet away from neighboring fence and asked the board if they should look at defining the setbacks for a spa.

Town Manager Mascaro said permits are not required because they are not a permanent structure.

Chairman Campbell said the board should change the language to include pool, spa, and hot tub. Exception is a kiddie pool that can be picked up and moved. He asked the Town Manager to add this to their list of definitions.

Some discussion related to permitting and setbacks ensued.

## **10. ADJOURNMENT**

**Vice Chair Belsten moved to adjourn the meeting; Member Evans seconded; Motion carried 5-0.**

The meeting adjourned at 6:56 p.m.

## Regular Town Commission Meeting Agenda

**Section:** New Business

**Meeting Date:** January 19, 2022

**Subject:** Resolution 2022-01 – Budget Amendment. Transfer Expenditures within the General Fund.

**Submitted By:** Jennifer Kerr, Finance Manager

### Background Information

Transfer funds within the General Fund to cover unexpected cost to replace the tennis court lights.

According to Town Code of Ordinances, 15-6 BUDGET AMENDMENTS AUTHORIZED at any time in any budget year, the Town Commission may amend the adopted budget or transfer any unencumbered balance, or portion thereof, from one fund, office, department or agency to another by approval of a resolution providing for same.

**Resolution 2022-01 complies with the ordinance.**

### Recommendation:

Motion to approve Resolution 2022-01

### Attachments:

- Resolution 2022-01

**RESOLUTION NO. 2022-01****A RESOLUTION OF THE TOWN OF MELBOURNE BEACH, BREVARD COUNTY, FLORIDA, AMENDING THE BUDGET FOR THE FISCAL YEAR 2021-2022; AMENDING RESOLUTION NO 2021-17; AMENDING THE EXPENDITURE BUDGET FOR THE GENERAL FUND; ESTABLISHING AUTHORITY FOR THE TOWN MANAGER TO IMPLEMENT THE BUDGET; AND PROVIDING FOR ADOPTION.**

**WHEREAS**, the Town Commission adopted the Budget for the Town of Melbourne Beach for the fiscal year beginning October 1, 2021 and ending September 30, 2022 by Resolution No 2021-17; and

**WHEREAS**, this Resolution amends Resolution No. 2021-17 covering the period October 1, 2021 to September 30, 2022; and

**WHEREAS**, the Town Commission of the Town of Melbourne Beach has conducted the requisite public hearing(s) on this resolution as required by Section 166.241, Florida Statutes and Section 15-6, Melbourne Beach Code of Ordinances.

**NOW, THEREFORE, BE IT RESOLVED** by the Town Commission of the Town of Melbourne Beach, Florida, as follows:

Section 1. That the 2021-2022 Town Budget for the General Fund and Resolution No 2022-01 adopting the aforesaid amended budget, is hereby amended with the following amendments. Not all funds or accounts are depicted. Funds, accounts, and departmental budgets or appropriations not shown are not amended. The overall budget bottom is not increased.

#1. Transfer Funds within the General Fund (001):

Transfer \$13,437.20 from Dept. 19 (General) Line item: 001-19-510.49.98 (Contingency) to Dept. 72 (Parks) Line item: 001-72-570.64.01(Capital Projects) to cover the cost to replace the tennis court lights.

Section 2. That the amount shown in Section 1. of the Resolution is hereby appropriated out of the treasury of the Town and any revenue accruing to the Town available for said purposes of the Town's budgetary accounts.

Section 3. That the Town Manager is hereby authorized and directed to proceed with the implementation of the service programs and projects provided for in the budget. Such implementation is to be consistent with the provisions of the Town Code of Ordinances and policies established by the Mayor and Town Commission.

Section 4. That the appropriations and authorizations provided in this resolution are hereby made effective as of January 19, 2022.

**PASSED AND ADOPTED** by the Town Commission of the Town of Melbourne Beach, Brevard County, Florida, at its regular meeting this 19th day of January, 2022.

TOWN OF MELBOURNE BEACH,  
FLORIDA, a Florida Municipal Corporation

By: \_\_\_\_\_  
Wyatt R. Hoover, Mayor

ATTEST:

\_\_\_\_\_  
Jennifer Torres  
Town Clerk



## Regular Town Commission Meeting Agenda Item

**Section:** New Business

**Meeting Date:** January 19, 2022

**Subject:** Temporary structural donation to Fire Department for firefighter training purposes before demolition.

**Submitted By:** Fire Chief Gavin Brown

### Background Information:

1. Donated structures provide an invaluable training opportunity for our volunteer firefighters to practice real world skills and scenarios that are hard to simulate with training props. It also provides us the opportunity to work with other surrounding agencies for mutual aid training.
2. A letter included in the demolition permit packet would help educate residents planning a demolition on the benefits of temporarily donating the structure to the Fire Department for training.
3. The cost of lumber and supplies needed to operate the roof prop borrowed from Indian Harbor Beach is nearly \$600. By using the Fire Department's training budget to cover the demolition permit fee (\$75) it would provide the Fire Department with greater training opportunities at an overall cost savings to the Town compared to using training props.

### Recommendation:

- 1) Request approval to include a 1 page letter in the demolition permit packet soliciting the request for temporary structural donation to the Fire Department for purposes of firefighter training before demolition occurs.
- 2) Request approval to allow the Fire Department to use training budget to cover the \$75 demolition permit fee as an incentive for property owners to donate structure before demolition.

.

**Attachments:** None



## Town Manager Report

1. 1989 parking permits issued as of 1/14/2022
2. The current parking meter revenues since March 2021-116,160.25.
3. Staff spent two days with BS&A on data confirmation for finance, code, vacation rentals, and building. The new software will be an amazing step forward in our ability to coordinate revenues and expenses, tie Town financial records to the Florida Department of Finance, record assets and inventory at time of receipt. The Building Department will have a comprehensive history of permits, variances, code enforcement, P&Z recommendations, fire inspections, and invoices tied to each property by address. The software will automatically issue letters, BTR's, approvals, denials, code enforcement violations and vacation rental certificates.
4. The recommended changes to the Comprehensive Plan have been sent to the State for approval. The Comprehensive Plan will come before the Commission in February for approval and to hear the first reading of the 5 Year Capital Improvement Plan by Ordinance as required by the State.
5. Attended P&Z meeting- 2 site plans approved.
6. Park Board held a Star Gazing event on January 6<sup>th</sup>, which was attended by @ 50 people. A request has been made to have this same event again in September.
7. Attended Commission workshop to discuss Dix Hite proposal.
8. Met with Neal Thompkins to discuss structure and process on how to move forward with the S.E.A. project
9. New Year's Day Walking Tour led by Frank Thomas and Bruce Morgan was very well attended.
10. The Town will provide a better sound system for next year's walk as the current system did not allow everyone to clearly hear what was being said.
11. Detective-Corporal Sadler received a special recognition from Chief Griswold for locating the driver and vehicle that fled the scene of the fatal hit and run of on /1/4/2022 in Juan Ponce De Leon parking lot.
12. The Police Department welcomed Leon Bennett as their newest Officer, who replaces Officer Chris Smith.
13. Public Works employee, Joe Matthews is now working Wednesday through Sunday. Joe will manage the trash in the parks and crossovers on the weekends in addition to his regular duties.

## Building Department Report

December 2021

- 33 permits issued
- Construction Value of the 33 permits totaled \$847,076.00
- Total Permit fees \$9,085.80
- 103 inspections completed
- 48 plans reviewed
- 2 Site Plan review for P&Z
- 2 BTR reviews
- 6 Vacation Rental inspections
- 1 New homes

Permit	Permit	Issue	Company	Address
MB21_447	SCREEN ENCLOSURE, INSTALL			
		12/28/2021	Tripod Aluminum Inc.	307 AVENUE B
MB21_574	WINDOWS/DOORS/GARAGE DOOR, REPLACE			
		12/20/2021	INNOVATIVE SOLUTIONS CONSTRUCTION INC	317 AVENUE A
MB21_582	POOL RESURFACE			
		12/8/2021	POOL DOCTOR OF BREVARD INC	607 SHANNON AVE
MB21_587	WINDOWS AND DOORS, REPLACE			
		12/2/2021		510 BANYAN WAY
MB21_588	PAVERS, DRIVEWAY REPLACE			
		12/21/2021	Surfside Pavers Inc.	208 ASH AVE
MB21_609	PAVERS, WALKWAY			
		12/9/2021	ALLIANCE PAVERS	309 SURF RD
MB21_611	NEW INGROUND POOL			
		12/1/2021	Space Coast Shotcrete Inc	307 SUNSET BLVD
MB21_615	PAVERS, DRIVEWAY/WALKWAY			
		12/1/2021	Dave Nielsen LLC	606 SHANNON AVE
MB21_616	PLUMBING, REPLACE			
		12/20/2021	Drain Mechanics LLC	512 MAGNOLIA AVE
MB21_618	SHED			
		12/30/2021		303 HIBISCUS TRL
MB21_619	POOL, RESURFACE			
		12/8/2021	POOL DOCTOR OF BREVARD INC	204 DOGWOOD AVE
MB21_620	SEAWALL			
		12/21/2021	Shoreline Marine Contractors LLC	402 RIVER VIEW LN

