



TOWN OF MELBOURNE BEACH

REGULAR TOWN COMMISSION MEETING

July 19, 2023

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Town of Melbourne Beach

REGULAR TOWN COMMISSION MEETING

JULY 19, 2023 at 6:00 p.m.

COMMUNITY CENTER – 509 OCEAN AVENUE

PUBLIC NOTICE

AGENDA

The Town Commission will conduct a Regular Town Commission Meeting on Wednesday, July 19, 2023, in the Community Center to address the items below

Commission Members:

Mayor Wyatt Hoover
Vice Mayor Joyce D. Barton
Commissioner Sherri Quarrie
Commissioner Corey Runte
Commissioner Marivi Walker

Staff Members:

Town Manager Elizabeth Mascaro
Town Attorney Clifford Repperger
Town Clerk Amber Brown

Notice: Commission discussion and possible action may occur during any Commissioner Meeting. The following sections of the Agenda are always subject to such discussion and possible action without further motion by the Commission: Changes to the Agenda, Public Hearings, Old Business, and New Business.

The public is advised that members of the Town Commission may be in attendance and participate in proceedings of the board. Attorney General Opinions (AGO) AGO 91-95, AGO 98-14, AGO 2000-68.

PURSUANT TO SECTION 286.0105, FLORIDA STATUTES, THE TOWN HEREBY ADVISES THE PUBLIC THAT: In order to appeal any decision made at this meeting, you will need a verbatim transcript of the proceedings. It will be your responsibility to ensure such a record is made. Such person must provide a method for recording the proceedings verbatim as the Town does not do so.

In accordance with the Americans with Disability Act and Section 286.26, Florida Statutes, persons needing special accommodations for this meeting shall, at least 5 days prior to the meeting, contact the Office of the Town Clerk at (321) 724-5860 or Florida Relay System at 711.

- 1. Call to Order – Led by Mayor Hoover**
- 2. Roll Call**
- 3. Pledge of Allegiance and Moment of Silence**
- 4. Meeting Agenda – Additions/Deletions/Changes**

5. Consent Agenda

- A. Approval of the Regular Town Commission meeting minutes June 28, 2023
- B. Approval of the site plan for 510 Third Ace – new home
- C. Reappointment of Board Members
 - 1. Reappointment of Charles Cain to the Board of Adjustment
 - 2. Reappointment of Daniel Hansen to the Historical Preservation and Awareness Board (Ryckman House)

6. Proclamations/Presentations/Awards

- A. Presentation of Citizen of the Year

7. Finance/Budget Report**8. Department and Board/Committee Reports**

- A. Public Works Department
- B. Building Department
- C. Code Enforcement
- D. Fire Department
- E. Police Department
- F. Town Clerk

9. Public Comment (Non-Agenda Items)

After being acknowledged by the Mayor, members of the public should state their name and address for the record. The Commission encourages citizens to prepare their comments in advance. Each individual will have three (3) minutes to address the Commission on any topic(s) related to Town business, not on the Agenda.

10. Public Hearings/Special Orders**11. Unfinished Business****12. New Business**

- A. Consideration of adding a designated bike lane along Riverside Drive in conjunction with the re-pavement project.
- B. Consideration of mold cleanup in the Community Center.
- C. Consideration of a request to amend the Binding Lot Agreement for Djon's and give consent to the Town Attorney to legally amend the agreement.
- D. Consideration of creating a Veterans Memorial Park.

13. Administrative Reports

- A. Town Attorney
- B. Town Manager

14. Commission Reports**15. Task List****16. Public Comment****17. Adjournment**

Town of Melbourne Beach

REGULAR TOWN COMMISSION MEETING
June 28, 2023 at 6:00 p.m.
COMMUNITY CENTER – 509 OCEAN AVENUE

MINUTES

Commission Members:

Mayor Wyatt Hoover
Vice Mayor Joyce Barton
Commissioner Sherri Quarrie
Commissioner Corey Runte
Commissioner Marivi Walker

Staff Members:

Town Manager Elizabeth Mascaro
Town Attorney Cliff Repperger
Town Clerk Amber Brown

1. Call to Order

Mayor Wyatt Hoover called the meeting to order at 6:01 p.m.

2. Roll Call

Town Clerk Amber Brown conducted a roll call

Commission Members Present

Mayor Wyatt Hoover
 Vice Mayor Joyce Barton
 Commissioner Sherri Quarrie
 Commissioner Marivi Walker
 Commissioner Corey Runte

Staff Members Present

Town Manager Elizabeth Mascaro
 Town Attorney Clifford Repperger
 Finance Manager Jennifer Kerr
 Building Official Robert Bitgood
 Public Works Director Tom Davis
 Police Chief Melanie Griswold
 Town Clerk Amber Brown

Commission Members Absent

3. Pledge of Allegiance and Moment of Silence

Mayor Wyatt Hoover led the Pledge of Allegiance

4. Meeting Agenda – Additions/Deletions/Changes

Commissioner Sherri Quarrie made a motion to approve the agenda; Commissioner Marivi Walker seconded; Motion carried 5-0.

5. Consent Agenda

- A. Approval of the Regular Town Commission meeting minutes May 17, 2023
- B. Approval of the site plan for 504 Fourth Ave – accessory structure
- C. Approval of the site plan for 306 Avenue B – new home
- D. Reappointment of a Board Member to the Environmental Advisory Board
 1. Kelli Hunsucker

Vice Mayor Joyce Barton moved to accept the Consent Agenda as presented; Commissioner Sherri Quarrie seconded; Motion carried 5-0.

6. Proclamations/Presentations/Awards

- A. Presentation of a proclamation recognizing May 20th through May 26th, 2023 as National Safe Boating Week

Mayor Wyatt Hoover presented the proclamation recognizing May 20th through May 26th, 2023 as National Safe Boating Week.

7. Finance/Budget Report

Commissioner Sherri Quarrie asked to start including last year's parking numbers.

Vice Mayor Joyce Barton made a motion to accept the finance report as presented; Commissioner Corey Runte seconded; Motion carried 5-0.

8. Department and Board/Committee Reports

A. Public Works Department

Public Works Director Tom Davis provided pictures and spoke about the boardwalk that is being built in Ocean Park, the pier repairs being finished, and the upgrades in Ryckman Park.

Vice Mayor Joyce Barton spoke about adding trash cans to the boardwalk.

B. Building Department

Building Official Robert Bitgood spoke about the building department slowing down slightly now that it is summer.

C. Code Enforcement

Building Official Robert Bitgood spoke about recently hiring a new code enforcement officer.

Town Manager Elizabeth Mascaro spoke about a vacation rental on Colony that notified the Town that they will be switching to long-term rentals.

***Roger Newell
506 Colony St***

Roger Newell spoke about trying to address the safety concerns about that property. Wait and see if it does become a long-term rental.

D. Fire Department

No additions

E. Police Department

Police Chief Melanie Griswold spoke about Founder's Day going well for law enforcement. Next year parking on Avenues A and B will need to be addressed.

Vice Mayor Joyce Barton asked about the speed bumps versus the rumble stripes.

Police Chief Melanie Griswold spoke about the speed bumps working well, but they will need to be extended, so people don't drive around them.

F. Town Clerk

No additions

9. Public Comment (Non-Agenda Items)

After being acknowledged by the Mayor, members of the public should state their name and address for the record. The Commission encourages citizens to prepare their comments in advance. Each individual will have three (3) minutes to address the Commission on any topic(s) related to Town business, not on the Agenda.

10. Public Hearings/Special Orders

11. Unfinished Business

A. Review the boat ramp concept plans

Mayor Wyatt Hoover spoke about adding a small area to temporarily tie your boat while you park your vehicle.

Commissioner Corey Runte spoke about the north side seawall is not in line with the rest. Other than the stormwater drain if there is no other reason he proposed bringing the seawall out to be in line with the others.

Roger Newell
506 Colony

Roger Newell asked if the boat ramp is open twenty-four seven and if there are any provisions for low lighting that would not interfere with the neighbors.

Commissioner Corey Runte spoke about these plans would not include details about lighting, but that is a good point to consider.

Commissioner Sherri Quarrie asked about using solar lights.

Allison Stephens
1508 Pine St

Allison Stephens spoke about not having any issues in the past four years with her new seawall. What is the dock size? What are the setbacks for this area? There is a gazebo inches off the property line. If residents have to follow the rules then so should the Town.

Commissioner Corey Runte spoke about this being only conceptual plans.

12. New Business

A. Consideration of the fiscal year 2023-2024 Fire Rescue Dispatch Services Interlocal Agreement in the amount of \$5,600.00.

Town Manager Elizabeth Mascaro spoke about the updated agreement with Indialantic for Fire Dispatch services has a slight increase of \$200.00.

Vice Mayor Joyce Barton made a motion to approve the fiscal year 2023-2024 Fire Rescue Dispatch Services Interlocal Agreement at the cost of \$5,600.00 annually; Commissioner Marivi Walker seconded; Motion carried 5-0.

B. Consideration of the Chief of Police Job Description

Mayor Wyatt Hoover spoke about this job description being the one that has been used in the past, but there was no formal approval from the Town Commission.

Vice Mayor Joyce Barton made a motion to approve the Chief of Police job description; Commissioner Marivi Walker seconded; Motion carried 5-0.

C. Consideration on limiting plan review submissions to Planning & Zoning Board

Building Official Robert Bitgood spoke about having to bring almost anything exterior alteration-wise to the Planning and Zoning Board. He proposed limiting what is brought to Planning & Zoning to commercial, multi-family, new single-family construction and exterior remodels exceeding 50% of the home value. Things such as gazebos and covered porches would be approved by the Building Official. This would shorten the wait time to get a permit, reduce staff time, and streamline the process.

Mayor Wyatt Hoover spoke about this would modify the current policy to be in line with our ordinance.

Commissioner Corey Runte spoke about over the years more and more has been sent to Planning and Zoning above what our ordinance states. Planning and Zoning is meant to be a special meeting for large projects that need multiple eyes on the plans.

Town Manager Elizabeth Mascaro spoke about previous building officials were contracted, so they might not have had the same drive and outlook on things.

Roger Newell
506 Colony

Roger Newell asked about the proposed law requiring a three-day turnaround time for building permits.

Building Official Robert Bitgood spoke about the proposed law did not pass, but the Building Department turns around permits usually within a couple of days which is fast.

Paul McLaughlin
412 Second Ave

Paul McLaughlin asked what the Planning and Zoning Board thinks about this. They had to have seen this, so what do they think?

Building Official Robert Bitgood spoke about as residents they have the option of seeing this, but he has not received any feedback from them.

Vice Mayor Joyce Barton made a motion to approve the Building Official signing off on all site plans except for commercial, multi-family, new signal family construction, and exterior remodels exceeding 50% of the home value;

Commissioner Marivi Walker seconded; Motion carried 5-0.

- D. Consideration of a Memorandum of Understanding for posting legal notices on Brevard County's publicly accessible website

Town Clerk Amber Brown spoke about House Bill 7049 which allows the county and municipal governments to publish certain legal notices on the county's publicly accessible website. This MOU would be between the Town of Melbourne Beach and Brevard County to open the option of allowing the Town to post legal notices on the County website rather than pay Florida Today. There are a lot of requirements that go along with it, but this would just open us up to the option. Brevard County will charge a flat rate of \$125.00 per notice, whereas, Florida Today was an average of \$200.00 to \$600.00. Since the ads would be posted on a website the way we submit them is the way they would be posted, so we would not have to worry about any format issues like in the newspaper.

Vice Mayor Joyce Barton asked about what notices can be put online.

Town Clerk Amber Brown spoke about some of the Town ordinances stating the notice will be published in a newspaper of general circulation, so that would need to be updated to allow for online publication.

Town Manager Elizabeth Mascaro spoke about the extremely strict requirements for posting the trim notices and almost every year there has been an issue with it, so this would be a way to ensure the notice was done correctly rather than waiting for the newspaper to come. This year we would post in both places to slowly transition to online postings.

Commissioner Sherri Quarrie asked for clarification on what notices would be posted where.

Town Clerk Amber Brown spoke about first starting with meeting notices for the Board of Adjustments and Planning and Zoning. We would have to post in the newspaper first stating legal notices will be published on the County's website. Right now because it is so new for Trim notices she recommended putting them in both to test it out and see how it goes. This would allow our residents to transition and get used to the change. In the future, if it works out we could transition everything that is legally allowed to the website. We are still working on what notices are legally allowed to be published on the website.

Mayor Wyatt Hoover spoke about approving the memorandum of understanding does not change the fact that parts of our ordinances still require the Town to post in the newspaper. In order to eliminate that in the future the Town would need to go through the process to eliminate that requirement. This would just provide an additional option.

Vice Mayor Joyce Barton made a motion to approve the Memorandum of Understanding for posting legal notices on Brevard County's publicly accessible website; Commissioner Marivi Walker seconded; Motion carried 5-0.

E. Consideration of the 2023-2024 School Resource Officer's Memorandum of Understanding

Town Manager Elizabeth Mascaro spoke about this being the 6th iteration of the SRO Memorandum of Understanding. The students and teachers at Gemini love our SROs.

Police Chief Melanie Griswold spoke about Officer Sullivan going to school in July to be the SRO next school year.

Mayor Wyatt Hoover asked if the amount increased.

Finance Manager Jennifer Kerr spoke about it slightly increasing.

Commissioner Corey Runte made a motion to approve the 2023-2024 School Resource Officer Memorandum of Understanding; Commissioner Marivi Walker seconded; Motion carried 5-0.