<i>MB21_622</i>	NEW POOL	12/8/2021	Space Coast Shotcrete Inc	304 FIRST AVE
<i>MB21_625</i>	REROOF	12/10/2021	Spilker Roofing & Sheet Metal	207 DOGWOOD AVE
<i>MB21_626</i>	TEMPORARY POWER POLE	12/9/2021	PETES ELECTRIC LLC	402 RIVER VIEW LN
<i>MB21_628</i>	FENCE AND GATE, REPLACE	12/10/2021	U S CURB APPEAL	300 THIRD AVE
<i>MB21_629</i>	POOL RESURFACE	12/13/2021	POOL RENO CREW LLC	502 HIBISCUS TRL
<i>MB21_631</i>	HVAC, REPLACE	12/9/2021	CLIMATE EXPERTS, INC	507 HARLAND AVE
<i>MB21_632</i>	POOL RESURFACE	12/10/2021	All Star Pools of Brevard Inc	2208 ROSEWOOD DR
<i>MB21_634</i>	PAVERS	12/15/2021		319 THIRD AVE
<i>MB21_637</i>	HVAC, REPLACE	12/20/2021	Ocean Air and Heat Inc	536 SUNSET BLVD
<i>MB21_638</i>	ELECTRIC, OVERHEAD TO UNDERGROUND	12/15/2021		515 MAGNOLIA AVE
<i>MB21_639</i>	WINDOWS AND DOOR, REPLACE	12/21/2021	Window World of Central Florida Inc	602 CITRUS CT
<i>MB21_640</i>	DUCTWORK, REPLACE	12/15/2021	Extreme Air & Electric Inc.	517 AVENUE A

<i>MB21_642</i>	RE ROOF, FLAT	12/15/2021	Property Renovations and Construction LLC	210 THIRD
<i>MB21_644</i>	RE ROOF AND SOLAR FAN, INSTALL	12/22/2021	Hippo Roofing	414 SECOND AVE
<i>MB21_646</i>	NEW HOME	12/18/2021	M.E. Miller General Contractor, LLC	402 RIVER VIEW LN
<i>MB21_651</i>	PAVERS	12/21/2021	Complete Landscapes by Chris	303 HIBISCUS TRL
<i>MB21_653</i>	GARAGE DOOR, REPLACE	12/22/2021	PRECISION DOOR SERVICES OF BREVARD	1706 ATLANTIC ST 3A
<i>MB21_656</i>	INTERIOR DEMOLITION	12/28/2021	GELBERT ENTERPRISES INC.	1905 ATLANTIC ST 325
<i>MB21_658</i>	RE ROOF W/FLAT	12/28/2021	G&G ROOFING CONSTRUCTION INC	502 ATLANTIC ST
<i>MB21_661</i>	MECHANICAL, HVAC	12/30/2021	CAMPBELL'S COOLING AND HEATING INC	419 OCEAN AVE 201
<i>MB21_662</i>	HVAC, REPLACE 2 UNITS	12/30/2021	CCS SERVICES LLC	302 OCEAN AVE

## Public Works Activities

December 2021

Significant time Christmas Decorations

Swale Cherry

Replaced 5 ft. section of sidewalk 800 block Riverside

Placed plexiglass cover over painting at Pier

Moved Finance Office

Placed shell rock at area Town Sign at Exxon and repaired irrigation system

Repaired irrigation pump at Ryckman

Located wi fi antennae's for computer experts

Ran temporary irrigation line to water new plants on dune Ocean Park

Tennis court lights installed by contractor

Replaced doors on our dumpsters

Trimmed area 3<sup>rd</sup> and pine

Worked on Christmas tree electrical

Stop signs installed with crossbars per Commission direction

Replaced card reader on Ryckman Parking kiosk

Worked with Sun Plumbing replaced section of sewer line causing back up in Ryckman bathroom

Installed swing at 5<sup>th</sup> ave river park

Storage yard completely cleaned and road base put down

Installed fire ring Ocean Park

Street sweeping Pine and Riverview

Pot hole repair

Cleared areas around oaks on Oak (26)

**CODE ENFORCEMENT MONTHLY REPORT: December 2021**

NEW CASES FOR THE MONTH Of December

<u>CASE NUMBER</u>	<u>DATE</u>	<u>ADDRESS</u>	<u>CODE VIOLATION</u>	<u>DATE CLOSED</u>	<u>STATUS</u>
2021-CE-158	12/1/2021	210 Cherry Drive	Tree cuttings in street	12/2/2021	Left door tag,copy of c
2021-CE-159	12/1/2021	401 Andrews Drive	Trailers in Drive	12/22/2021	Talked to owner 12/12
2021-CE-160	12/9/2021	445 River View Lane	Trailer and boat in drive	12/23/2021	Trailer and boat in driv
2021-CE-161	12/9/2021	411 Ancher Key	Trailer in Drive	12/20/2021	Talked to owner will m
2021-CE-162	12/15/2021	411 Atlantic Street	trees overgrown on street	12/27/2021	Left door tag and Copy
2021-CE-163	12/16/2021	504 Avenue A	Boat and trailer in drive	12/19/2021	Talked to owner, she w
2021-CE-164	12/20/2021	802 Pine St.	Trees on Corner	12/28/2021	Left door tag with copy
2021-CE-165	12/20/2021	425 Avenue A	Pine trees in Right of Way	X	Talked to Daughter tol
2021-CE-166	12/20/2021	1003 Pine St	Tree obstructing View of traffic	12/22/2021	Knocked on door, No a
2021-CE-169	12/1/2021	201 Third Avenue	Boat not behind Gate	X	Owner has gate on Ori
2021-CE-167	12/20/2021	450 Sands Key	Tree cuttings in street	12/23/2021	Knocked on door no ar
2021-CE-168	12/25/2021	502 Colony St.	Commercial trailer on St.	X	Getting ready to trim t

**OPEN/ACTIVE CASES FROM PRIOR MONTHS**

<u>CASE NUMBER</u>	<u>DATE</u>	<u>ADDRESS</u>	<u>VIOLATION</u>	<u>ACTION</u>
2021-CE-125	9/16/2021	400 Avenue B	Failed Short term ins.	X
2020-CE-198	11/20/2020	303 Beau Jean	Shed without permit	X
1021-CE-063	6/9/2021	409 Third Avenue	Yard overgrown	X

**PRIOR CASES CLOSED IN December**

2021-CE-166	12/20/2021	1003 Pine St	Tree obstructing View of traffic	12/22/2021	Knocked on door, No a
2021-CE-167	12/20/2021	450 Sands Key	Tree cuttings in street	12/23/2021	Knocked on door no ar
2021-CE-158	12/1/2021	210 Cherry Drive	Tree cuttings in street	12/2/2021	Left door tag,copy of c
2021-CE-159	12/1/2021	401 Andrews Drive	Trailers in Drive	12/22/2021	Talked to owner 12/12
2021-CE-160	12/9/2021	445 River View Lane	Trailer and boat in drive	12/23/2021	Trailer and boat in driv
2021-CE-161	12/9/2021	411 Ancher Key	Trailer in Drive	12/20/2021	Talked to owner will m
2021-CE-162	12/15/2021	411 Atlantic Street	trees overgrown on street	12/27/2021	Left door tag and Copy
2021-CE-163	12/16/2021	504 Avenue A	Boat and trailer in drive	12/19/2021	Talked to owner, she w



2021-CE-155	11/21/2021	422 Third Avenus	Corner blocked by Bush.	12/15/2021	Knocked on door Left 1
2021-CE-085	6/27/2021	411 Oak Street	Short term Rental	12/12/2021	Sent violati Called 10/0
2021-CE-155	5/19/2021	602 Shannon Avenu	Short term Rental	12/15/2021	Issued NOV 05/20
2021-CE-164	12/20/2021	802 Pine Street	Bushes on st. Overgrown	12/23/2021	Bushes trimmed Case

NUMBER OF CASES OPEN THIS MONTH	12
NUMBER OF CASES CLOSED THIS MONTH	12
NUMBER OF CASES OPEN AND CLOSED SAME MONTH	9
TOTAL NUMBER OF CASES STILL OPEN	6
NUMBER OF CASES THAT WENT TO Hearing	1

PREPARED BY Robert Schaefer, CODE ENFORCEMENT OFFICER,

ode and my card Cuttings Removed 12/2/21 Case Closed  
 /21 She said it would be moved next week Removed Case Closed  
 e Left door tag asked them to call me 12/23/21 boat gone Case closed  
 ove this week 12/20/21 Trailer moved Case Closed  
 of code and my business card 12/27/2021 Trees Trimmed Case Closed  
 ould fix by next week 12/19/21 Boat moved to side of home Case closed  
 / of code and my business card 12/23/21 Bushes trimmed Case closed  
 d her violation she would tell her dad  
 nswer Left door tag and business card, 12/22/21 Bushes trimmed. Case closed  
 der  
 nswer left door tag and copy of card 12/23/21 Cuttings gone Case closed  
 he sea grapes.

aiting on his report Owen will not use until corrected NOV issued  
 cement Special Magistrate  
 cement Special Magistrate

nsver Left door tag and business card, 12/22/21 Bushes trimmed. Case closed  
 nswer left door tag and copy of card 12/23/21 Cuttings gone Case closed  
 ode and my card 12/2/21 Cuttings gone Case Closed  
 /21 She said it would be moved next week Removed Case Closed  
 e Left door tag asked them to call me 12/23/21 boat gone Case closed  
 ove this week 12/20/21 Trailer moved Case Closed  
 of code and my business card 12/27/2021 Trees Trimmed Case Closed  
 ould fix by next week 12/19/21 Boat moved to side of home Case closed

123

Tag, Card and copy of Code NOV issued 11/29.2021. 12/15/21 land. Trimmed Csa closed

14/21 Left message      Application Complete Case Closed 12/12/2021

Application Filed Case Closed

closed



## **Melbourne Beach Police Department**

### **Monthly Report**

### **December 2021**



In December, we had a total of 3 arrests ranging from Driving Under the Influence, Criminal Mischief, Driving While License Suspended, and Battery.

House checks/residential and business checks are continued daily. The officers and I continue to be proactive as they conducted several "directed traffic enforcement details" throughout the town. Our radar trailers are also placed in various locations throughout the city to assist in deterring speeders.

We had 6 animal complaints/calls this month consisting of;

3 Dogs on the beach

2 Barking Dogs

1 Found Dog

One of our areas of high volume calls consists of Injured/Ill persons. These calls are unpredictable, and each of the officers is First Responder/CPR/AED certified and is first on the scene to provide medical treatment as necessary.

All reports and calls for service are checked each day by either myself or a supervisor. Depending on the type of crime we have, procedures are in place to take the appropriate action to resolve the issue.

#### **Community Event**

MBVFD Children's Christmas Parade was successful. Thank you to all the volunteers!

#### **PD News**

We are in the process of picking a movie and a date TBD

SRO Dovale meets with the Threat Assessment Team regarding pre-post-action plans on fire drills and various scenarios.

We hope everyone had a wonderful Christmas and look forward to a safe and healthy 2022.

The Melbourne Beach Police Officers and I are committed to community policing and keeping our town safe, which is our #1 priority.

Please see the attachments:

- Sergeant's monthly reports

Stay Safe, Chief Melanie Griswold

**MELBOURNE BEACH POLICE DEPARTMENT****Jason Hinchman****Sergeant****507 Ocean Ave, Melbourne Beach, FL 32951****Phone: (321) 723-4343****Fax: (321)725-3253****Monthly Report December 2021**

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- 12/02: Vehicle Burglaries on South Palm Avenue, Hibiscus Trail, Flamingo Lane, and Riverside Drive. Cash was stolen from vehicles. These cases are still under investigation.
- 12/04: Fraud 1900 block Cedar Lane. The male subject sent a check, and an unknown subject received it and stole money from the fraudulent use of the check. This case is under investigation.
- 12/04: Traffic Arrest at Oak Street and Atlantic Street. A traffic stop was conducted on a male subject for an expired temp tag. The male subject was issued a court date for driving while license suspended and failure to register motor vehicle.
- 12/10: Traffic Crash at Oak Street and Sunset Blvd (2) vehicles involved. Minor damage to both vehicles. No injuries were reported on scene, and both vehicles were removed by the drivers.
- 12/12: Traffic Crash at Second Avenue and Atlantic Street (2) vehicles involved. Both vehicles had minor damage and were removed by their drivers.
- 12/19: Grand Theft in the 300 block of Ocean Avenue. An unknown male stole a bicycle from the bicycle rack. This case is still under investigation.
- 12/26: Felony Violation of Probation arrest in the 1000 block of Atlantic Street. When the male subject was placed in the booking cell, he caused damage to the cell. The male subject was also charged with criminal mischief and resisting officers.
- 12/27: Suicide in the 500 block of Magnolia Avenue of a male. Brevard County Sheriff's Office is investigating the incident.
- 12/27: Domestic Verbal in the 200 block of Cherry Drive. Two females were verbally arguing, with no physical contact between the parties.
- 12/28: Trespass Warning issued in the 900 block of Ocean Avenue. The male subject caused a disturbance in a local business, and an employee had him trespass.

**MELBOURNE BEACH POLICE DEPARTMENT****Steven Kino****Sergeant****507 Ocean Ave, Melbourne Beach, FL 32951****Phone: (321) 723-4343****Fax: (321)725-3253****MEMORANDUM**

TO: LT. Smith

FROM: Sgt. Kino

RE: December Monthly Call Report

DATE: 01/01/2022

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**12/1-** Criminal Mischief in the 500 block of Colony St. W/M questioned and a Capias Request sent to SAO.

**12/1-** Baker Act in the 2000 block of Oak St. W/F was transported to the hospital by BCFR then transferred to COC.

**12/1-** Baker Act in the 500 block of Ocean Ave. W/M advised he took an unknown amount of pills to harm himself.

**12/7-** DUI arrest in the 1300 block of S Miramar Ave in Indialantic. The vehicle was speeding and then finally stopped in that area. W/M was arrested for DUI.

**12/16-** Overdose in the 400 block of Atlantic St. W/M was transported to HRMC for further treatment.

**12/16-** Recovered stolen gun from out of state, in the area of South Palm and Poinsettia. Recovered on a traffic stop, no arrest made.

**12/17-** Traffic arrest in the area of Oak St. and Beau Jean Ave. W/M arrested for driving while license suspended with knowledge.

**12/18-** Battery in the area of South Palm Ave. and Magnolia Ave. W/M arrested.

**12/30-** Domestic disturbance in the 500 block of Poinsettia Rd. Both parties separated for the remainder of the evening. A Capias Request was completed and sent to SAO.

**12/30-** Domestic verbal in the 500 block of Magnolia Ave. Parties on scene advised that it was only verbal.





# Melbourne Beach Police Department



	DEC	NOV	OCT	SEPT	AUG	JULY	JUNE	MAY	APR	MAR	FEB	JAN	YTD
Total Calls for Service	924	966	1236	1157	1359	1421	1113	912	788	863	770	815	12324
Total Felonies	9	0	7	2	4	3	3	9	2	9	9	2	59
Total Misdemeanors	14	7	21	6	17	13	8	6	9	11	8	8	128
Total Capias Requests	1	0	2	0	1	0	1	2	0	0	1	2	10
Total Traffic Arrests	2	2	1	4	4	3	1	0	2	1	0	0	20
Total Other Arrests	3	1	5	0	5	6	5	1	3	2	5	3	39
911 Investigation	26	18	26	27	18	25	20	26	19	31	18	20	274
Alarm Business	5	5	4	7	3	5	3	2	1	4	1	4	44
Alarm Residence	3	3	4	5	6	2	4	3	0	1	5	6	42
Alarm Vehicle	0	0	0	1	0	1	0	0	0	0	0	0	2
Animal Complaint	6	2	10	3	6	5	2	10	14	8	22	8	96
AOA Fire	3	7	1	4	3	2	5	1	4	6	3	4	43
AOA LEO	20	17	24	19	21	16	20	16	16	22	19	18	228
Assist Citizen	5	10	6	10	3	7	8	9	12	7	3	4	84
Assist DCF	0	0	1	1	0	0	0	1	1	1	1	1	7
Assist Motorist	0	1	1	0	2	2	2	1	2	4	2	2	19
Attempt To Contact	0	1	6	7	1	5	4	2	1	3	5	0	35
Baker Act	2	0	0	2	2	2	0	0	0	1	0	1	10
Battery	1	1	0	1	1	0	0	2	1	0	1	1	9
Burglary - Residence	0	0	1	0	0	0	0	0	0	0	0	0	1
Burglary - Vehicle	1	0	0	0	0	0	0	0	1	1	1	0	4
Child Abuse	0	0	1	0	0	0	0	0	0	0	0	0	1
Civil Matter	2	1	4	2	2	1	4	2	2	3	3	3	29
Crash	2	3	5	9	2	4	7	9	9	2	4	3	59
Criminal Mischief	1	3	3	1	1	2	2	3	1	0	0	2	19
Death Investigation	0	0	1	0	0	0	0	0	2	2	1	1	7
Disturbance Domestic	3	1	2	1	3	2	2	2	2	2	2	2	24
Disturbance Domestic Battery	1	0	1	0	1	1	2	1	1	1	1	1	11
Disturbance	2	1	3	0	0	1	0	3	1	1	0	3	15
Disturbance Noise	2	0	5	3	1	6	5	3	3	0	1	5	34
Disturbance Verbal	0	0	1	0	3	0	0	0	0	4	1	1	10
Drowning	0	0	0	0	0	0	0	0	0	0	1	0	1
Fraud / Forgery	1	0	2	0	0	1	0	2	0	2	1	0	9
Harassment	0	0	0	0	0	1	0	0	0	0	0	1	2