F. Consideration of suggested changes to the Land Development Code, Code of Ordinances

Mayor Wyatt Hoover spoke about the background of this item and asked to go through each item one at a time and discuss it.

Town manager Elizabeth Mascaro spoke about this is to allow our businesses to do business. This would allow the businesses to be closer to the road and have parking in the back to add a buffer between the business and the residents behind the business. This would also allow street fronts along the sidewalk. Right now these items are to see if the Commission is interested in allowing the specific items. It is not to go into all the details and requirements related to the item. There are additional items that have not been included in this yet, but if there are any items the Commission would like to add they can do that.

Commissioner Corey Runte spoke about receiving positive resident feedback.

Mayor Wyatt Hoover read each item.

1. Remove the parking requirements for businesses. Require 5 space minimum, 1 handicap, 1 low-speed vehicle, and 1 bike rack to promote a walkable, low-speed vehicle community. – no issues
2. Reduce the width of parking spaces from 10' to 9'. – no issues
3. Approved outdoor seating, with 3 open sides and roof attachment. The roof attachment for outdoor seating will not require setback compliance. – no issues
4. Allow restaurants as a permitted use 6B, 7C, and 8B. – no issues

Mayor Wyatt Hoover spoke about the lengthy process a restaurant needs to go through to be permitted. This would make it easier to get restaurants in Town.

Commissioner Corey Runte spoke about banks not being inclined to loan money for properties with special exception requirements.

5. Remove setback requirements for 6B, 7C, and 8B and use the Florida Building Code setback requirements. – no issues

Mayor Wyatt Hoover asked for clarification on this item.

Town Manager Elizabeth Mascaro spoke about this does not mean there won't be setbacks. The setbacks depend on the type of business and the type of building and what is required for the fire department and building department. There could be additional requirements such as shrubbery.

Commissioner Corey Runte spoke about the setbacks would default to Building Code standards.

6. Allow microbrewery/micro-distillery by special exception in zone 6B, 7C, and 8B. – no issues
7. Allow non-academic instruction (ballet, karate, pottery class, art class, etc.) in 6B, 7C, and 8B. – no issues
8. Allow personal services, professional offices, studios, clinics, health clubs, and fitness studios in 6B and 7C. – include 8B

Mayor Wyatt Hoover asked why 8B is not included.

9. Allow duplexes and townhouses in 8B – strike duplexes but leave townhouses

Commissioner Sherri Quarrie spoke about previous Commissions were trying to keep the historical structures on the west part of Ocean Ave.

Town Manager Elizabeth Mascaro spoke about duplexes already being allowed, so that part can be taken out.

10. In zone 6B, increase the maximum height from 35 to 36 feet to allow for 12-foot ceilings. – no issues

Mayor Wyatt Hoover spoke about unifying 6B, 7C, and 8B. He does not see a strong reason to segregate those zones.

Town Manager Elizabeth Mascaro spoke about the intent for 8B was to be a historical area.

Mayor Wyatt Hoover spoke about having from Pine to the river be a separate zone, but the rest of the business district the same.

Commissioner Corey Runte spoke about keeping this block the way it currently is, but not making it more stringent.

Town Manager Elizabeth Mascaro spoke about a new law that was passed to promote affordable rental properties. The problem is in any commercial or multifamily zone in Town they can come in and do not have to meet any criteria or go to Planning and Zoning or the Town Commission and have three stories. There is nothing the Town can do about it.

Commissioner Corey Runte spoke about this being the Live Local Act and the general summary is local governments must approve multifamily and mixed-use residential developments in any area zoned for commercial, industrial, or mixed-use of any type as long as at least 40% of the units will be affordable for at least 30 years.

Roger Newell
506 Colony

Roger Newell asked if someone could buy the vacant property on Colony and turn it into anything they want. He asked for clarification on zone 8B. Short-term rentals are a blight on our community and we need to figure out how to control them and protect the integrity of the Town. We need stronger representation up in Tallahassee.

Mayor Wyatt Hoover spoke about the residential zones (First Ave and south and Avenue A and north) not being touched, so they will maintain the current status.

Town Manager Elizabeth Mascaro spoke about duplexes are already allowed in zone 8B.

Paul McLaughlin
412 Second Ave

Paul McLaughlin spoke about the code for 8B needs to be strengthened not loosened. At one point it was mentioned to combine all three of the business districts.

Mayor Wyatt Hoover spoke about duplexes in 8B are already allowed, and the Commission does want to see the historic part of Ocean Ave maintained. Through the approval process, specific language will be drawn up and presented to the Commission for approval.

Billy and Allison Stephens
1508 Pine St

Billy and Allison Stephens spoke about loving the idea of looking at zoning. Likes the idea of keeping this part of Ocean Ave historical and the other part for restaurants and businesses. They own the vacant lot on Ocean Ave and were going to work with a couple of other businesses near it to beautify Ocean Ave.

13. Administrative Reports

A. Town Attorney

No additions

B. Town Manager

Met with Frank Abbate, Brevard County Manager, about the issue with funding for the lifeguards.

Town Attorney Clifford Repperger spoke about the Commission may want to watch the County Commission meeting from 5/23/2023 where the County Commission discusses funding the lifeguards.

Commissioner Sherri Quarrie spoke about the issues go beyond just lifeguards. An example is the shooting that happened at Spessard Holland. The County is not supporting the beach at all even from a police standpoint. The Town should not need to take on more and more costs for protection. The County needs to step up and protect the people.

14. Commission Reports

15. Task List

Updated:

Lifeguards – waiting on the County Commission – Corey Runte asked to look into the cost of having our own lifeguard program – September

Street Ends for Kayak Launch – Closed

Parking Stickers – Waiting on the mockup, concept is smaller, circle, one color background, with the year on it – look into why they turn brown – July

Boat Ramp Improvements – look into grant opportunities – August

16. Public Comment

***Allison and Billy Stephens
1508 Pine St***

Allison and Billy Stephens spoke about wanting to keep it a Town boat ramp. Keep the mentality of it being a kayak launch to everyone outside of the Town. Could make it a neighborhood boat ramp so anyone using it would have to register with the Town first. If we got grant money what does that open us up to? If grant money opens us up to something we don't want then people might want to raise the money instead of losing something. Regarding the concept plans, instead of building a structure, build beaches with trees with some chairs. Keep it simple and small Town and protect the neighbor's privacy. The number one thing people use that area for is the sunset.

Mayor Wyatt Hoover spoke about each grant having different requirements.

Town Manager Elizabeth Mascaro spoke about a grant that was used to repair the pier the only requirement was to install a small plaque.

Roger Newell
506 Colony

Roger Newell asked if there is any way to get creative and play with the numbers to not have to pay the County for lifeguards. Has anyone done any data on the increase in population from here to the inlet?

17. Adjournment

Commission Sherri Quarrie moved to adjourn; Commissioner Corey Runte seconded, Motion carried 5-0.

Meeting adjourned at 8:29 p.m.

ATTEST:

Wyatt Hoover, Mayor

Amber Brown, Town Clerk



**TOWN OF MELBOURNE BEACH
DEVELOPMENT APPLICATION**

I. SUBMITTAL REQUIREMENTS:

- 1. Fees per current schedule.
- 2. Deed to property.
- 3. Pre-Application meeting is mandatory. Contact the Building Official or Building Clerk to submit information required and to schedule a pre-application meeting.
- 4. Application deadlines are determined annually by the Boards and will be provided at the pre-application meeting.
- 5. All applicants must complete pages 1-3 and the section(s) as applicable to the request (refer to section II. below). All materials listed in the applicable sections must be provided, and fees paid.

II. REQUEST:

- | | |
|--|--|
| <input type="checkbox"/> Land Use Plan Amendment | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Special Exception | <input type="checkbox"/> Coastal Construction Variance |
| <input type="checkbox"/> Variance | <input type="checkbox"/> Appeal (Application must be filed within 30 days) |
| <input checked="" type="checkbox"/> Site Plan Review Single Family (1RS, 2RS, 3RS) | <input type="checkbox"/> Site Plan Review Multifamily (4RM, 5RMO) |
| <input type="checkbox"/> Site Plan Review Commercial (6B, 7C, 8B, 9I) | <input type="checkbox"/> Amendment to the Land Development Code |
| | <input type="checkbox"/> Other (specify) _____ |

III. PROPERTY INFORMATION:

General Location: Melbourne Beach

Address: 510 3rd Avenue, Melbourne Beach FL 32951

Parcel Number(s): 28-38-07-02-11-7

Area (in acreage): .31 Area (in square feet): 25,802

Current Zoning: Single Family Residence Proposed Zoning: Single Family Residence

Current Future Land Use: 1 RS Proposed Future Land Use: 1 RS

Brief Description of Application: New Construction of Single Family Residence

Date of Mandatory Pre-Application Meeting (attach meeting minutes if applicable): 3/09/23

IV. APPLICANT INFORMATION:

Property Owner

Name: 510 3rd Avenue, LLC Phone: 321-403-7813

Address: 2101 Waverly Place Ste. 100 Fax: _____

Melbourne, FL 32901 Email: rrunte@cgcfloida.com

Applicant (if other than property owner)

Name: _____ Phone: _____

Address: _____ Fax: _____

_____ Email: _____

V. OWNER AUTHORIZATION:*

The undersigned hereby affirms the following:

- 1. That I/we are the fee simple title owner/contract purchaser (circle one) of the property described in this application.
- 2. That I/we have read and understands the entire application and concurs with the request.
- 3. That I/we have appointed the Applicant to represent the application, and empowers the Applicant to accept any and all conditions of approval imposed by the Town of Melbourne Beach.

Signature: [Handwritten Signature] Date: 6/05/23

Print Name: Ryan Runte Title: Manager

*Must sign in front of notary.

State of Florida
County of Brevard.

The foregoing application is acknowledged before me this 5 day of June, 2023, by Ryan Runte who is/are personally known to me, or who has/have produced NA as identification.

[Handwritten Signature]
Signature of Notary Public, State of Florida



A3

VI. APPLICANT CERTIFICATION:*

I/we affirm and certify that I/we understand and will comply with the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the application and support documents are fully complete and comply with the requirements of the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the statements and/or diagrams made on any paper or plans submitted here with are true to the best of my/our knowledge and belief that this application, attachments and application filing fees become part of the official public record of the Town of Melbourne Beach, Florida and are not returnable or refundable.

Under penalties of perjury, I/we declare that I/we have read the foregoing application and that to the best of my/our knowledge and belief the facts stated in the application are true.

Signature: [Handwritten Signature] Date: 6/05/23

Print Name: Ryan Runte Title: Manager

*Must sign in front of notary.

State of Florida
County of Brevard.

The foregoing application is acknowledged before me this 5 day of June, 2023 by Ryan Runte who is/are personally known to me, or who has/have produced NA as identification.

[Handwritten Signature]
Signature of Notary Public, State of Florida



VII. PROJECT DESCRIPTION:

Describe Application: Demolition of Existing Single Family Residence, and New Construction of Single Family Residence. New Residence is 2 story, 3,884 Sf.

Provide attachment if more space is needed.

Describe Existing Conditions: Existing 2 story dilapidated single family residence.

Provide attachment if more space is needed.

AL



TOWN OF MELBOURNE BEACH

BREVARD COUNTY'S OLDEST BEACH COMMUNITY ESTABLISHED 1883

Site Plan Review

Applicable Codes

Town of Melbourne Beach Land Development Code

Current Florida Building Code

Date: 6/19/2023

Owner: Ryan Runte

Owner Address: 510 3rd Ave Melbourne Beach Fl. 32901

Site Address: Same

Parcel ID: 28-38-07-02-11-7

Zoning: 1RS Zoning District 1RS

Project: Single Family Residence.

Reference: Town of Melbourne Beach Code of Ordinances: 7A-31.

Request: Approval by the Planning and Zoning Board and the Town Commission for: Single Family Residence.

Staff Review:

1).The project is: A single family home in the Town Limits of Melbourne Beach Fl.

2). The Building Lot Zoning District requirements of min. lot area, width and depth.

Lot area is 25,802 sq. ft. (min. 12,000 sq. ft.)

Lot width is 187.84 (min.100 ft.)

Lot depth is 120.21 (min. 120 ft.)

3). Lot coverage has a maximum of 30% for principle structure.

Lot coverage per plan is: 20.3%

Footprint of Primary Structure is 5,247 sq. ft. with the addition.

Max allowed for Primary Structure is 7,740.6 sq. ft. for Lot Area of 25,802

sq. ft.

Minimum pervious area per lot is 30%. Pervious area is 56%

4). Structure maximum height for zoning district is 28 ft.

The proposed height provided is 27'8 ¼" from FFE

Flood Zone AE And X

ALC

510 3rd Ave. Melbourne Beach. Fl.

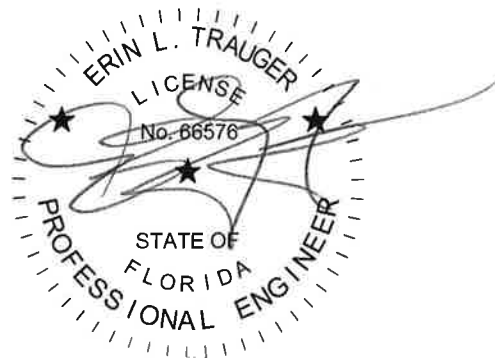
IMPERVIOUS		PERVIOUS	
Primary Structure	5,247	Shed space	
Pool	840	Open areas	
Decks	1020	Other	
Driveway	2,094		
Accessory Bldg	0		
Concrete areas	20	TOTAL PERVIOUS	15,218
Paver areas	1,363		
Other			
TOTAL IMPERVIOUS	41.00%	Lot Total Sq Footage	25,802
		TOTAL % PERVIOUS	59%



STORMWATER CALCULATIONS

SUBMITTED TO:
Town of Melbourne Beach

REVISION DATE:6-1-23



Erin Trauger, P.E.
FL License No. 66576

510 3RD Avenue
Residence

I. Introduction

The goal of this report is to detail requirements of compliance of the stormwater treatment system for the proposed improvements. The proposed single family residence improvements include a new single-family house located at 510 3rd Avenue in the Town of Melbourne Beach, Florida. The Brevard County Property Appraiser Aerial and Details have been included for reference.

II. Existing Conditions

There is currently a house on this lot but there is no existing stormwater treatment. Much of the lot drains toward the east directly to the river with the remainder of the lot drainage to Third Avenue that ultimately discharges directly to the river.

III. Proposed Conditions

The proposed site improvements involve the construction of the new single family house with porch as well as driveway and garage connected by a breezeway. A treatment swale is proposed mostly in the west part of the property to provide for stormwater treatment required on the lot before discharge to the river. Stormwater runoff created by the impervious surface for this project will be collected on-site and directed to three dry retention swales to treat the stormwater runoff. The 10 year 24 hour storm event was evaluated using the combined volume of the swales to verify retainage of the 8" storm event.

IV. Required Stormwater Calculations

A complete summary report has been provided in the attachments to include volume calculations for the proposed stormwater system, HydroCAD stormwater modeling information for the 10 year 24 hour storm event and a MODRET recovery analysis to ensure the Town of Melbourne Beach stormwater requirements are met. Also included in attached calculations are the soils reports provided by Universal Engineering identifying the season high water table and the percolation test results for conditions at the property. The following considerations were included in the evaluation.

- 8" of runoff from a 10-yr/24 hour storm event was evaluated for the 0.52 acre drainage basin at 510 Third Ave (including the proposed improvements) using HydroCAD and zero discharge is proposed from the storm collection ponds for this storm event.

- 72-Welaka sand has been determined to be the soils mapped according to the Soils Survey Map of Brevard County which is reflect in the weighted average CN value using A soil values for grass.
- The Season High Water Table information is provided in the table below and the soils report completed by Universal Engineering is provided in the attachments for review. The highest value encountered was utilized for recovery analysis purposes.

Boring#	Natural Ground	Existing Ground Water Elevation	Estimated Wet Season Ground Water Table
B-1	6.5	-0.3	0.7
B-2	7.0	0	1.0
B-3	6.7	0.3	1.3

- The peak stage of the storm ponds remains below the top of bank.
- The pond area is proposed to include removal of any organic build up under the ponds such that the horizontal and vertical percolation rate of 20 feet per day is maintained. Based on the soils report these high percolations rates are in place and therefore the pond volume recovery will be less than 72 hours for the 8 inch storm event.

V. **Summary**

As presented in the details above it has been determined that the proposed dry retention stormwater treatment system satisfies the design requirements of the Town of Melbourne Beach for the 10 year 24 hour-8 inch storm event.

LOCATION INFORMATION



SECOND AV

THIRD AV

RIVER RD

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Brevard County Property Appraiser

Titusville • Viera • Melbourne • Palm Bay

Phone: (321) 264-6700

<https://www.bcpao.us>

PROPERTY DETAILS

Account	2847687
Owners	510 3RD AVENUE LLC
Mailing Address	2101 WAVERLY PL, STE 100 MELBOURNE FL 32901
Site Address	510 THIRD AVE MELBOURNE BEACH FL 32951
Parcel ID	28-38-07-02-11-7
Property Use	0110 - SINGLE FAMILY RESIDENCE
Exemptions	HEX1 - HOMESTEAD FIRST HEX2 - HOMESTEAD ADDITIONAL
Taxing District	34X0 - MELBOURNE BEACH
Total Acres	0.59
Subdivision	WILCOX PLAT OF MELBOURNE BEACH RESUBD OF BLKS 11,20,21,30 & 31
Site Code	0110 - RIVER FRONT
Plat Book/Page	0010/0051
Land Description	WILCOX PLAT OF MELBOURNE BEACH RESUBD OF BLKS 11,20,21,30 & 31 S 120 FT OF LOT 7 BLK 11 EXC E 100 FT



VALUE SUMMARY

Category	2022	2021	2020
Market Value	\$1,067,330	\$838,540	\$794,430
Agricultural Land Value	\$0	\$0	\$0
Assessed Value Non-School	\$675,550	\$655,880	\$635,970
Assessed Value School	\$675,550	\$655,880	\$635,970
Homestead Exemption	\$25,000	\$25,000	\$25,000
Additional Homestead	\$25,000	\$25,000	\$25,000
Other Exemptions	\$0	\$0	\$0
Taxable Value Non-School	\$625,550	\$605,880	\$585,970
Taxable Value School	\$650,550	\$630,880	\$610,970

SALES/TRANSFERS

Date	Price	Type	Instrument
09/06/2022	\$1,550,000	WD	9606/0564
06/04/2019	--	WD	8458/619
09/18/2015	--	QC	7457/0864
09/17/2015	--	QC	7454/0862
09/15/2015	\$725,000	TD	7457/0870
11/08/1999	--	WD	4127/2475
06/01/1993	--	QC	3317/0420
05/01/1992	--	QC	3205/0326
04/01/1966	\$14,000	--	0861/0342

BUILDINGS

PROPERTY DATA CARD #1

Building Use: 0110 - SINGLE FAMILY RESIDENCE

Materials	Details
Exterior Wall: STUCCO	Year Built 1967
Frame: MASNRYCONC	Story Height 8
Roof: ASPH/ASB SHNGL	Floors 2
Roof Structure: HIP/GABLE	Residential Units 1
	Commercial Units 0

Sub-Areas		Extra Features	
Base Area (1st)	2,088	Fireplace	1
Base Area (2nd)	1,012		
Enclosed Por	286		
Garage	576		
Open Porch	40		
Open Porch	40		
Open Porch	144		
Open Porch	184		
Open Porch	325		
Open Porch	480		
Total Base Area	3,100		
Total Sub Area	5,175		

DATA AND CALCULATIONS

STORMWATER CALCULATIONS**Post-Development Drainage Basin Data: Type A Soils**

Cover Type	Area (acres)	CN Value
Impervious	10032.00	98
Pervious	12587.50	39
Total Area	22619.50	65

Stage/Storage Volume of Dry Retention Pond:

Elevation (Feet)	Area (Sq. Ft.)	Avg. Area (Sq. Ft.)	Volume (Cu. Ft.)	Sum. Volume (Cu. Ft.)
7.00	4,358		3,011	3,011
6.00	1,663	3,011	0	0

All



Runte Lot

Dry Retention Pond



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Runte on Third

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Area Listing (all nodes)

Area (acres)	CN	Description (subcatchment-numbers)
0.289	39	>75% Grass cover, Good, HSG A (2S)
0.230	98	Roofs, HSG A (2S)
0.519	65	TOTAL AREA

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Runte on Third

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Soil Listing (all nodes)

Area (acres)	Soil Group	Subcatchment Numbers
0.519	HSG A	2S
0.000	HSG B	
0.000	HSG C	
0.000	HSG D	
0.000	Other	
0.519		TOTAL AREA

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Runte on Third

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Ground Covers (all nodes)

HSG-A (acres)	HSG-B (acres)	HSG-C (acres)	HSG-D (acres)	Other (acres)	Total (acres)	Ground Cover	Subcatchment Numbers
0.289	0.000	0.000	0.000	0.000	0.289	>75% Grass cover, Good	2S
0.230	0.000	0.000	0.000	0.000	0.230	Roofs	2S
0.519	0.000	0.000	0.000	0.000	0.519	TOTAL AREA	

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Runte on Third

Type II FL 24-hr 10 YR 24 HR Rainfall=8.00"

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Time span=0.00-30.00 hrs, dt=0.01 hrs, 3001 points
 Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
 Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

Subcatchment2S: Runte Lot

Runoff Area=22,619 sf 44.35% Impervious Runoff Depth=3.89"
 Tc=10.0 min CN=65 Runoff=1.28 cfs 0.169 af

Pond 3P: Dry Retention Pond

Peak Elev=6.71' Storage=1,423 cf Inflow=1.28 cfs 0.169 af
 Outflow=0.61 cfs 0.169 af

Total Runoff Area = 0.519 ac Runoff Volume = 0.169 af Average Runoff Depth = 3.89"
55.65% Pervious = 0.289 ac 44.35% Impervious = 0.230 ac

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Runte on Third

Type II FL 24-hr 10 YR 24 HR Rainfall=8.00"

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Summary for Subcatchment 2S: Runte Lot

Runoff = 1.28 cfs @ 12.21 hrs, Volume= 0.169 af, Depth= 3.89"
 Routed to Pond 3P : Dry Retention Pond

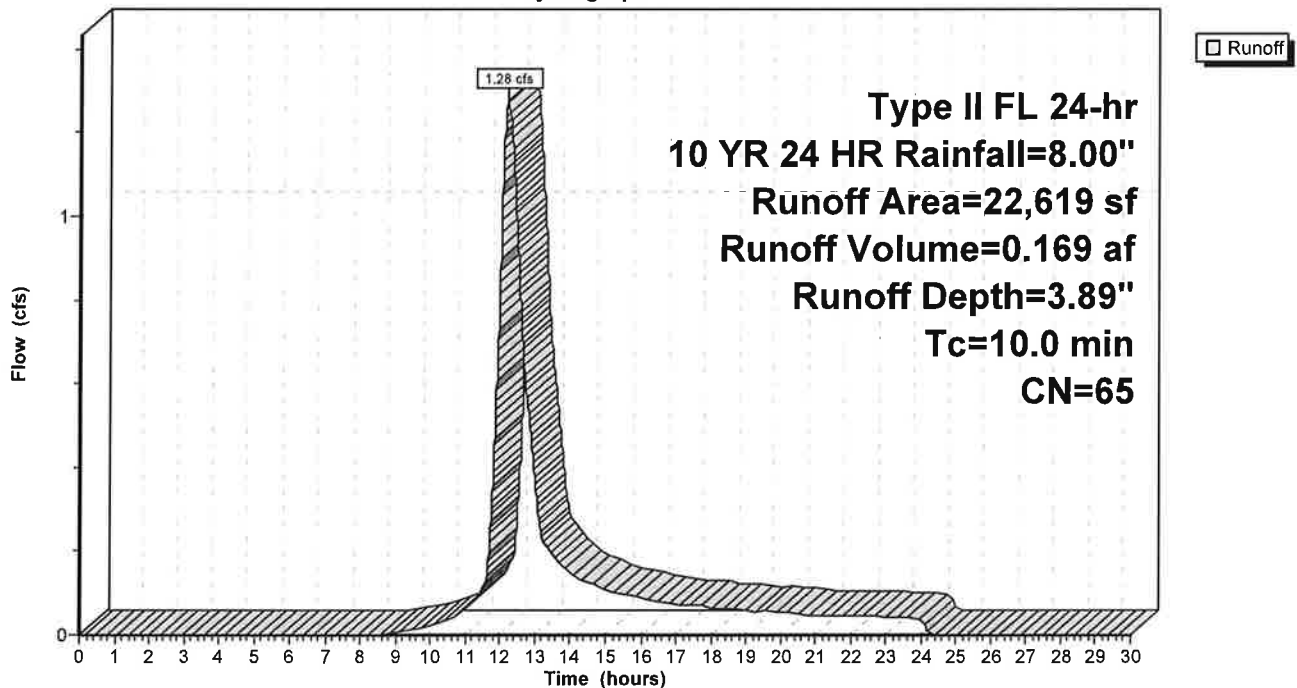
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-30.00 hrs, dt= 0.01 hrs
 Type II FL 24-hr 10 YR 24 HR Rainfall=8.00"

Area (sf)	CN	Description
10,032	98	Roofs, HSG A
12,587	39	>75% Grass cover, Good, HSG A
22,619	65	Weighted Average
12,587		55.65% Pervious Area
10,032		44.35% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,

Subcatchment 2S: Runte Lot

Hydrograph



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Runte on Third

Type II FL 24-hr 10 YR 24 HR Rainfall=8.00"

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Summary for Pond 3P: Dry Retention Pond

Inflow Area = 0.519 ac, 44.35% Impervious, Inflow Depth = 3.89" for 10 YR 24 HR event
 Inflow = 1.28 cfs @ 12.21 hrs, Volume= 0.169 af
 Outflow = 0.61 cfs @ 12.71 hrs, Volume= 0.169 af, Atten= 52%, Lag= 30.3 min
 Discarded = 0.61 cfs @ 12.71 hrs, Volume= 0.169 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.01 hrs
 Peak Elev= 6.71' @ 12.71 hrs Surf.Area= 2,374 sf Storage= 1,423 cf

Plug-Flow detention time= 15.5 min calculated for 0.169 af (100% of inflow)
 Center-of-Mass det. time= 15.5 min (871.2 - 855.7)