# Melbourne Beach Police Department



	DEC	NOV	OCT	SEPT	AUG	JULY	JUNE	MAY	APR	MAR	FEB	JAN	YTD
House Checks	78	173	237	257	309	330	229	77	40	74	44	68	1916
Illegal Parking	31	26	43	81	58	59	48	61	39	18	24	18	506
Information	11	9	10	13	5	15	15	15	6	14	19	8	140
Injured/Ill Person	17	12	14	14	22	21	23	17	13	19	16	11	199
Intoxicated Driver	1	0	1	0	0	3	2	0	2	0	4	1	14
Intoxicated Person	1	0	0	0	0	0	0	0	1	0	0	0	2
Investigation	2	0	2	1	0	2	3	3	8	6	0	0	27
Marchman Act	0	0	0	0	0	2	0	0	0	1	0	1	4
Missing Person	0	0	0	0	0	0	2	0	0	0	0	1	3
Narcotics	0	0	0	0	3	2	2	1	0	1	0	2	11
Open Door	2	2	3	2	3	3	3	4	3	1	0	0	26
Overdose	1	1	1	0	0	0	0	0	0	1	0	1	5
Parking Citations	36	40	59	136	47	79	50	78	85	21	26	8	665
Patrol Area	88	99	117	128	128	141	123	86	97	94	68	117	1286
Patrol Area Business	144	172	186	167	176	179	170	95	92	119	115	165	1780
Patrol Area Residential	278	312	348	332	423	456	316	218	153	149	148	156	3289
Patrol Area School	45	49	59	57	47	17	39	49	41	33	20	17	473
Private Investigator	0	1	0	0	0	0	0	0	1	1	0	0	3
Property Confiscated	0	0	1	1	2	1	0	4	0	1	1	1	12
Property Found	4	2	3	1	2	3	3	2	5	2	1	1	29
Property Lost	0	1	0	1	0	1	4	0	0	1	0	1	9
Reckless Driving	13	4	10	14	7	7	4	7	4	8	3	4	85
Search	0	0	0	0	1	0	0	1	3	0	0	0	5
Soliciting	0	0	1	0	0	0	0	0	0	0	0	0	1
Special Detail	2	0	2	1	0	2	0	1	0	0	0	0	8
Special Unit Response ATV	2	0	0	0	0	1	0	0	0	0	3	1	7
Special Unit Response Drone	1	0	0	0	1	0	2	1	0	0	1	0	6
Standby-Keep the Peace	2	2	2	2	1	0	1	0	2	0	0	1	13
Suicide	1	0	0	0	0	0	0	0	0	0	0	0	1
Suicide Threat/Attempt	0	1	0	0	0	0	1	0	0	1	0	0	3
Suspicious Incident	8	7	4	7	5	7	5	6	10	5	10	5	79
Suspicious Person	4	7	18	5	8	7	6	8	3	6	4	3	79
Suspicious Vehicle	17	13	28	17	11	10	8	5	5	15	6	12	147
Theft	1	0	0	1	1	0	0	0	1	3	1	0	8
Traffic Citations	32	26	43	54	62	48	39	18	24	20	29	25	420



# Melbourne Beach Police Department



	DEC	NOV	OCT	SEPT	AUG	JULY	JUNE	MAY	APR	MAR	FEB	JAN	YTD
Traffic Complaint	0	1	4	3	3	0	1	4	3	1	2	1	23
Traffic Enforcement	70	94	145	114	217	205	130	132	105	107	114	74	1507
Traffic Obstruction	2	1	1	3	1	2	2	2	1	1	0	0	16
Traffic Stop	88	120	173	156	190	196	168	102	92	156	126	135	1702
Trespassing	2	0	1	1	2	0	3	2	0	1	1	0	13
Vehicle Abandoned	0	0	0	0	0	1	0	0	1	0	0	0	2
Vehicle Inspection	0	0	3	1	1	2	1	0	2	1	1	1	13
Vehicle Repo / Tow	0	1	0	0	0	1	0	0	0	1	1	0	4
Vehicle Stolen	0	0	0	0	1	0	0	0	0	1	0	0	2
Violation of Probation	1	0	0	0	0	0	0	0	0	0	0	0	1
Wanted Person	0	0	0	0	0	0	0	0	3	9	0	1	13
Vehicle Mileage	DEC	NOV	OCT	SEPT	AUG	JULY	JUNE	MAY	APR	MAR	FEB	JAN	YTD
Car 360	468	537	878	1005	1922	994	566	693	631	751	21199	580	30224
Car 361	877	897	1085	761	808	1014	989	897	941	1053	42651	1109	53082
Car 363	1013	760	1192	1097	1198	1048	1010	1274	969	1670	1057	1078	13366
Car 364	167	188	120	100	235	506	312	505	411	690	17189	219	20642
Car 366	1216	662	759	778	712	322	459	586	890	543	15047	462	22436
Car 367	1018	689	797	647	791	1003	983	221	0	0	0	0	6149
ATV 1	19	5	9	8	0	26	0	10	161	0	0	0	238
ATV 2	0	11	0	18	15	10	34	0	119	0	0	0	207



**Melbourne Beach  
Vol. Fire Department**  
507 Ocean Avenue  
Melbourne Beach, FL 32951  
(321)724-1736  
FireChief@MelbourneBeachFL.org

## **FIRE DEPARTMENT MONTHLY REPORT**

### ***December 2021***

#### **Incident Response**

For the month of December 2021, the Melbourne Beach Volunteer Fire Department responded to 12 calls for service. The average number of responding volunteer personnel per paged out call for the month was 12.

Breakdown:

- 3 Fire/Rescue 911 Calls (paged out)
- 7 Public Service/Assist
- 2 EMS Assists

#### **Notable Incidents**

- None

#### **Department Membership**

- Certified Firefighters: 20
- Support Services Personnel: 6
- Administrative Personnel: 2
- Probationary Personnel: 1

**Notable Events**

For his 35+ years of dedicated volunteer service, Safety Chief Dave Micka was announced as the 2021 Space Coast Volunteer Firefighter of the Year by the Space Coast Fire Chiefs Association. The Award will be presented at the 2022 SCFCA Annual Meeting which will be held on Friday, January 28th at the Cocoa Civic Center starting at 9am. Congrats Safety Chief Micka!

Fire Department staff & volunteers assisted the Town of Melbourne Beach with the annual Tree Lighting event and the Firefighters Association with the Christmas Parade and Santa Run events.

Together with input from the other Town Departments, the Fire Department has established a comprehensive beach fire program for the newly passed beach fire ordinance. The beach fire program is active as of January 1<sup>st</sup> 2022 with 1 fire ring location at Ocean Park. 2 additional fire rings are scheduled for installation at Ocean Park (dependent on supplies availability).

Annual hose testing was completed in December. 150ft of 1.75" hose and 50ft of 5" hose failed testing and was removed from service.

**Grant Updates**

The Fire Department has completed and submitted the FY21 FEMA Assistance to Firefighters Grant to assist in offsetting the cost of purchasing new radios.

# Melbourne Beach VFD

Melbourne Beach, FL

This report was generated on 1/13/2022 4:03:25 PM



## Incident Address and Type for Date Range (Landscape)

Incident Status(s): All Incident Statuses | Start Date: 12/01/2021 | End Date: 12/31/2021

INCIDENT #	DATE	LOCATION TYPE	ADDRESS	INCIDENT TYPE	ALARM	CLEARED SCENE
2021-138	12/02/2021		2100 Oak ST , Melbourne Beach, FL, 32951	Public service	12/02/2021 12:52	12/02/2021 13:47
2021-139	12/03/2021		511 Ocean AVE , Melbourne Beach, FL, 32951	Public service	12/03/2021 18:05	12/03/2021 20:47
2021-140	12/10/2021	Intersection	Avenue A / Atlantic, Melbourne Beach, FL, 32951	Good intent call, other	12/10/2021 11:47	12/10/2021 12:01
2021-141	12/14/2021		308 Orange ST , Melbourne Beach, FL, 32951	Service Call, other	12/14/2021 09:28	12/14/2021 10:25
2021-142	12/16/2021		312 2nd AVE , Melbourne Beach, FL, 32951	Service Call, other	12/16/2021 08:47	12/16/2021 09:16
2021-143	12/16/2021		411 Atlantic ST , Melbourne Beach, FL, 32951	Medical assist, assist EMS crew	12/16/2021 12:43	12/16/2021 12:54
2021-144	12/18/2021		507 Ocean AVE , Melbourne Beach, FL, 32951	Public service	12/18/2021 08:25	12/18/2021 10:57
2021-145	12/22/2021		1303 Orange ST , Melbourne Beach, FL, 32951	Assist police or other governmental agency	12/22/2021 13:47	12/22/2021 13:51
2021-146	12/24/2021		500 1st AVE , Melbourne Beach, FL, 32951	Gas leak (natural gas or LPG)	12/24/2021 16:18	12/24/2021 16:42
2021-147	12/24/2021		507 Ocean AVE , Melbourne Beach, FL, 32951	Public service	12/24/2021 17:38	12/24/2021 22:02
2021-148	12/24/2021		607 Citrus CT , Melbourne Beach, FL, 32951	Carbon monoxide detector activation, no CO	12/24/2021 18:27	12/24/2021 18:36
2021-149	12/29/2021		205 Ballyshaon ST , Melbourne Beach, FL, 329513295	Dispatched & cancelled en route	12/29/2021 14:38	12/29/2021 14:48

Location Type is only filled in when it is marked Intersection, Directions, or National Grid on Basic Info 3.