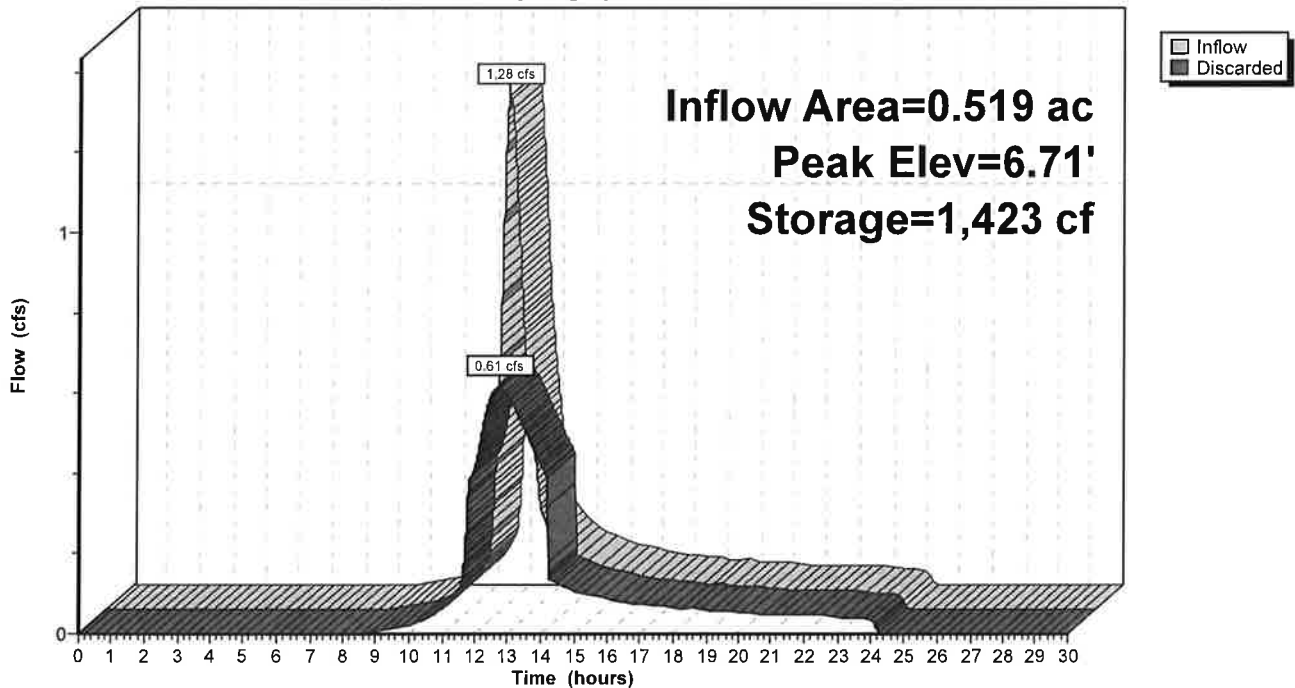
Volume	Invert	Avail.Storage	Storage Description
#1	6.00'	2,163 cf	24.00'W x 69.30'L x 1.00'H Prismaoid Z=5.0

Device	Routing	Invert	Outlet Devices
#1	Discarded	6.00'	10.000 in/hr Exfiltration over Surface area Conductivity to Groundwater Elevation = 1.00' Phase-In= 0.01'

Discarded OutFlow Max=0.61 cfs @ 12.71 hrs HW=6.71' (Free Discharge)
 1=Exfiltration (Controls 0.61 cfs)

Pond 3P: Dry Retention Pond

Hydrograph



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MODRET

SUMMARY OF UNSATURATED & SATURATED INPUT PARAMETERS

PROJECT NAME : 510 Third Ave
POLLUTION VOLUME RUNOFF DATA USED
UNSATURATED ANALYSIS INCLUDED

Pond Bottom Area	1,663.00 ft ²
Pond Volume between Bottom & DHWL	3,011.00 ft ³
Pond Length to Width Ratio (L/W)	3.00
Elevation of Effective Aquifer Base	0.00 ft
Elevation of Seasonal High Groundwater Table	1.00 ft
Elevation of Starting Water Level	6.00 ft
Elevation of Pond Bottom	6.00 ft
Design High Water Level Elevation	7.00 ft
Avg. Effective Storage Coefficient of Soil for Unsaturated Analysis	0.28
Unsaturated Vertical Hydraulic Conductivity	10.00 ft/d
Factor of Safety	2.00
Saturated Horizontal Hydraulic Conductivity	10.00 ft/d
Avg. Effective Storage Coefficient of Soil for Saturated Analysis	0.29
Avg. Effective Storage Coefficient of Pond/Exfiltration Trench	1.00

Hydraulic Control Features:

	Top	Bottom	Left	Right
Groundwater Control Features - Y/N	N	N	N	N
Distance to Edge of Pond	0.00	0.00	0.00	0.00
Elevation of Water Level	0.00	0.00	0.00	0.00
Impervious Barrier - Y/N	N	N	N	N
Elevation of Barrier Bottom	0.00	0.00	0.00	0.00

MODRET

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TIME - RUNOFF INPUT DATA**PROJECT NAME: 510 THIRD AVE**

STRESS PERIOD NUMBER	INCREMENT OF TIME (hrs)	VOLUME OF RUNOFF (ft³)
Unsat	6.72	2,328.20
1	1.00	682.80
2	8.03	0.00
3	8.03	0.00
4	8.03	0.00
5	8.03	0.00
6	8.03	0.00
7	8.03	0.00
8	8.03	0.00
9	8.03	0.00

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MODRET**SUMMARY OF RESULTS****PROJECT NAME : 510 Third Ave**

CUMULATIVE TIME (hrs)	WATER ELEVATION (feet)	INSTANTANEOUS INFILTRATION RATE (cfs)	AVERAGE INFILTRATION RATE (cfs)	CUMULATIVE OVERFLOW (ft³)
00.00 - 0.00	1.000	0.000 *		
			0.00000	
0.00	1.000	0.10835		
			0.08892	
7.72	6.179	0.06948		0.00
			0.04925	
10.76	6.000	0.04175		0.00
			0.03425	
23.79	5.377	0.02961		0.00
			0.02497	
31.82	5.137	0.02233		0.00
			0.01968	
39.86	4.948	0.01797		0.00
			0.01626	
47.90	4.792	0.01504		0.00
			0.01382	
55.93	4.659	0.01289		0.00
			0.01197	
63.97	4.544	0.01126		0.00
			0.01054	
72.00	4.443			0.00

Maximum Water Elevation: 6.179 feet @ 7.72 hours

Recovery @ 10.765 hours

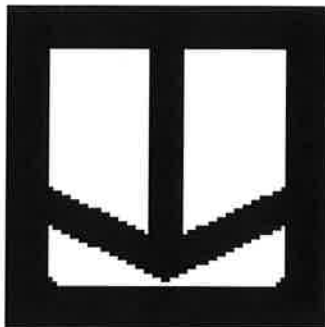
* Time increment when there is no runoff

Maximum Infiltration Rate: 2.551 ft/day

Analysis Date: 6/2/2023

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SOILS REPORT AND MAP INFORMATION



UNIVERSAL ENGINEERING SCIENCES

LIMITED SUBSURFACE EXPLORATION

Proposed Retention Basin
Residential lot
510 Third Avenue
Melbourne Beach, Brevard County, Florida
Universal Project No. 0330.2300030.0000

February 28, 2023

PREPARED FOR:
Certified General Contractors, Inc.
730 E. Strawbridge Avenue
Melbourne, Florida 32901

PREPARED BY:
Universal Engineering Sciences, LLC.
820 Brevard Avenue
Melbourne, Florida 32901
(321) 638-0808

Consultants in: Geotechnical Engineering • Environmental Sciences • Construction Materials Testing • Threshold Inspection
Offices in: Orlando • Daytona Beach • Fort Myers • Gainesville • Jacksonville • Ocala • Palm Coast • Rockledge • Sarasota •
Miami • Panama City • Pensacola • Fort Pierce • Tampa • West Palm Beach • Atlanta, GA • Tifton, GA

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UNIVERSAL ENGINEERING SCIENCES

Consultants In: Geotechnical Engineering • Environmental Sciences
Geophysical Services • Construction Materials Testing • Threshold Inspection
Building Inspection • Plan Review • Building Code Administration

LOCATIONS:

- Atlanta
- Daytona Beach
- Fort Myers
- Fort Pierce
- Gainesville
- Jacksonville
- Miami
- Ocala
- Orlando (Headquarters)
- Palm Coast
- Panama City
- Pensacola
- Rockledge
- Sarasota
- Tampa
- West Palm Beach
- Tifton, GA

February 28, 2023

Certified General Contractors, Inc.
730 E. Strawbridge Avenue
Suite 100
Melbourne, Florida 32901

Attention: Mr. Ryan Runte

Reference: Limited Subsurface Exploration
Retention Basin
Residential Lot
510 Third Avenue
Melbourne Beach, Brevard County, Florida
Universal Project No. 0330.2300030.0000

Dear Mr. Runte:

Universal Engineering Sciences, LLC. (Universal) has completed a limited subsurface exploration at the above referenced site in Melbourne Beach, Florida. Our exploration was authorized by you, and was conducted as outlined in Universal's Proposal No. 0330.0223.00022. This exploration was performed in accordance with generally accepted soil and foundation engineering practices. No other warranty, expressed or implied, is made.

The following report presents the results of our field exploration with a geotechnical engineering interpretation of those results with respect to the project characteristics as provided to us. We have included our estimates of the typical wet season high groundwater levels at the boring locations and general comments concerning anticipated infiltration characteristics of the retention basin subsoils.

We appreciate the opportunity to have worked with you on this project and look forward to a continued association. Please do not hesitate to contact us if you should have any questions, or if we may further assist you as your plans proceed.

Sincerely yours,

UNIVERSAL ENGINEERING SCIENCES, LLC

Certificate of Authorization No. 549

Robert Smith, P.E., PMP
Geotechnical Department Manager
Florida Professional Engineer No. 78130

Brad Faucett, M.S. P.E.
Regional Engineer
Florida Professional Engineer No. 33123

1 – Client (by e-mail)
UES DOCS# 2004993

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FIGURES

Brevard County Soil Survey Figure No. 1
 USGS Topographic Map Figure No. 2
 Boring Location Plan Figure No. 3

APPENDICES

Boring Log Appendix A
 Key to Boring Logs Appendix A

EXHIBITS

GBA Document Exhibit 1

1.0 INTRODUCTION

Universal Engineering Sciences, LLC. (Universal) has completed a limited subsurface exploration for the retention basin at the proposed residential lot in Melbourne Beach, Florida. Our exploration was authorized by Mr. Ryan Runte of Certified General Contractors, Inc. and was conducted as outlined in Universal's Proposal No. 0330.0223.00022.

This exploration was performed in accordance with generally accepted soil and foundation engineering practices. No other warranty, expressed or implied, is made.

2.0 PROJECT DESCRIPTION

Universal understands from the information submitted to us by the Client that the proposed project will include the demolition of the existing house and construction of a new retention basin in the approximate location as shown on the attached Figure 3.

Please note that our subsurface exploration was conducted to acquire general subsurface information for the proposed retention basin only.

3.0 PURPOSE

The purposes of this exploration were:

- to explore the subsurface conditions at the general locations and depths as requested by the project civil engineers;
- to provide our estimates of the typical wet season high groundwater level at the boring locations; and
- to provide general comments concerning the anticipated infiltration characteristics of the proposed retention basin subsoils.

4.0 SITE DESCRIPTION

The subject site is located within Section 7, Township 28 South, Range 38 East in Melbourne Beach, Brevard County, Florida. More specifically, the site is located on the north side of Third Avenue, west of the intersection with Pine Street, in Melbourne Beach, Brevard County, Florida. At the time of drilling, a house existed on the property with surrounding vegetation and yard. We understand that the existing house will be demolished with the proposed construction.

4.1 SOIL SURVEY

One soil type is mapped within the general area of the site according to the Brevard County Soil Survey (BCSS), dated 1974, (updated using USDA-NCSS SSURGO and STATSGO Soil Survey). A brief description of the soil is shown in the following Table I. A copy of the relevant portion of the BCSS map is included as Figure No. 1.

TABLE I
BCSS DESIGNATED SOIL TYPES

Soil Type (Map Symbol)	Brief Description
72-Welaka sand, (We)	Nearly level, well drained sandy soil on moderately broad ridges interspersed with long narrow sloughs.

4.2 TOPOGRAPHY

According to information obtained from the United States Geological Survey (USGS) Melbourne East, Florida 7.5-minute topographic quadrangle map (dated 2021); ground surface elevation across the site area is approximately +10 feet North American Vertical Datum (NAVD). The portion of the USGS map with coverage of the site is included as Figure No. 2 of this report.

5.0 SCOPE OF SERVICES

The services conducted by Universal during our subsurface exploration program were as follows:

- Complete four (4) manual auger borings within the footprint of the retention basin to a depth of 7 feet bls.
- Obtain six (6) bulk samples of the near surface soils within the retention basin footprint for subsequent laboratory permeability testing.
- Secure samples of representative soils encountered in the soil borings for review, laboratory analysis and classification by a Geotechnical Engineer.
- Measure the existing site groundwater levels and provide an estimate of the typical wet season high groundwater levels.
- Conduct soil gradation tests on selected soil samples obtained in the field to help determine their engineering properties.
- Assess the existing soil conditions with respect to the proposed construction.
- Preparing a geotechnical engineering report that documents the results of our preliminary subsurface exploration and laboratory testing program with analysis and general comments.

6.0 LIMITATIONS

Please note that this report is based on a limited subsurface exploration program with the scope of services as requested by the Client. The information submitted in this report is based on data obtained from the soil boring performed at the location indicated on the Boring Location Plan and from other information as referenced. This report has not been prepared to meet the full needs of design professionals, contractors, or any other parties, and any use of this report by them without the guidance of the soil and foundation engineer who prepared it constitutes improper usage that could lead to erroneous assumptions, faulty conclusions, and other problems.

This report does not reflect any variations that may occur between the boring locations. The nature and extent of such variations may not become evident until the course of construction. If variations become evident, it will then be necessary for a re-evaluation of the recommendations of this report after performing on-site observations during the construction period and noting the characteristics of the variations.

Borings for a typical geotechnical report are widely spaced and generally not sufficient for reliably detecting the presence of isolated, anomalous surface or subsurface conditions, or reliably estimating unsuitable or suitable material quantities. Accordingly, Universal does not recommend relying on our boring information to negate the presence of anomalous materials or for estimation of material quantities unless our contracted services **specifically** include sufficient exploration for such purpose(s) and within the report we so state that the level of exploration provided should be sufficient to detect such anomalous conditions or estimate such quantities. Therefore, Universal will not be responsible for any extrapolation or use of our data by others beyond the purpose(s) for which it is applicable or intended.

All users of this report are cautioned that there was no requirement for Universal to attempt to locate any manmade buried objects or identify any other potentially hazardous conditions that may exist at the site during the course of this exploration. Therefore, no attempt was made by Universal to locate or identify such concerns. Universal cannot be responsible for any buried manmade objects or environmental hazards which may be subsequently encountered during construction that are not discussed within the text of this report. We can provide this service if requested.

For a further description of the scope and limitations of this report, please review the document attached within Exhibit 1, "Important Information about Your Geotechnical Engineering Report", prepared by GBA/The Geoprofessional Business Association.

7.0 FIELD METHODOLOGIES

7.1 AUGER BORINGS

The three (3) auger borings, designated B1 through B3 on the attached Figure No. 3, were drilled in general accordance with the procedures of ASTM D 1452 (Standard Practice for Soil Investigation and Sampling by Auger Borings). The auger drilling technique involves advancing a slender, solid-stem, bucket auger into the soil to the required depth. The soil types encountered were also evaluated by visually classifying the cuttings recovered from the auger bucket in accordance with ASTM D 2487 guidelines.

The shallow auger borings were performed by experienced field technicians using hand equipment. The boring locations were determined in the field using a hand held GPS receiver. No survey control was provided on-site, and our boring locations should be considered only as accurate as implied by the methods of measurement used. The approximate boring locations are shown on the attached Figure No. 3.

8.0 LABORATORY METHODOLOGIES

8.1 PARTICLE SIZE ANALYSIS

We completed #200 sieve particle size analyses on three (3) representative soil samples. These samples were tested according to the procedures listed ASTM D 1140 (Standard Test Method for Amount of Material in Soils Finer than the No. 200 Sieve). In part, ASTM D 1140 requires a thorough mixing the sample with water and flushing it through a No. 200 sieve until all of the particles smaller than the sieve size leave the sample.

The percentage of the material finer than the No. 200 sieve helps determines the textural nature of the soil sample and aids in evaluating its engineering characteristics. The percentage of soil particles passing the #200 sieve in each sample tested is shown on the appropriate attached boring logs.

8.2 PERMEABILITY TESTS

Constant head permeability tests were performed on six (6) remolded bulk samples, recovered from the boring locations by measuring the water flow through the samples for time versus flow volume. This data was used to calculate the coefficient of permeability (K) of the soils. Results of these tests are found in the laboratory results section of this report.

9.0 SOIL STRATIGRAPHY

The results of our field exploration and laboratory analysis, together with pertinent information obtained from the auger borings, such as soil profiles, penetration resistance and stabilized groundwater levels are shown on the boring logs included in Appendix A. The Key to Boring Logs, Soil Classification Chart is also included in Appendix A. The soil profiles were prepared from field logs after the recovered soil samples were examined by a Geotechnical Engineer.

The stratification lines shown on the boring logs represent the approximate boundaries between soil types, and may not depict exact subsurface soil conditions. The actual soil boundaries may be more transitional than depicted. A generalized profile of the soils encountered at our boring locations is presented in the following Table II. For more detailed soil profiles, please refer to the attached boring logs.

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**TABLE II
GENERALIZED SOIL PROFILE**

Depth Encountered (feet, bls)	Approximate Thickness (feet)	Soil Description
Surface	1	Fill soils consisting of fine sand with silt, and varying amounts of clay lumps, gravel and shell [SP-SM]. The fill soils were not evident at boring location B1, however, a thick layer of topsoil was noted at this location.
1	3 to 4	Fine sand [SP].
4 to 5	2+ to 3+	Fine sand with broken shell [SP].

NOTE: [] denotes Unified Soil Classification system designation.
+ indicates strata encountered at boring termination, total thickness undetermined.

10.0 GROUNDWATER CONDITIONS

10.1 EXISTING GROUNDWATER CONDITIONS

We measured the water level in the auger boreholes on February 23, 2023 after the groundwater was allowed to stabilize. The measured groundwater level depth ranged from 6.4 feet at boring location B3 to 7.0 feet bls at boring location B2 as shown on the attached boring logs. Fluctuations in groundwater levels should be anticipated throughout the year, primarily due to seasonal variations in rainfall, surface runoff, and other factors that may vary from the time the borings were conducted.

10.2 TYPICAL WET SEASON HIGH GROUNDWATER LEVEL

The typical wet season high groundwater level is defined as the highest groundwater level sustained for a period of 2 to 4 weeks during the "wet" season of the year, for existing site conditions, in a year with average normal rainfall amounts. Based on historical data, the rainy season in Brevard County, Florida is between June and October of the year. In order to estimate the wet season water level at the boring locations, many factors are examined, including the following:

- a. Measured groundwater level
- b. Drainage characteristics of existing soil types
- c. Season of the year (wet/dry season)
- d. Current & historical rainfall data (recent and year-to-date)
- e. Natural relief points (such as lakes, rivers, swamp areas, etc.)
- f. Man-made drainage systems (ditches, canals, etc.)
- g. Distances to relief points and man-made drainage systems
- h. On-site types of vegetation
- i. Area topography (ground surface elevations)

Groundwater level readings were taken on February 23, 2023. According to data from the Southeast Regional Climate Center and the National Weather Service, the total rainfall in the previous month of January for Central Brevard County was 0.4 inches, approximately 2.2 inches below the normal amount for the month of January. Rainfall for calendar year 2022 was 52.1

inches, about 1.4 inches above normal levels. Total precipitation in 2023 as of February 23 was approximately 2.0 inches, roughly 2½ inches below the normal levels for this time period.

Based on this information and the factors listed above, we estimate that the typical wet season high groundwater levels at the boring locations will be approximately one (1) foot above the recorded measured levels. Please note, however, that peak stage elevations immediately following various intense storm events, may be somewhat higher than the estimated typical wet season high levels.

11.0 LABORATORY RESULTS

11.1 PARTICLE SIZE ANALYSIS

The soil samples submitted for analysis were classified as fine sand [SP]. The percentage of soil sizes passing the #200 sieve size are shown on the boring logs at the approximate depth sampled.

11.2 PERMEABILITY TESTS

Soil permeability is a measure of the soil's ability to allow water flow through it under saturated conditions. Permeability is a function of the grain size and sorting of the entire soil mass. According to the National Soil Survey Handbook, 1993 Edition, published by the U.S. Department of Agriculture, permeability rates can be expressed in the following classes:

Permeability Class	Permeability K (in/hr)
Extremely Slow	0.0 – 0.01
Very Slow	0.01 – 0.06
Slow	0.06 – 0.2
Moderately Slow	0.2 – 0.6
Moderate	0.6 – 2.0
Moderately Rapid	2.0 – 6.0
Rapid	6.0 – 20.0
Very Rapid	> 20.0

Most "clean" fine sands [SP] typically exhibit moderately rapid to very rapid permeabilities. Fine sands with silt or clay [SP-SM or SP-SC] can usually be considered to have slow to moderately slow permeabilities; while silty sand [SM], clayey sands [SC], silts [ML] and clays [CL] are typically within the extremely slow to slow class.

The results obtained from our laboratory vertical and horizontal permeability tests, where K is the coefficient of permeability, are displayed in the following Table III:

TABLE III
PERMEABILITY TEST RESULTS

Boring Location	Soil Type	Sample Depth (feet)	Permeability Rate K (in/hr)	Permeability Class
B1	Fine sand [SP]	Remolded at 2	1.2	Moderate
B1	Fine sand [SP]	Remolded at 4	16.3	Rapid
B2	Fine sand [SP]	Remolded at 2	7.7	Rapid
B2	Fine Sand [SP]	Remolded at 5	18.8	Raid
B3	Fine sand [SP]	Remolded at 2	5.3	Moderately Rapid
B3	Fine sand [SP]	Remolded at 4	25.1	Very Rapid

It should be noted that the coefficient of permeability is not an infiltration rate. The actual infiltration rate is influenced by the coefficient of permeability as well as several factors, including the elevation of the pond bottom, water level in the pond, the elevation of the wet season water table, and the confining layer.

12.0 RETENTION BASIN

We understand that the stormwater runoff from the new impervious surfaces at this project will be collected within a proposed retention basin to be constructed in the approximate areas of our borings as shown on Figure 3. The hydraulic capacity of a stormwater retention basin is principally a function of the ability of the surface soil to receive and percolate the storm water runoff. Upon reaching the groundwater table or a restrictive layer, the stormwater runoff begins to mound.

The amount and rate of rise in the recharge mound depends on several factors, including the thickness and permeability of the receiving stratum, the elevation of the groundwater table, and the geometry of the loaded area.

The actual infiltration rate of retention basin subsoils is influenced by the coefficient of permeability as well as several factors, including the elevation of the pond bottom, water level in the pond, the elevation of the wet season water table, and the confining layer. These factors must be accounted for in an appropriate groundwater model to determine the infiltration rate of a given soil stratum. We recommend the designer use a commercial software program such as "Ponds" or "Modret" in order to evaluate these ponds.

The retention basin area subsoils appear to be mostly moderately rapid to rapid fine sand [SP] to the termination depth of our borings at seven (7) feet bls.

We estimate that the natural site surficial sands would exhibit a fillable porosity of approximately $N = 25\%$. For a dry retention system to be used at this project, we recommend that the site be contoured to allow a pond bottom level of at least 1 foot above the estimated seasonal high groundwater levels.

Please note that the action of earthmoving equipment tends to densify the subsoils at the bottom of pond level during construction; somewhat reducing their permeability rate. Hence, we recommend that the permeability rate of the existing surficial sands [SP] listed in Table III be reduced by approximately 25% in the actual design.

After the configurations of the proposed retention basins are further defined, Universal should be allowed to review the proposed plans, so that recommendations for any necessary additional borings and/or laboratory testing can be formulated.

14.0 CLOSURE

We appreciate this opportunity to be of service as your geotechnical consultant on this phase of the project and look forward to providing follow up explorations and geotechnical engineering analyses as the project progresses through the design phase. If you have any questions concerning this report or when we may be of any further service, please contact us.

* * * * *



FIGURES



Source: USDA Soil Survey of Brevard County, Florida (1974)
Aerial Photo from Google Earth Pro.



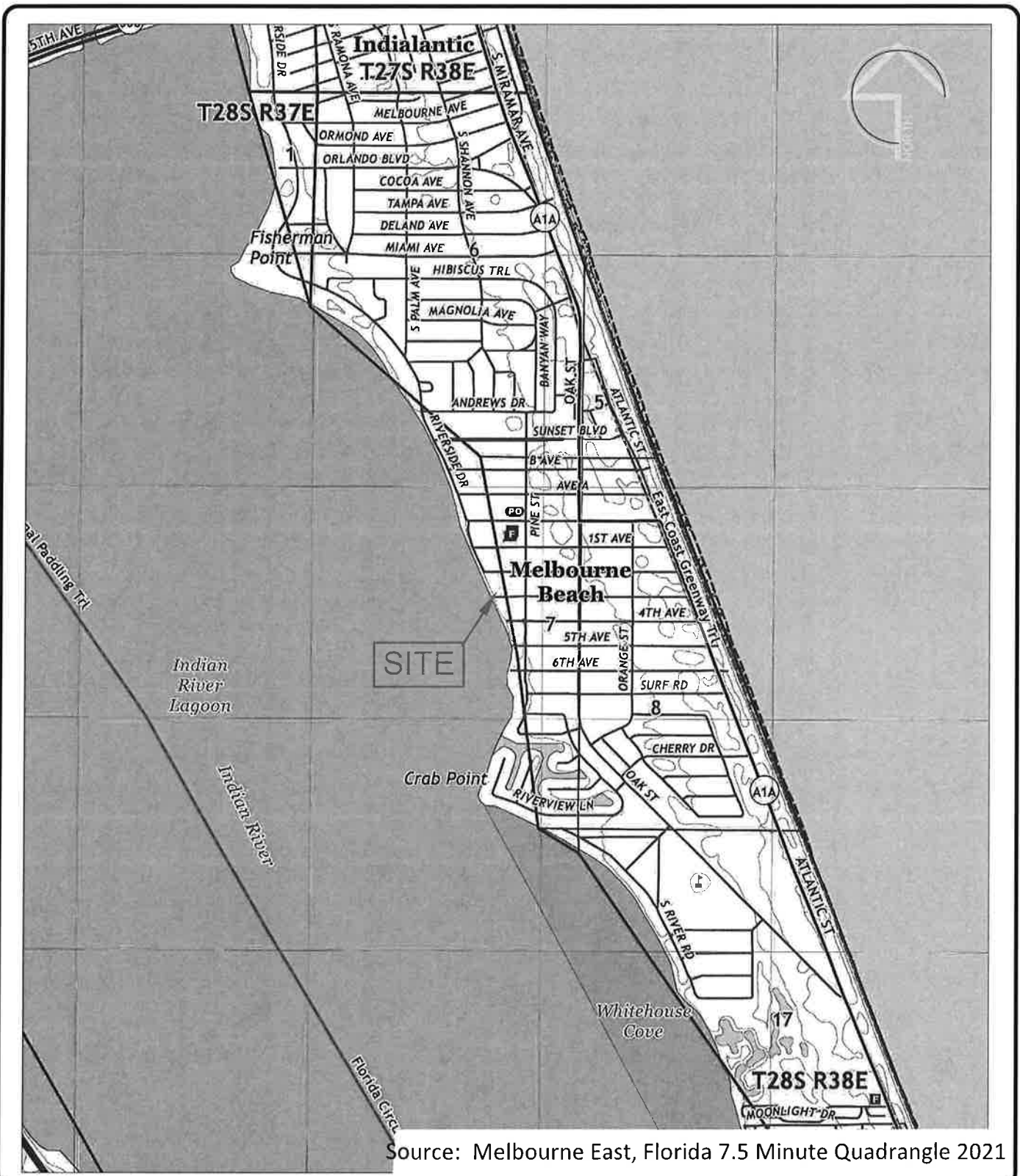
UNIVERSAL
ENGINEERING SCIENCES

**PROPOSED RESIDENCE DRAINAGE IMPROVEMENTS
510 THIRD AVENUE
MELBOURNE, BREVARD COUNTY, FLORIDA**

BREVARD COUNTY SOIL SURVEY

DRAWN BY: RS	DATE: FEBRUARY 27, 2023	CHECKED BY: BF	DATE: FEBRUARY 27, 2023
SCALE: N.T.S.	PROJECT NO: 0330.2300030.0000	PAGE NO: FIGURE 1	