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Doc Id: 1251

Page # 1 of 1

# Melbourne Beach VFD

Melbourne Beach, FL

This report was generated on 1/13/2022 4:09:40 PM



## Personnel Count per Incident for Date Range

Start Date: 12/01/2021 | End Date: 12/31/2021

INCIDENT				NUMBER OF PEOPLE		
NUMBER	DATE	INCIDENT TYPE	FDID	ON APPARATUS	NOT ON APPARATUS	TOTAL
2021-138	12/2/2021 12:52:31	553 - Public service	19112	1	0	1
2021-139	12/3/2021 18:05:24	553 - Public service	19112	2	11	13
2021-140	12/10/2021 11:47:35	600 - Good intent call, other	19112	1	1	2
2021-141	12/14/2021 09:28:06	500 - Service Call, other	19112	1	0	1
2021-142	12/16/2021 08:47:30	500 - Service Call, other	19112	1	0	1
2021-143	12/16/2021 12:43:23	311 - Medical assist, assist EMS crew	19112	1	0	1
2021-144	12/18/2021 08:25:00	553 - Public service	19112	11	9	20
2021-145	12/22/2021 13:47:17	551 - Assist police or other governmental agency	19112	2	0	2
** 2021-146	12/24/2021 16:18:33	412 - Gas leak (natural gas or LPG)	19112	6	10	16
2021-147	12/24/2021 17:38:55	553 - Public service	19112	14	0	14
** 2021-148	12/24/2021 18:27:03	746 - Carbon monoxide detector activation, no CO	19112	4	10	14
** 2021-149	12/29/2021 14:38:12	611 - Dispatched & cancelled en route	19112	1	6	7

**TOTAL # OF INCIDENTS: 12**

**AVERAGES:**

**3.8**

**3.9**

**7.7**

**\*\* Without EMS Assist or Service Calls:  
(Paged out calls only)**

**3.7**

**8.7**

**12.3**

Only REVIEWED incidents included



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Doc Id: 358  
Page # 1 of 1

# Memo

To: Mayor, Vice Mayor and Commissioners  
From: Jennifer Kerr, Finance Manager  
Date: January 14, 2022  
Re: December 2021

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We are in the third month of our fiscal year 2022. The target expenditure rate for December is 25%. All departments are managing their expenditures even though several lines are over the targeted expenditure rate. All budget items highlighted in green are over the target rate but within the anticipated spending of that budget line. Some budget lines are fully expended early in the budget year while other lines like salaries and health insurance are paid on a monthly basis. The total General Fund expenditure rate, year to date is 28.6%. The Departmental expenditure rate breakdown is as follows:

Legislative:	24.9%
Executive:	19.2%
Finance:	21.3%
Legal:	16.0%
Comp & Plan:	09.4%
General Services:	26.8%
Law Enforcement:	24.3%
Fire:	23.5%
Code:	24.9%
Public Works:	22.4%
Parks:	64.0%

## **Discussion Items:**

The Town received Parking Revenue for December in the amount of \$11,748.61.

We are working on the application for reimbursement of funding from FEMA for COVID related purchases that were not covered under the CARES Act.

Completed the annual end of year close in Fund Balance.

W2's processed for staff.

Spent two days in house with BS&A in preparation of the computer software conversion.



For the Period: 10/1/2021 to 12/31/2021

Fund: 125 - Building Dept

Target Rate: 25%

**Expenditures**

**Dept: 24 Protective Inspections**

	<u>Original Bud.</u>	<u>Amended Bud.</u>	<u>YTD Actual</u>	<u>UnencBal</u>	<u>% Bud</u>
500.12.00 Regular Salaries	75,116.00	75,116.00	17,465.21	57,650.79	23.3
500.14.00 Salaries Overtime	817.52	817.52	101.35	716.17	12.4
500.21.00 FICA Taxes - Employer Portion	5,746.00	5,746.00	1,254.05	4,491.95	21.8
500.22.20 Retirement Town Employees	7,512.00	7,512.00	1,684.30	5,827.70	22.4
500.23.01 Health Insurance	18,144.00	18,144.00	6,077.48	12,066.52	33.5
500.23.02 Life Insurance	136.00	136.00	45.04	90.96	33.1
500.25.00 Unemployment Compensation	240.00	240.00	20.25	219.75	8.4
520.31.00 Professional Services	55,703.54	55,703.54	9,758.00	45,945.54	17.5
520.51.00 Office Supplies	266.00	266.00	162.39	103.61	61.0
520.52.20 Tools & Hardware	46.91	46.91	0.00	46.91	0.0
520.54.00 Dues & Subscriptions	95.00	95.00	0.00	95.00	0.0
520.54.10 Training & Schools	80.00	80.00	0.00	80.00	0.0
					22.3

Expenditures

Dept: 11 Legislative

	Original Bud.	Amended Bud.	YTD Actual	UnencBal	% Bud
500.11.00 Executive Salaries	16,200.00	16,200.00	3,791.64	12,408.36	23.4
500.12.00 Regular Salaries	60,705.00	60,705.00	14,037.54	46,667.46	23.1
500.21.00 FICA Taxes - Employer Portion	4,644.00	4,644.00	1,357.29	3,286.71	29.2
500.22.20 Retirement Town Employees	6,568.00	6,568.00	1,410.66	5,157.34	21.5
500.23.01 Health Insurance	8,568.00	8,568.00	2,855.04	5,712.96	33.3
500.23.02 Life Insurance	70.00	70.00	22.52	47.48	32.2
500.25.00 Unemployment Compensation	194.00	194.00	16.98	177.02	8.8
510.31.00 Professional Services	250.00	250.00	0.00	250.00	0.0
510.40.00 Travel & Meetings	3,640.00	3,640.00	35.00	3,605.00	1.0
510.40.10 Travel & Meetings - Staff	2,788.00	2,788.00	0.00	2,788.00	0.0
510.47.00 Printing	5,015.00	5,015.00	213.60	4,801.40	4.3
510.47.20 Public Records Printing	0.00	0.00	34.65	-34.65	0.0
510.48.00 Promotional Activities	600.00	600.00	60.98	539.02	10.2
510.48.40 Legal Notices	10,000.00	10,000.00	3,312.18	6,687.82	33.1
510.49.50 Election Expense	2,500.00	2,500.00	0.00	2,500.00	0.0
510.54.00 Dues & Subscriptions	875.00	875.00	510.00	365.00	58.3
510.54.10 Training & Schools	4,410.00	4,410.00	0.00	4,410.00	0.0
510.64.00 Machinery & Equipment	2,000.00	2,000.00	0.00	2,000.00	0.0
543.00.00 Licenses & Fees	7,421.00	7,421.00	6,354.82	1,066.18	85.6
					24.9

Original Bud. Amended Bud. YTD Actual UnencBal % Bud

Dept: 12 Executive

500.12.00 Regular Salaries	121,960.00	121,960.00	23,799.08	98,160.92	19.5
500.21.00 FICA Taxes - Employer Portion	9,330.00	9,330.00	2,052.97	7,277.03	22.0
500.22.01 Retirement - ICMA	10,820.00	10,820.00	2,360.35	8,459.65	21.8
500.22.20 Retirement Town Employees	2,376.00	2,376.00	0.00	2,376.00	0.0
500.23.01 Health Insurance	25,697.00	25,697.00	4,020.88	21,676.12	15.6
500.23.02 Life Insurance	735.00	735.00	227.00	508.00	30.9
500.25.00 Unemployment Compensation	390.00	390.00	27.63	362.37	7.1
510.40.00 Travel & Meetings	1,320.00	1,320.00	246.14	1,073.86	18.6
510.52.50 Gas & Oil	2,400.00	2,400.00	600.00	1,800.00	25.0
510.54.00 Dues & Subscriptions	895.00	895.00	546.00	349.00	61.0
510.54.10 Training & Schools	450.00	450.00	0.00	450.00	0.0
					19.2

Original Bud. Amended Bud. YTD Actual UnencBal % Bud

Dept: 13 Finance

500.12.00 Regular Salaries	61,234.00	61,234.00	14,151.01	47,082.99	23.1
500.21.00 FICA Taxes - Employer Portion	4,684.00	4,684.00	1,052.46	3,631.54	22.5
500.22.20 Retirement Town Employees	6,626.00	6,626.00	1,422.94	5,203.06	21.5
500.23.01 Health Insurance	7,835.00	7,835.00	2,607.96	5,227.04	33.3
500.23.02 Life Insurance	70.00	70.00	22.52	47.48	32.2
500.25.00 Unemployment Compensation	196.00	196.00	17.09	178.91	8.7
510.31.00 Professional Services	7,000.00	7,000.00	5,633.53	1,366.47	80.5
510.32.00 Auditing Services	23,000.00	23,000.00	0.00	23,000.00	0.0
510.32.90 Banking Fees	4,700.00	4,700.00	1,013.40	3,686.60	21.6
510.32.95 IPS BANKING FEE	3,708.00	3,708.00	0.00	3,708.00	0.0
510.40.00 Travel & Meetings	2,100.00	2,100.00	0.00	2,100.00	0.0
510.41.15 IPS Communication Fee	660.00	660.00	184.18	475.82	27.9
510.47.00 Printing	180.00	180.00	130.98	49.02	72.8
510.54.00 Dues & Subscriptions	60.00	60.00	0.00	60.00	0.0
510.54.10 Training & Schools	800.00	800.00	0.00	800.00	0.0
764.10.00 Filing Fee Clerk-Parking Ticke	150.00	150.00	0.00	150.00	0.0
					21.3

**Dept: 14 Legal Counsel**

	<u>Original Bud.</u>	<u>Amended Bud.</u>	<u>YTD Actual</u>	<u>UnencBal</u>	<u>% Bud</u>
510.31.00 Professional Services	96,000.00	96,000.00	15,735.50	80,264.50	16.4
510.31.01 Code Enforcement Attorney	2,250.00	2,250.00	0.00	2,250.00	0.0
					<b>16.0</b>

	<u>Original Bud.</u>	<u>Amended Bud.</u>	<u>YTD Actual</u>	<u>UnencBal</u>	<u>% Bud</u>
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**Dept: 15 Comprehensive Planning**

510.31.00 Professional Services	20,000.00	20,000.00	1,875.00	18,125.00	9.4
					<b>9.4</b>

	<u>Original Bud.</u>	<u>Amended Bud.</u>	<u>YTD Actual</u>	<u>UnencBal</u>	<u>% Bud</u>
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**Dept: 19 General Services**

500.24.00 Workers Compensation	2,520.00	2,520.00	2,520.00	0.00	<b>100.0</b>
510.31.00 Professional Services	4,020.00	4,020.00	930.00	3,090.00	23.1
510.31.11 Security	2,300.00	2,300.00	0.00	2,300.00	0.0
510.34.10 Janitorial Services	15,108.00	15,108.00	3,777.00	11,331.00	25.0
510.35.00 Pre-Employment Exp	135.00	135.00	269.00	-134.00	<b>199.3</b>
510.41.00 Telephone	10,992.00	10,992.00	2,362.02	8,629.98	21.5
510.41.10 Communication Services	43,608.00	43,608.00	12,856.37	30,751.63	29.5
510.43.00 Street Lights	46,000.00	46,000.00	7,613.95	38,386.05	16.6
510.43.10 Electricity	28,704.00	28,704.00	4,788.14	23,915.86	16.7
510.43.20 Water & Sewer	1,560.00	1,560.00	510.88	1,049.12	32.7
510.43.50 Waste Tax Service	2,807.00	2,807.00	2,185.75	621.25	<b>77.9</b>
510.45.00 General Liability Insurance	68,412.00	68,412.00	36,470.00	31,942.00	<b>53.3</b>
510.45.01 Flood Insurance	3,751.00	3,751.00	0.00	3,751.00	0.0
510.45.02 Property Insurance	50,920.00	50,920.00	29,483.50	21,436.50	<b>57.9</b>
510.45.03 Auto Insurance	7,788.00	7,788.00	3,763.00	4,025.00	<b>48.3</b>
510.46.10 Office Equipment Maintenance	4,232.00	4,232.00	634.56	3,597.44	15.0
510.46.15 Equipment Maintenance	14,500.00	14,500.00	0.00	14,500.00	0.0
510.46.36 Pest Control	3,000.00	3,000.00	706.74	2,293.26	23.6
510.46.41 Mowing Contract	22,410.00	22,410.00	7,194.00	15,216.00	32.1
510.47.00 Printing	600.00	600.00	127.43	472.57	21.2
510.49.48 Env. Boards Expense	3,420.00	3,420.00	784.78	2,635.22	22.9
510.49.98 Contingency	30,000.00	30,000.00	0.00	30,000.00	0.0
510.49.99 Miscellaneous	300.00	300.00	238.94	61.06	<b>79.6</b>
510.51.00 Office Supplies	9,000.00	9,000.00	2,476.44	6,523.56	27.5
510.51.10 Postage	1,200.00	1,200.00	403.85	796.15	33.7
510.52.10 Janitorial Supplies	3,000.00	3,000.00	475.96	2,524.04	15.9
510.54.00 Dues & Subscriptions	320.00	320.00	0.00	320.00	0.0
510.64.01 Capital Outlay	174,261.00	174,261.00	31,575.00	142,686.00	18.1
543.00.00 Licenses & Fees	17,521.00	17,521.00	1,536.33	15,984.67	8.8
					<b>26.8</b>

	<u>Original Bud.</u>	<u>Amended Bud.</u>	<u>YTD Actual</u>	<u>UnencBal</u>	<u>% Bud</u>
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**Dept: 21 Law Enforcement**

500.12.00 Regular Salaries	570,664.00	632,664.00	135,686.71	496,977.29	21.4
500.12.50 Holiday Pay	19,000.00	19,000.00	19,253.06	-253.06	<b>101.3</b>
500.14.00 Salaries Overtime	30,300.00	30,300.00	2,758.21	27,541.79	9.1
500.14.16 Hurricane Pay	17,950.00	17,950.00	0.00	17,950.00	0.0
500.15.00 Education Incentive Pay	6,600.00	6,600.00	2,111.43	4,488.57	32.0
500.15.01 First Responder	7,920.00	7,920.00	1,776.43	6,143.57	22.4
500.21.00 FICA Taxes - Employer Portion	50,856.00	50,856.00	11,942.55	38,913.45	23.5
500.22.02 Police Pension	232,807.00	232,807.00	52,000.00	180,807.00	22.3
500.22.20 Retirement Town Employees	3,813.00	3,813.00	818.94	2,994.06	21.5
500.23.01 Health Insurance	83,152.00	83,152.00	28,947.48	54,204.52	34.8
500.23.02 Life Insurance	2,500.00	2,500.00	878.10	1,621.90	35.1
500.23.10 Statutory AD&D	1,000.00	1,000.00	1,000.00	0.00	<b>100.0</b>
500.24.00 Workers Compensation	14,438.00	14,438.00	12,611.00	1,827.00	<b>87.3</b>
500.25.00 Unemployment Compensation	2,127.00	2,127.00	196.26	1,930.74	9.2
520.31.00 Professional Services	725.00	725.00	150.00	575.00	20.7
520.34.40 Dispatching Services	17,785.00	17,785.00	17,785.00	0.00	<b>100.0</b>

520.40.00	Travel & Meetings	2,240.00	2,240.00	496.55	1,743.45	22.2
520.41.10	Communication Services	4,488.00	4,488.00	500.11	3,987.89	11.1
520.46.10	Office Equipment Maintenance	5,500.00	5,500.00	495.36	5,004.64	9.0
520.46.15	Equipment Maintenance	2,000.00	2,000.00	0.00	2,000.00	0.0
520.46.16	Radar Calibration	700.00	700.00	100.00	600.00	14.3
520.46.20	Vehicle Maintenance	12,000.00	12,000.00	3,080.44	8,919.56	25.7
520.48.00	Promotional Activities	1,200.00	1,200.00	288.96	911.04	24.1
520.48.50	Crime Prevention	1,100.00	1,100.00	641.81	458.19	58.3
520.49.99	Miscellaneous	100.00	100.00	0.00	100.00	0.0
520.51.10	Postage	350.00	350.00	0.00	350.00	0.0
520.52.00	Uniforms	6,600.00	6,600.00	988.50	5,611.50	15.0
520.52.05	Protective Gear	8,328.00	8,328.00	147.42	8,180.58	1.8
520.52.50	Gas & Oil	13,000.00	13,000.00	3,310.19	9,689.81	25.5
520.52.70	Medical	600.00	600.00	0.00	600.00	0.0
520.52.90	Operating Supplies	3,720.00	3,720.00	489.69	3,230.31	13.2
520.54.00	Dues & Subscriptions	1,955.00	1,955.00	270.00	1,685.00	13.8
520.54.10	Training & Schools	5,400.00	5,400.00	632.00	4,768.00	11.7
520.64.01	Capital Outlay	58,795.00	58,795.00	2,823.00	55,972.00	4.8
543.00.00	Licenses & Fees	14,738.00	14,738.00	5,373.30	9,364.70	36.5
						24.3