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Source: Melbourne East, Florida 7.5 Minute Quadrangle 2021



UNIVERSAL
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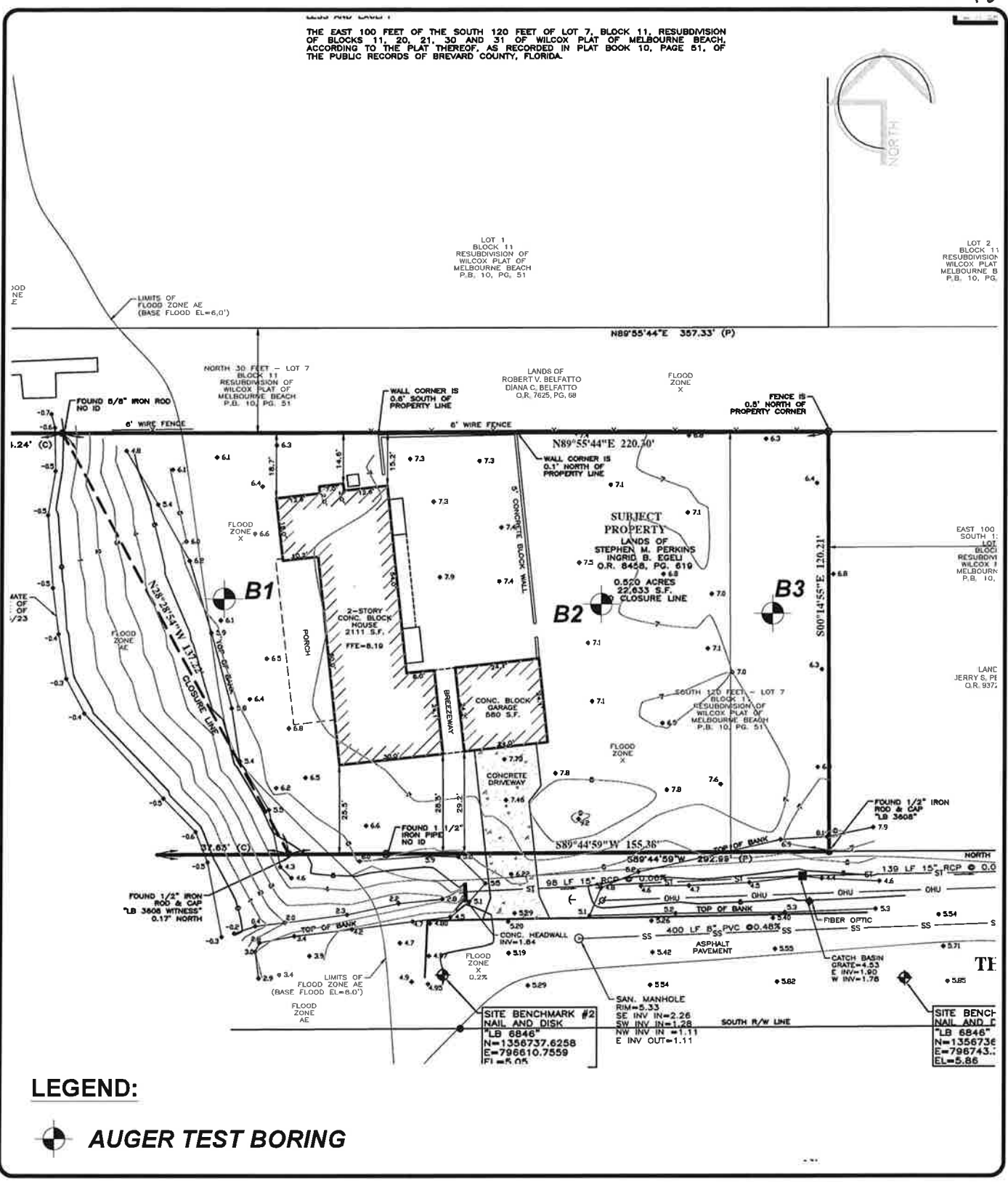
**PROPOSED RESIDENCE DRAINAGE IMPROVEMENTS
510 THIRD AVENUE
MELBOURNE, BREVARD COUNTY, FLORIDA**

USGS TOPOGRAPHIC SURVEY

DRAWN BY: RS	DATE: FEBRUARY 27, 2023	CHECKED BY: BF	DATE: FEBRUARY 27, 2023
SCALE: 1" = 2000'	PROJECT NO: 0330.2300030.0000	PAGE NO: FIGURE 2	

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THE EAST 100 FEET OF THE SOUTH 120 FEET OF LOT 7, BLOCK 11, RESUBDIVISION OF BLOCKS 11, 20, 21, 30 AND 31 OF WILCOX PLAT OF MELBOURNE BEACH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10, PAGE 51, OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.



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APPENDIX A

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UNIVERSAL ENGINEERING SCIENCES BORING LOG

PROJECT NO.: 0330.230030.0000

REPORT NO.:

APPENDIX: A

PROJECT: DRAINAGE DUE DILIGENCE RESIDENTIAL LOT
510 THIRD AVENUE
MELBOURNE, FLORIDA

BORING DESIGNATION: **B1**
SECTION: TOWNSHIP:

SHEET: **1 of 1**
RANGE:

CLIENT:
LOCATION: SEE BORING LOCATION PLAN
REMARKS:

G.S. ELEVATION (ft):
WATER TABLE (ft): 6.8
DATE OF READING: 2/23/2023
EST. W.S.W.T. (ft):

DATE STARTED: 2/22/23
DATE FINISHED: 2/22/23
DRILLED BY: AD
TYPE OF SAMPLING:

DEPTH (FT.)	S A M P L E	BLOWS PER 6" INCREMENT	N (BLOWS/ FT.)	W.T.	S Y M B O L	DESCRIPTION	-200 (%)	MC (%)	ATTERBERG LIMITS		K (FT./ DAY)	ORG. CONT. (%)
									LL	PI		
0					▨	fine SAND with silt, trace of roots, dark brown, [SP-SM] (topsoil)						
					▨	fine SAND, brown, [SP]						
					▨	fine SAND with broken shell, brown, [SP]	1.0	4.7				
5					▨							
				▼	▨	BORING TERMINATED AT 7'						
10												

BL3

A45



UNIVERSAL ENGINEERING SCIENCES BORING LOG

PROJECT NO.: 0330.230030.0000

REPORT NO.:

APPENDIX: A

PROJECT: DRAINAGE DUE DILIGENCE RESIDENTIAL LOT
510 THIRD AVENUE
MELBOURNE, FLORIDA

BORING DESIGNATION: **B2**
SECTION: TOWNSHIP:

SHEET: **1 of 1**
RANGE:

CLIENT:
LOCATION: SEE BORING LOCATION PLAN
REMARKS:

G.S. ELEVATION (ft):
WATER TABLE (ft): 7.0
DATE OF READING: 2/23/2023
EST. W.S.W.T. (ft):

DATE STARTED: 2/22/23
DATE FINISHED: 2/22/23
DRILLED BY: AD
TYPE OF SAMPLING:

DEPTH (FT.)	SAMPLE	BLOWS PER 6" INCREMENT	N (BLOWS/ FT.)	W.T.	SYMBOL	DESCRIPTION	-200 (%)	MC (%)	ATTERBERG LIMITS		K (FT./ DAY)	ORG. CONT. (%)
									LL	PI		
0					▨	fine SAND with silt, broken shell, clay lumps and gravel, brown, [SP-SM] (fill)						
					▨	fine SAND, brown, [SP]						
					▨	fine SAND with broken shell, brown, [SP]	1.1	2.1				
5												
				▼		BORING TERMINATED AT 7'						
10												

BL3

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UNIVERSAL ENGINEERING SCIENCES BORING LOG

PROJECT NO.: 0330.230030.0000

REPORT NO.:

APPENDIX: A

PROJECT: DRAINAGE DUE DILIGENCE RESIDENTIAL LOT
510 THIRD AVENUE
MELBOURNE, FLORIDA

BORING DESIGNATION: **B3**
SECTION: TOWNSHIP:

SHEET: **1 of 1**
RANGE:

CLIENT:
LOCATION: SEE BORING LOCATION PLAN

G.S. ELEVATION (ft): DATE STARTED: 2/22/23

WATER TABLE (ft): 6.4 DATE FINISHED: 2/22/23

REMARKS:

DATE OF READING: 2/23/2023 DRILLED BY: AD

EST. W.S.W.T. (ft): TYPE OF SAMPLING:

DEPTH (FT.)	S A M P L E	BLOWS PER 6" INCREMENT	N (BLOWS/ FT.)	W.T.	S Y M B O L	DESCRIPTION	-200 (%)	MC (%)	ATTERBERG LIMITS		K (FT./ DAY)	ORG. CONT. (%)
									LL	PI		
0						fine SAND with silt, broken shell, gravel and clay lumps, brown, [SP-SM] (fill)						
						fine SAND, brown, [SP]						
							0.7	1.4				
5						fine SAND with broken shell, brown, [SP]						
						BORING TERMINATED AT 7'						
10												

BL3

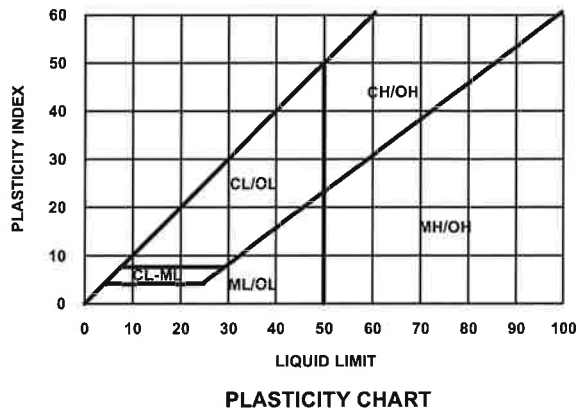
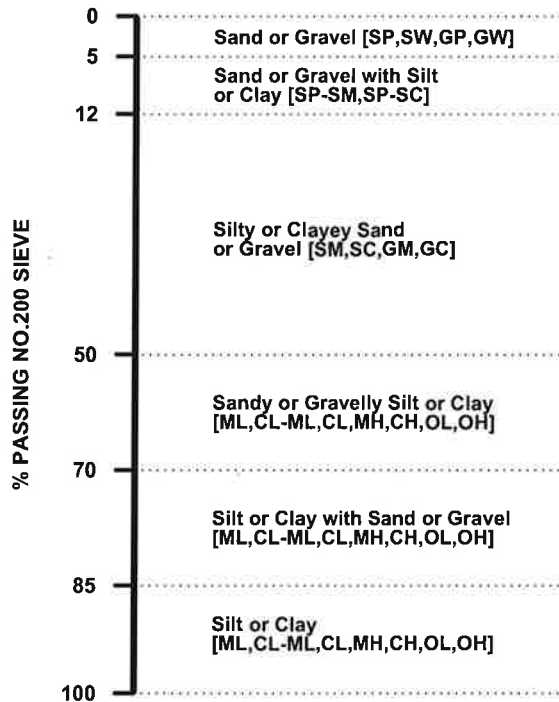
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KEY TO BORING LOGS

SOIL CLASSIFICATION CHART*



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GROUP NAME AND SYMBOL

COARSE GRAINED SOILS

	WELL-GRADED SANDS [SW]		WELL-GRADED GRAVELS [GW]
	POORLY-GRADED SANDS [SP]		POORLY-GRADED GRAVELS [GP]
	POORLY-GRADED SANDS WITH SILT [SP-SM]		POORLY-GRADED GRAVELS WITH SILT [GP-GM]
	POORLY-GRADED SANDS WITH CLAY [SP-SC]		POORLY-GRADED GRAVELS WITH CLAY [GP-GC]
	SILTY SANDS [SM]		SILTY GRAVELS [GM]
	CLAYEY SANDS [SC]		CLAYEY GRAVELS [GC]
	SILTY CLAYEY SANDS [SC-SM]		

FINE GRAINED SOILS

	INORGANIC SILTS SLIGHT PLASTICITY [ML]
	INORGANIC SILTY CLAY LOW PLASTICITY [CL-ML]
	INORGANIC CLAYS LOW TO MEDIUM PLASTICITY [CL]
	INORGANIC SILTS HIGH PLASTICITY [MH]
	INORGANIC CLAYS HIGH PLASTICITY [CH]

HIGHLY ORGANIC SOILS

	ORGANIC SILTS/CLAYS LOW PLASTICITY [OL]**
	ORGANIC SILTS/CLAYS MEDIUM TO HIGH PLASTICITY [OH]**
	PEAT, HUMUS, SWAMP SOILS WITH HIGH ORGANIC CONTENTS [PT]**

RELATIVE DENSITY

(SAND AND GRAVEL)

VERY LOOSE - 0 to 4 Blows/ft.
 LOOSE - 5 to 10 Blows/ft.
 MEDIUM DENSE - 11 to 30 Blows/ft.
 DENSE - 31 to 50 Blows/ft.
 VERY DENSE - more than 50 Blows/ft.

CONSISTENCY

(SILT AND CLAY)

VERY SOFT - 0 to 2 Blows/ft.
 SOFT - 3 to 4 Blows/ft.
 FIRM - 5 to 8 Blows/ft.
 STIFF - 9 to 16 Blows/ft.
 VERY STIFF - 17 to 30 Blows/ft.
 HARD - more than 30 Blows/ft.

IN ACCORDANCE WITH ASTM D 2487 - UNIFIED SOIL

* CLASSIFICATION SYSTEM.

** LOCALLY MAY BE KNOWN AS MUCK.

NOTES:
 8* - DENOTES DYNAMIC CONE PENETROMETER (DCP) VALUE
 R - DENOTES REFUSAL TO PENETRATION
 P - DENOTES PENETRATION WITH ONLY WEIGHT OF DRIVE HAMMER
 N/E - DENOTES GROUNDWATER TABLE NOT ENCOUNTERED

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EXHIBIT 1

Important Information about This Geotechnical-Engineering Report

Subsurface problems are a principal cause of construction delays, cost overruns, claims, and disputes.

While you cannot eliminate all such risks, you can manage them. The following information is provided to help.

The Geoprofessional Business Association (GBA) has prepared this advisory to help you – assumedly a client representative – interpret and apply this geotechnical-engineering report as effectively as possible. In that way, clients can benefit from a lowered exposure to the subsurface problems that, for decades, have been a principal cause of construction delays, cost overruns, claims, and disputes. If you have questions or want more information about any of the issues discussed below, contact your GBA-member geotechnical engineer. Active involvement in the Geoprofessional Business Association exposes geotechnical engineers to a wide array of risk-confrontation techniques that can be of genuine benefit for everyone involved with a construction project.

Geotechnical-Engineering Services Are Performed for Specific Purposes, Persons, and Projects

Geotechnical engineers structure their services to meet the specific needs of their clients. A geotechnical-engineering study conducted for a given civil engineer will not likely meet the needs of a civil-works constructor or even a different civil engineer. Because each geotechnical-engineering study is unique, each geotechnical-engineering report is unique, prepared *solely* for the client. *Those who rely on a geotechnical-engineering report prepared for a different client can be seriously misled.* No one except authorized client representatives should rely on this geotechnical-engineering report without first conferring with the geotechnical engineer who prepared it. *And no one – not even you – should apply this report for any purpose or project except the one originally contemplated.*

Read this Report in Full

Costly problems have occurred because those relying on a geotechnical-engineering report did not read it *in its entirety*. Do not rely on an executive summary. Do not read selected elements only. *Read this report in full.*

You Need to Inform Your Geotechnical Engineer about Change

Your geotechnical engineer considered unique, project-specific factors when designing the study behind this report and developing the confirmation-dependent recommendations the report conveys. A few typical factors include:

- the client's goals, objectives, budget, schedule, and risk-management preferences;
- the general nature of the structure involved, its size, configuration, and performance criteria;
- the structure's location and orientation on the site; and
- other planned or existing site improvements, such as retaining walls, access roads, parking lots, and underground utilities.

Typical changes that could erode the reliability of this report include those that affect:

- the site's size or shape;
- the function of the proposed structure, as when it's changed from a parking garage to an office building, or from a light-industrial plant to a refrigerated warehouse;
- the elevation, configuration, location, orientation, or weight of the proposed structure;
- the composition of the design team; or
- project ownership.

As a general rule, *always* inform your geotechnical engineer of project changes – even minor ones – and request an assessment of their impact. *The geotechnical engineer who prepared this report cannot accept responsibility or liability for problems that arise because the geotechnical engineer was not informed about developments the engineer otherwise would have considered.*

This Report May Not Be Reliable

Do not rely on this report if your geotechnical engineer prepared it:

- for a different client;
- for a different project;
- for a different site (that may or may not include all or a portion of the original site); or
- before important events occurred at the site or adjacent to it; e.g., man-made events like construction or environmental remediation, or natural events like floods, droughts, earthquakes, or groundwater fluctuations.

Note, too, that it could be unwise to rely on a geotechnical-engineering report whose reliability may have been affected by the passage of time, because of factors like changed subsurface conditions; new or modified codes, standards, or regulations; or new techniques or tools. *If your geotechnical engineer has not indicated an "apply-by" date on the report, ask what it should be, and, in general, if you are the least bit uncertain about the continued reliability of this report, contact your geotechnical engineer before applying it.* A minor amount of additional testing or analysis – if any is required at all – could prevent major problems.

Most of the "Findings" Related in This Report Are Professional Opinions

Before construction begins, geotechnical engineers explore a site's subsurface through various sampling and testing procedures. *Geotechnical engineers can observe actual subsurface conditions only at those specific locations where sampling and testing were performed.* The data derived from that sampling and testing were reviewed by your geotechnical engineer, who then applied professional judgment to form opinions about subsurface conditions throughout the site. Actual sitewide-subsurface conditions may differ – maybe significantly – from those indicated in this report. Confront that risk by retaining your geotechnical engineer to serve on the design team from project start to project finish, so the individual can provide informed guidance quickly, whenever needed.

This Report's Recommendations Are Confirmation-Dependent

The recommendations included in this report – including any options or alternatives – are confirmation-dependent. In other words, *they are not final*, because the geotechnical engineer who developed them relied heavily on judgment and opinion to do so. Your geotechnical engineer can finalize the recommendations *only after observing actual subsurface conditions* revealed during construction. If through observation your geotechnical engineer confirms that the conditions assumed to exist actually do exist, the recommendations can be relied upon, assuming no other changes have occurred. *The geotechnical engineer who prepared this report cannot assume responsibility or liability for confirmation-dependent recommendations if you fail to retain that engineer to perform construction observation.*

This Report Could Be Misinterpreted

Other design professionals' misinterpretation of geotechnical-engineering reports has resulted in costly problems. Confront that risk by having your geotechnical engineer serve as a full-time member of the design team, to:

- confer with other design-team members,
- help develop specifications,
- review pertinent elements of other design professionals' plans and specifications, and
- be on hand quickly whenever geotechnical-engineering guidance is needed.

You should also confront the risk of constructors misinterpreting this report. Do so by retaining your geotechnical engineer to participate in prebid and preconstruction conferences and to perform construction observation.

Give Constructors a Complete Report and Guidance

Some owners and design professionals mistakenly believe they can shift unanticipated-subsurface-conditions liability to constructors by limiting the information they provide for bid preparation. To help prevent the costly, contentious problems this practice has caused, include the complete geotechnical-engineering report, along with any attachments or appendices, with your contract documents, *but be certain to note conspicuously that you've included the material for informational purposes only*. To avoid misunderstanding, you may also want to note that "informational purposes" means constructors have no right to rely on the interpretations, opinions, conclusions, or recommendations in the report, but they may rely on the factual data relative to the specific times, locations, and depths/elevations referenced. Be certain that constructors know they may learn about specific project requirements, including options selected from the report, *only* from the design drawings and specifications. Remind constructors that they may

perform their own studies if they want to, and *be sure to allow enough time* to permit them to do so. Only then might you be in a position to give constructors the information available to you, while requiring them to at least share some of the financial responsibilities stemming from unanticipated conditions. Conducting prebid and preconstruction conferences can also be valuable in this respect.

Read Responsibility Provisions Closely

Some client representatives, design professionals, and constructors do not realize that geotechnical engineering is far less exact than other engineering disciplines. That lack of understanding has nurtured unrealistic expectations that have resulted in disappointments, delays, cost overruns, claims, and disputes. To confront that risk, geotechnical engineers commonly include explanatory provisions in their reports. Sometimes labeled "limitations," many of these provisions indicate where geotechnical engineers' responsibilities begin and end, to help others recognize their own responsibilities and risks. *Read these provisions closely*. Ask questions. Your geotechnical engineer should respond fully and frankly.

Geoenvironmental Concerns Are Not Covered

The personnel, equipment, and techniques used to perform an environmental study – e.g., a "phase-one" or "phase-two" environmental site assessment – differ significantly from those used to perform a geotechnical-engineering study. For that reason, a geotechnical-engineering report does not usually relate any environmental findings, conclusions, or recommendations; e.g., about the likelihood of encountering underground storage tanks or regulated contaminants. *Unanticipated subsurface environmental problems have led to project failures*. If you have not yet obtained your own environmental information, ask your geotechnical consultant for risk-management guidance. As a general rule, *do not rely on an environmental report prepared for a different client, site, or project, or that is more than six months old*.

Obtain Professional Assistance to Deal with Moisture Infiltration and Mold

While your geotechnical engineer may have addressed groundwater, water infiltration, or similar issues in this report, none of the engineer's services were designed, conducted, or intended to prevent uncontrolled migration of moisture – including water vapor – from the soil through building slabs and walls and into the building interior, where it can cause mold growth and material-performance deficiencies. Accordingly, *proper implementation of the geotechnical engineer's recommendations will not of itself be sufficient to prevent moisture infiltration*. Confront the risk of moisture infiltration by including building-envelope or mold specialists on the design team. *Geotechnical engineers are not building-envelope or mold specialists*.



Telephone: 301/565-2733

e-mail: info@geoprofessional.org www.geoprofessional.org

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510 3rd Ave Residence

510 3rd Ave, Melbourne Beach, FL 32951



Client Information:

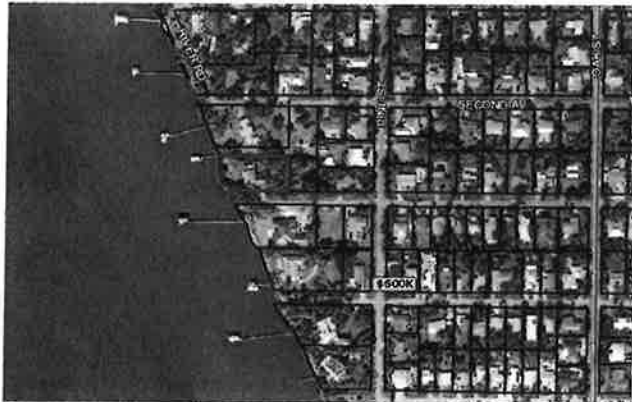
510 3rd Avenue LLC
 2101 Waverly Place, Ste. 100
 Melbourne, FL 32901

Project Information:

510 3rd Avenue
 Melbourne Beach, FL 32951

Land Description: WILCOX PLAT OF MELBOURNE BEACH RESUBD OF BLKS
 11,20,21,30 & 31 S 120 FT OF LOT 7 BLK 11 EXC E 100 FT

Parcel Number: 28-38-07-02-11-7



1542 GUAVA AVE., UNIT A., MELBOURNE, FL 32935

321.428.3869



Architect:

MelD Studio Architecture, LLC
Jeffrey K. Anderson, Architect
1542 Guava Ave. Unit A
Melbourne, FL 32935
321-428-3869

Structural Engineer:

MK Structural Engineer
Mike Kalajian
614-546-6896/321-794-5596

Project Narrative:

The 510 3rd Ave Residence is a single-family, Modern West Indies, two-story home located in Melbourne Beach, FL. The new residence replaces an existing two-story residence built in the late 60s. The main living areas and Owner's Suite is located on the first floor. The guest bedrooms and a hangout room are located on the second floor. The residence has two garages, one connected by a short breezeway and the other directly connected to the residence. The exterior of the house features stucco, hardboard siding and a standing seam metal roof.

General Location:

Located on the north side of Third Ave, adjacent to the Indian River.

General Lot Information:

Area (in acreage): 0.31

Area (in square feet): 25,802 SQ. FT.

Set Back Lines:

Front:	25'-0"
Side: (Inside):	15'-0"
Side (Corner):	25'-0"
Rear:	25'-0"

Zoning Classification: | **RS Single-Family Residence**

Lot Dimension: 222.25' x 120.67' x 179.0' x 137.67'



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General Project Information:

Proposed Use:	Single-Family Residential
Number of Stories:	2-Stories
Garage Spaces:	3
Existing Grade:	7.00'
Finish Floor Elevation	8.50'
Building Height:	36.20' (27'-8.25" A.F.F.)
Lot Coverage:	
Principal Lot Coverage:	20.3 %

Area Calculations:First Floor:

Conditioned Space:	2,754	SQ. FT.
Front Porch:	113	SQ. FT.
Back Porch:	1,000	SQ. FT.
2-Car Garage:	907	SQ. FT.
1-Car Garage:	371	SQ. FT.
Storage:	45	SQ. FT.
Breezeway:	57	SQ. FT.