		Original Bud.	Amended Bud.	YTD Actual	UnencBal	% Bud
<b>Dept: 22 Fire Control</b>						
500.12.00	Regular Salaries	85,610.00	85,610.00	10,089.69	75,520.31	11.8
500.14.50	Stipend Payroll	55,040.00	55,040.00	18,413.60	36,626.40	33.5
500.21.00	FICA Taxes - Employer Portion	7,643.00	7,643.00	2,405.34	5,237.66	31.5
500.22.01	Retirement - ICMA	6,562.00	6,562.00	1,454.06	5,107.94	22.2
500.23.01	Health Insurance	4,968.00	4,968.00	1,655.64	3,312.36	33.3
500.23.02	Life Insurance	162.00	162.00	22.52	139.48	13.9
500.23.10	Statutory AD&D	180.00	180.00	129.00	51.00	71.7
500.24.00	Workers Compensation	7,920.00	7,920.00	0.00	7,920.00	0.0
500.25.00	Unemployment Compensation	194.00	194.00	21.21	172.79	10.9
520.31.00	Professional Services	5,000.00	5,000.00	300.00	4,700.00	6.0
520.34.40	Dispatching Services	5,200.00	5,200.00	0.00	5,200.00	0.0
520.35.00	Pre-Employment Expense	1,225.00	1,225.00	28.00	1,197.00	2.3
520.40.00	Travel & Meetings	500.00	500.00	307.92	192.08	61.6
520.41.10	Communication Services	1,260.00	1,260.00	330.75	929.25	26.3
520.46.15	Equipment Maintenance	8,665.00	8,665.00	3,331.19	5,333.81	38.4
520.46.20	Vehicle Maintenance	22,950.00	40,950.00	11,690.84	29,259.16	28.5
520.46.30	Building Maintenance	1,000.00	1,000.00	63.79	936.21	6.4
520.48.55	Fire Prevention	4,536.00	4,536.00	1,476.29	3,059.71	32.5
520.51.00	Office Supplies	400.00	400.00	18.95	381.05	4.7
520.52.00	Uniforms	6,225.00	7,075.00	122.26	6,952.74	1.7
520.52.02	S.C.B.A.	1,850.00	1,850.00	626.48	1,223.52	33.9
520.52.05	Protective Gear	2,505.00	2,505.00	0.00	2,505.00	0.0
520.52.10	Janitorial Supplies	1,000.00	1,000.00	0.00	1,000.00	0.0
520.52.20	Tools & Hardware	1,500.00	1,500.00	0.00	1,500.00	0.0
520.52.50	Gas & Oil	2,450.00	2,450.00	691.97	1,758.03	28.2
520.52.70	Medical	1,370.00	1,370.00	0.00	1,370.00	0.0
520.54.00	Dues & Subscriptions	265.00	265.00	160.00	105.00	60.4
520.54.10	Training & Schools	6,650.00	6,650.00	548.00	6,102.00	8.2
520.54.12	Training Materials	1,920.00	1,920.00	341.81	1,578.19	17.8
520.64.01	Capital Outlay	36,777.00	66,777.00	0.00	66,777.00	0.0
520.71.00	Principal Retired	29,734.00	29,734.00	31,324.47	-1,590.47	105.3
520.72.00	Interest Expense	3,267.00	3,267.00	1,675.85	1,591.15	51.3
543.00.00	Licenses & Fees	11,537.00	11,537.00	905.90	10,631.10	7.9
						23.5

		Original Bud.	Amended Bud.	YTD Actual	UnencBal	% Bud
<b>Dept: 29 Code Enforcement</b>						
500.12.00	Regular Salaries	14,054.00	14,054.00	3,737.59	10,316.41	26.6
500.21.00	FICA Taxes - Employer Portion	1,075.00	1,075.00	285.91	789.09	26.6
500.22.20	Retirement Town Employees	1,521.00	1,521.00	296.21	1,224.79	19.5

500.23.10	Statutory AD&D	100.00	100.00	0.00	100.00	0.0
500.24.00	Workers Compensation	200.00	200.00	0.00	200.00	0.0
500.25.00	Unemployment Compensation	45.00	45.00	3.55	41.45	7.9
520.40.00	Travel & Meetings	35.00	35.00	0.00	35.00	0.0
520.45.03	Auto Insurance	124.00	124.00	0.00	124.00	0.0
520.46.12	Maintenance Supplies	50.00	50.00	0.00	50.00	0.0
520.46.20	Vehicle Maintenance	150.00	150.00	0.00	150.00	0.0
520.51.00	Office Supplies	50.00	50.00	0.00	50.00	0.0
520.51.10	Postage	350.00	350.00	77.45	272.55	22.1
520.51.20	Recording Costs	120.00	120.00	0.00	120.00	0.0
520.52.00	Uniforms	75.00	75.00	130.25	-55.25	173.7
520.52.50	Gas & Oil	150.00	150.00	0.00	150.00	0.0
520.54.10	Training & Schools	75.00	75.00	0.00	75.00	0.0
						24.9

		Original Bud.	Amended Bud.	YTD Actual	UnencBal	% Bud
<b>Dept: 41 Public Works</b>						
500.12.00	Regular Salaries	191,283.00	191,283.00	45,242.72	146,040.28	23.7
500.14.00	Salaries Overtime	4,000.00	4,000.00	768.27	3,231.73	19.2
500.21.00	FICA Taxes - Employer Portion	14,633.00	14,633.00	3,608.68	11,024.32	24.7
500.22.20	Retirement Town Employees	20,697.00	20,697.00	4,426.02	16,270.98	21.4
500.23.01	Health Insurance	21,840.00	21,840.00	5,435.62	16,404.38	24.9
500.23.02	Life Insurance	236.00	236.00	101.32	134.68	42.9
500.23.10	Statutory AD&D	200.00	200.00	0.00	200.00	0.0
500.24.00	Workers Compensation	2,750.00	2,750.00	0.00	2,750.00	0.0
500.25.00	Unemployment Compensation	612.00	612.00	55.53	556.47	9.1
530.31.00	Professional Services	25,000.00	25,000.00	0.00	25,000.00	0.0
530.34.91	Landscaping	6,500.00	6,500.00	4,522.72	1,977.28	69.6
530.40.00	Travel & Meetings	200.00	200.00	0.00	200.00	0.0
530.43.10	Electricity	0.00	0.00	1,416.55	-1,416.55	0.0
530.43.15	Electric - Williams Building	5,000.00	5,000.00	1,198.01	3,801.99	24.0
530.43.50	Dump Service	2,000.00	2,000.00	0.00	2,000.00	0.0
530.46.12	Maintenance Supplies	3,000.00	3,000.00	1,135.82	1,864.18	37.9
530.46.15	Equipment Maintenance	2,500.00	2,500.00	83.58	2,416.42	3.3
530.46.20	Vehicle Maintenance	9,500.00	9,500.00	519.86	8,980.14	5.5
530.46.30	Building Maintenance	6,500.00	6,500.00	1,426.49	5,073.51	21.9
530.46.31	Maintenance Old Town Hall	500.00	500.00	247.92	252.08	49.6
530.46.34	Maintenance Ryckman Park	500.00	500.00	0.00	500.00	0.0
530.46.35	Pier Maintenance	500.00	500.00	332.78	167.22	66.6
530.46.40	Grounds Maintenance	7,000.00	7,000.00	4,625.53	2,374.47	66.1
530.46.43	Tree Expense	3,500.00	3,500.00	1,075.00	2,425.00	30.7
530.52.00	Uniforms	2,100.00	2,100.00	293.84	1,806.16	14.0
530.52.05	Protective Gear	1,000.00	1,000.00	561.97	438.03	56.2
530.52.20	Tools & Hardware	4,000.00	4,000.00	2,473.15	1,526.85	61.8
530.52.25	TOOL RENTALS	3,500.00	3,500.00	2,144.11	1,355.89	61.3
530.52.50	Gas & Oil	3,600.00	3,600.00	668.83	2,931.17	18.6
530.53.10	Street Repair	7,500.00	7,500.00	2,375.30	5,124.70	31.7
530.53.15	Parking Lot Maintenance	2,500.00	2,500.00	0.00	2,500.00	0.0
530.53.20	Street Signs	10,000.00	10,000.00	3,715.63	6,284.37	37.2
530.54.10	Training & Schools	1,500.00	1,500.00	438.00	1,062.00	29.2
530.57.25	Welding	500.00	500.00	0.00	500.00	0.0
530.64.01	Capital Outlay	46,000.00	46,000.00	3,138.20	42,861.80	6.8
						22.4

		Original Bud.	Amended Bud.	YTD Actual	UnencBal	% Bud
<b>Dept: 72 Parks &amp; Recreation</b>						
570.48.10	Founder's Day	6,000.00	6,000.00	0.00	6,000.00	0.0
570.48.50	Movies In The Park	1,800.00	1,800.00	47.94	1,752.06	2.7
570.48.52	Fourth of July	1,000.00	1,000.00	0.00	1,000.00	0.0
570.48.53	Christmas Decorations Park	1,500.00	1,733.00	1,322.85	410.15	76.3
570.48.60	Easter Egg Hunt	50.00	50.00	0.00	50.00	0.0
570.48.90	Recreation Programs	13,000.00	13,000.00	781.33	12,218.67	6.0
570.63.01	Tennis Court Expenditures	350.00	350.00	-14.00	364.00	-4.0

570.63.02	BBall & VBall Courts	200.00	200.00	0.00	200.00	0.0
570.63.05	Bocce Court Expenditures	200.00	200.00	0.00	200.00	0.0
570.64.01	Capital Outlay	0.00	0.00	13,437.20	-13,437.20	0.0
						64.0

Overall Target Rate:	28.6
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For the Period: 10/1/2021 to 12/31/2021  
Fund: 172 - OCEAN PARK PARKING FUND  
Target Rate: 25%

943

Expenditures	Original Bud.	Amended Bud.	YTD Actual	UnencBal	% Bud
<b>Dept: 75 Town Parks</b>					
575.31.02 Lifeguard Contract	19,950.00	19,950.00	0.00	19,950.00	0.0
575.32.90 Banking Fees	2,000.00	2,000.00	0.00	2,000.00	0.0
575.34.10 Janitorial Cleaning	1,800.00	1,800.00	450.00	1,350.00	25.0
575.34.91 Landscaping	5,000.00	5,000.00	120.00	4,880.00	2.4
575.41.10 IPS Communications Fee	1,200.00	1,200.00	301.92	898.08	25.2
575.43.10 Electricity	1,584.00	1,584.00	280.04	1,303.96	17.7
575.43.20 Water & Sewer	1,500.00	1,500.00	194.26	1,305.74	13.0
575.43.50 Dump Service	660.00	660.00	0.00	660.00	0.0
575.46.12 Maintenance Supplies	1,000.00	1,000.00	6.63	993.37	0.7
575.46.30 Building Maintenance	2,200.00	2,200.00	0.00	2,200.00	0.0
575.46.31 Building Maint Restrooms	0.00	0.00	80.40	-80.40	0.0
575.46.40 Grounds Maintenance	1,800.00	1,800.00	4,058.74	-2,258.74	225.5
575.46.41 Mowing Contract	11,205.00	11,205.00	1,211.01	9,993.99	10.8
575.46.43 Tree Expense	1,000.00	1,000.00	0.00	1,000.00	0.0
575.52.10 Janitorial Supplies	350.00	350.00	5.30	344.70	1.5
575.53.15 Parking Lot Repairs	3,000.00	3,000.00	0.00	3,000.00	0.0
575.53.20 Signs	300.00	300.00	214.94	85.06	71.6
575.63.03 Volleyball Court	1,000.00	1,000.00	0.00	1,000.00	0.0
764.10.00 Filing Fee Clerk-Parking Ticke	120.00	120.00	0.00	120.00	0.0
					12.4

ITEM	OPENED	DUE DATE	CLOSED	REQUESTOR	ASSIGNED TO
Stop Sign Placement	06/16/2021		12/15/2021	Commission	Town Manager
DATE	DIRECTION/NOTES				
12/15/2021	Sign posted. Item Closed				
11/17/2021	Signs arrived – need to be placed – final update in Dec.				
10/20/2021	waiting for delivery – Nov. 2021				
8/18/2021	Need two additional signs for Ash and Orange				
7/21/2021	Town Manager Mascaro said she spoke with Chief and they are good to go forward. Commissioner Runte said that Magnolia and Palm should be included				
6/16/2021	Evaluate stop sign placement on Palm and Orange Avenue				
ITEM	OPENED	DUE DATE	CLOSED	REQUESTER	ASSIGNED TO
Research Ocean Ave Beautification & Landscaping Parks	2/17/2021	1/19/22		Mayor Hoover	TM and PWD
Date	Directions/Notes				
12/15/2021	Update at January RTCM with Dix Height information.				
10/20/2021	Discussed during meeting in depth. Update at Nov. RTCM				
9/15/21	Currently working on RFP for gardening services and will present it at next RTCM as an agenda item. TM has not been able to make contact with Susan Hall				
8/18/2021	Added landscaping of Parks to Action item – and discussed RFP for landscaping services				
7/21/2021	Check in with Susan (include VM Barton) and update at August RTCM				
6/16/2021	Commission will no longer pursue FDOT grant but will continue research of other funding and grants.				



4/21/2021	Commission approved increasing payment. Grant will be awarded in June. Update July RTCM				
3/17/2021	VM Barton researched FDOT landscape grant. Commission approved \$5,000 to begin landscape design process with an architectural designer. Discuss at April TCW and April RTCM.				
2/17/2021	Explore grants, etc. Discuss at TCW on March 3, 2021				
12/2/2020	<i>Mayor Hoover suggested they do the necessary research and reach out to landlords and business owners, starting with the area east of the traffic light on both sides of the road north and south – and then meet again to discuss in February. Plan for workshops with business owners and PNZ involvement.</i>				
12/16/2020	<i>Commissioner Walters requested the Town research a better microphone system, including the option of wireless microphones. He feels the sound quality of the current microphones is very poor. Dual timers were also requested by the Commission (we have one and need one more).</i>				
<b>ITEM</b>	<b>OPENED</b>	<b>DUE DATE</b>	<b>CLOSED</b>	<b>REQUESTER</b>	<b>ASSIGNED TO</b>
<b>Research Crosswalk Art</b>	8/18/2021	1/19/22		Mayor Hoover	TM and PWD
<b>Date</b>	<b>Directions/Notes</b>				
11/17/21	Investigate permeable crosswalks				
10/20/21	Discuss Nov. RTCM				
<b>ITEM</b>	<b>OPENED</b>	<b>DUE DATE</b>	<b>CLOSED</b>	<b>REQUESTOR</b>	<b>ASSIGNED TO</b>
<b>Research golf cart parking and bike rack installation</b>	12/15/2021	1/19/2022		Commission	Town Manager/Public Works
<b>DATE</b>	<b>DIRECTION/NOTES</b>				
12/15/2021	Added to Action Items				

ITEM	OPENED	DUE DATE	CLOSED	REQUESTOR	ASSIGNED TO
Research Pool Installation Process	12/15/2021	1/19/2022		Commission	Building/Public Works
DATE	DIRECTION/NOTES				
12/15/2021	Added to Action Items				
ITEM	OPENED	DUE DATE	CLOSED	REQUESTOR	ASSIGNED TO
FDOT Traffic Stanchions	2/19/2020	06/15/2022		Commission	Town Clerk
DATE	DIRECTION/NOTES				
12/15/2021	Update June 2022 RTCM				
11/17/21	Update Dec. RTCM				
8/18/2021	Update at October RTCM				
7/21/2021	Update at August RTCM				
6/16/2021	PWD will ask FDOT if subcontractor (who is restriping cross walks) can also paint stanchions				
5/19/2021	PWD update at June RTCM				
ITEM	OPENED	DUE DATE	CLOSED	REQUESTOR	ASSIGNED TO
Research Charging Stations	11/20/20	6/15/2022		Simmons	Town Manager/PWD
DATE	DIRECTION/NOTES				
12/15/2021	TM said new charging companies are coming out and installing their own stations with incentives and it may be a good idea to wait and see what they are. Rapid charge is 3-4 times the cost.				
10/20/2021	Commissioner Runte reached out to two vendors he works with update Nov. 2021				

9/15/2021	TM does not have an update. Commissioner Runte explained the companies are hard to reach or non-responsive- still working on it. Update next month
8/18/2021	Update at September RTCM
7/21/2021	Update at August RTCM
6/16/2021	Follow up on "Electrify" a company that leases charging stations
5/19/2021	Update at June RTCM
4/21/2021	Town Manager was given a list by Commissioner Runte to evaluate and update again at May RTCM.
1/20/2021	Update again at April RTCM
12/16/2020	<i>Town Manager Mascaro said there is a lot to understand about these charging stations that effect cost and what's included. Update again at January 2021 RTCM.</i>
11/18/2020	<i>Commission advised to keep this item open until the stations are installed</i>
10/21/2020	<i>Commission approved cost to replace breaker box and TM to get vendor contacts from Comm. Runte</i>
8/19/2020	<i>PWS said breaker box must be replaced at cost of \$3,000-\$4,000. Commission asked TM to find install/generic cost for Sept RTCM.</i>
7/15/2020	<i>TM shared that the offer from Tesla no longer available, they cost \$500. TM is looking at other options and will come back in August with information. Commission asked TM to look for similar offers and/or grants as Tesla was offering.</i>
6/17/2020	<i>Electricians scheduled Wed. Parking spot for bikes and two for charging stations. Update July RTCM</i>
3/18/2020	<i>Commission suggested TM get with Tesla to see what they may offer - including getting one at no cost. Tobe discussed again at May TCW.</i>
6/3/2020	<i>Commission asked TM to contact Tesla to see what they have to offer. Update June RTCM.</i>