Second Floor:

Conditioned Space:	1,130	SQ. FT.
Balcony:	249	SQ. FT.

Total Conditioned Sq. Ft.:	3,884	SQ. FT.
<u>Total Unconditioned Sq. Ft.:</u>	<u>2,742</u>	<u>SQ. FT.</u>

Total Sq. Ft.:	6,626	SQ. FT.
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Jeff Anderson <jeff@meldarch.com>

FW: Set Backs

Ryan Runte <RRunte@cgcfloida.com>
To: Jeff Anderson <jeff@meldarch.com>

Mon, Apr 10, 2023 at 7:30 AM

Hey Man,

Hope you all had a great easter!

So if I am reading this correctly – looks like the north property line can be 15'? However then it looks like they are saying that all others need to be 25'? Not sure how far you had the garage of the east line?

I think this is good, lemme know your thoughts.

Ryan Runte

Executive Vice President

Certified General Contractors, Inc.

730 E. Strawbridge Ave, Suite 100 – Melbourne, FL 32901

P: 321-984-5000 x 17 | F: 321-724-4659

www.cgcfloida.com

From: Melbourne Beach Building Official <BuildingOfficial@melbournebeachfl.org>

Sent: Monday, April 10, 2023 6:38 AM

To: Ryan Runte <RRunte@cgcfloida.com>

Subject: Set Backs

Good afternoon Robert,

Hope all is well!

In reply to your question below, I have reviewed the property information and the town zoning code, and found the following:

- Parcel ID: 28-38-07-02-11-7
- Zoning district: 1-RS
- Setbacks:
 - Front: 25'

- Side interior: 15'
- Side corner: 25'
- Rear: 25'
- Orientation of Yards. Section 1A-3 Definitions includes the following relevant definitions:
 - Yard: An open space on the same lot with a principal building which is unoccupied and unobstructed by buildings from the ground to the sky except for overhangs or bay windows or as otherwise provided in this section.
 - Front yard: A space extending the full width of the lot between any building and the front lot line and measured perpendicular to the building at the closest point to the front lot line.
 - Rear Yard: A space extending the full width of the lot between the principal building and the rear lot line and measured perpendicular to the building at the closest point to the rear lot line.
 - Side Yard: The space extending along the side lot line from the front yard to the rear yard and lying between the side lot line and the nearest part of the principal building, including covered porches, carports and garages.

A55

Based on the above, the Town Code does not specify that the "front" yard and "Front" setback must be measured from the lot line that abuts the public right-of-way. Rather, the front yard is the space between the building and the front lot line, and the front lot line is not defined in the code. Consequently, the lot line for the subject property which abuts the Third Avenue right-of-way could be considered the "side corner" and the setback would be 25'. The northernmost line would then be considered the "side interior" and the setback would be 15', and all other setbacks would be 25'.

I hope that helps. Please let me know if you have any questions. THANKS!

Ryan, this is the response I received from the Town planner, hope this helps.

Robert Bitgood

Building Official

Code Enforcement supervisor

buildingofficial@melbournebeachfl.org

507 Ocean Ave., Melbourne Beach, FL 32951-2523

(321) 724-5860 ~ Fax (321) 984-8994

www.melbournebeachfl.org

Building Permits insure quality work.



Brevard County's Oldest Beach Community – Established 1883

A56

This Document Prepared By and Return to:
Gary B. Frese, Esquire
Frese, Whitehead & Anderson, P.A.
2200 Front Street, #301
Melbourne, FL 32901

Parcel ID Number: 28-37-07-0201107

Warranty Deed

This Indenture, Made this 6th day of September, 2022 A.D., Between STEPHEN M. PERKINS, single and INGRID B. EGELI, single, Individually and as Trustees of Stephen M. Perkins and Ingrid B. Egeli Trust dated March 22, 2019

of the County of Brevard, State of Florida, grantors, and 510 3RD AVENUE, LLC, a Florida limited liability company

whose address is: 244 Harbour Drive E, Indian Harbour Beach, FL 32937

of the County of Brevard, State of Florida, grantee.

Witnesseth that the GRANTORS, for and in consideration of the sum of TEN DOLLARS (\$10)

and other good and valuable consideration to GRANTORS in hand paid by GRANTEE, the receipt whereof is hereby acknowledged, have granted, bargained and sold to the said GRANTEE and GRANTEE'S heirs, successors and assigns forever, the following described land, situate, lying and being in the County of Brevard State of Florida to wit:

The South 120 feet of Lot 7, Block 11, Resubdivision of Blocks 11, 20, 21, 30 and 31 of Wilcox Plat of Melbourne Beach, Florida, according to the map or plat thereof, as recorded in Plat Book 10, Page(s) 51, of the Public Records of Brevard County, Florida.

LESS AND EXCEPT

The East 100 feet of the South 120 feet of Lot 7, Block 11, Resubdivision of Blocks 11, 20, 21, 30 and 31 of Wilcox Plat of Melbourne Beach, Florida, according to the map or plat thereof, as recorded in Plat Book 10, Page(s) 51, of the Public Records of Brevard County, Florida.

Continued on Attached

and the grantors do hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

In Witness Whereof, the grantors have hereunto set their hands and seals the day and year first above written.

Signed, sealed and delivered in our presence:

Vickie Bobie
Printed Name: Vickie Bobie
Witness

Stephen M. Perkins
Ingrid B. Egeli TRUSTEE
Stephen M. Perkins, Individually and as Trustee
P.O. Address: 510 3rd Avenue, Melbourne Beach, FL 32951

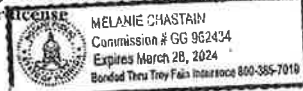
Melanie Chastain
Printed Name: MELANIE CHASTAIN
Witness

Ingrid B. Egeli
Ingrid B. Egeli Trustee
By: Ingrid B. Egeli, Individually and as Trustee
P.O. Address: 510 3rd Avenue, Melbourne Beach, FL 32951

State of Florida
County of Brevard

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this day of September, 2022, by Stephen M. Perkins, Individually and as Trustee and Ingrid B. Egeli, Individually and as Trustee of Stephen M. Perkins and Ingrid B. Egeli Trust dated March 22, 2019 on behalf of the trust who are personally known to me or who have produced their

Florida's driver license as identification



Melanie Chastain
Printed Name:
Notary Public
My Commission Expires:

AS7

This original document has been electronically filed in the Public Records of Brevard County, Florida on 9-7-2022 in Official Records Book 9006 Page 567 at 9:17 AM

This Document Prepared By and Return to:
Gary B. Frese, Esquire
Frese, Whitehead & Anderson, P.A.
2200 Front Street, #301
Melbourne, FL 32901

Parcel ID Number: 28-37-07-0201107

Warranty Deed

This Indenture, Made this **6th** day of **September**, 2022 A.D., **Between** **STEPHEN M. PERKINS, single and INGRID B. EGELI, single, Individually and as Trustees of Stephen M. Perkins and Ingrid B. Egeli Trust dated March 22, 2019**

of the County of **Brevard**, State of **Florida**, **grantors**, and **510 3RD AVENUE, LLC, a Florida limited liability company**

whose address is: **244 Harbour Drive E, Indian Harbour Beach, FL 32937**

of the County of **Brevard**, State of **Florida**, **grantee**.

Witnesseth that the GRANTORS, for and in consideration of the sum of **TEN DOLLARS (\$10)**

and other good and valuable consideration to GRANTORS in hand paid by GRANTEE, the receipt whereof is hereby acknowledged, have granted, bargained and sold to the said GRANTEE and GRANTEE'S heirs, successors and assigns forever, the following described land, situate, lying and being in the County of **Brevard** State of **Florida** to wit:

The South 120 feet of Lot 7, Block 11, Resubdivision of Blocks 11, 20, 21, 30 and 31 of Wilcox Plat of Melbourne Beach, Florida, according to the map or plat thereof, as recorded in Plat Book 10, Page(s) 51, of the Public Records of Brevard County, Florida.

LESS AND EXCEPT

The East 100 feet of the South 120 feet of Lot 7, Block 11, Resubdivision of Blocks 11, 20, 21, 30 and 31 of Wilcox Plat of Melbourne Beach, Florida, according to the map or plat thereof, as recorded in Plat Book 10, Page(s) 51, of the Public Records of Brevard County, Florida.

Continued on Attached

and the grantors do hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

In Witness Whereof, the grantors have hereunto set their hands and seals the day and year first above written.

Signed, sealed and delivered in our presence:

Vickie Bobik
Printed Name: **Vickie Bobik**
Witness

Stephen M. Perkins
Stephen M. Perkins TRUSTEE
Printed Name: **Stephen M. Perkins, Individually and as Trustee**
P.O. Address: 510 3rd Avenue, Melbourne Beach, FL 32951

Melanie Chastain
Printed Name: **MELANIE CHASTAIN**
Witness

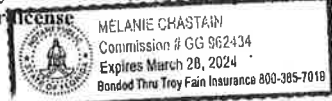
By: *Ingrid B. Egeli*
Ingrid B. Egeli Trustee
Printed Name: **Ingrid B. Egeli, Individually and as Trustee**
P.O. Address: 510 3rd Avenue, Melbourne Beach, FL 32951

State of Florida
County of Brevard

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this day of **September**, 2022, by

Stephen M. Perkins, Individually and as Trustee and Ingrid B. Egeli, Individually and as Trustee of Stephen M. Perkins and Ingrid B. Egeli Trust dated March 22, 2019 on behalf of the trust who are personally known to me or who have produced their

Florida's driver's license as identification



Melanie Chastain
Printed Name: **Melanie Chastain**
Notary Public
My Commission Expires:

Warranty Deed - Page 2Parcel ID Number: **28-37-07-0201107**

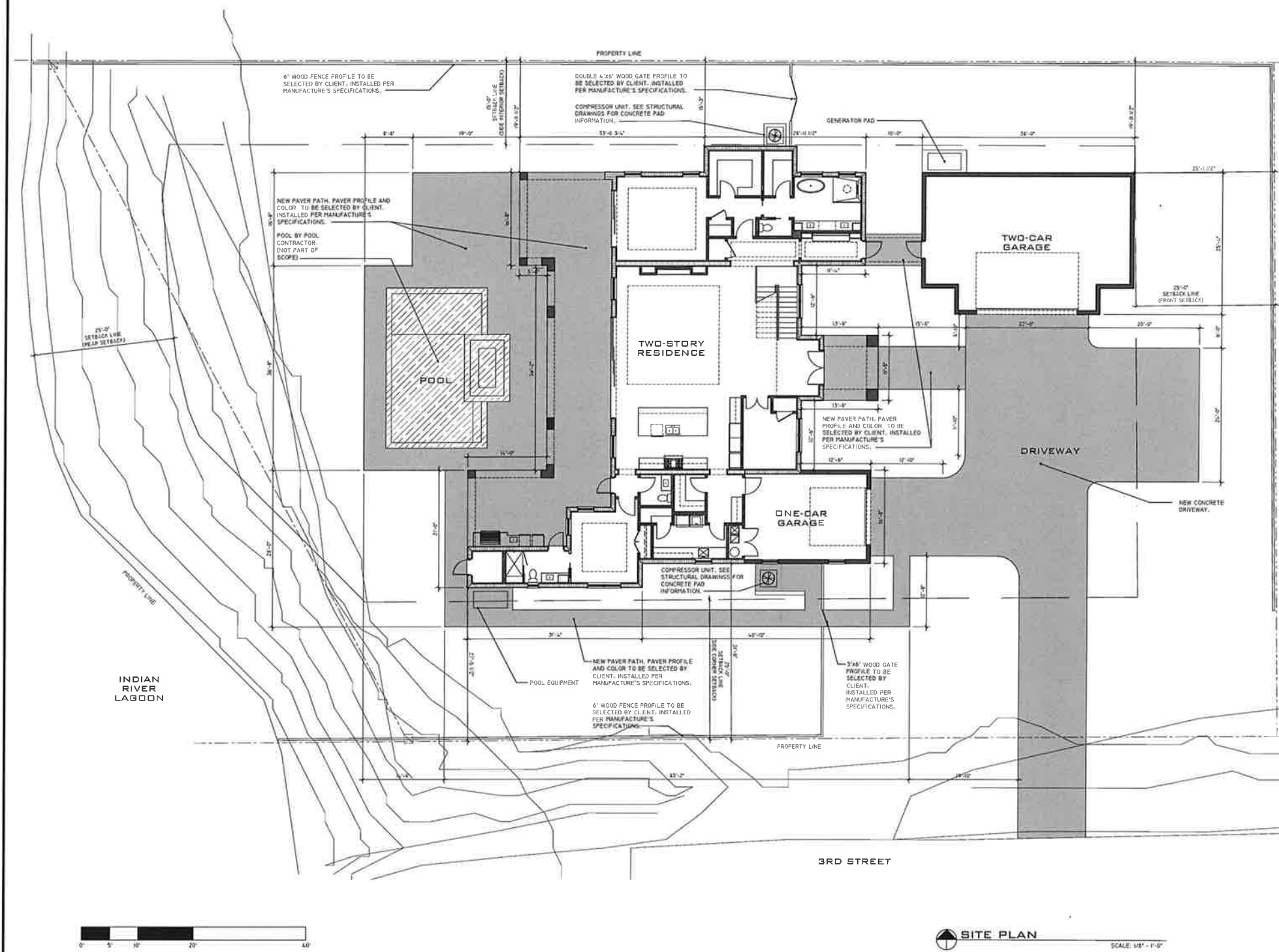
A58

The property being conveyed is the Homestead Property of the Grantors, who are the Settlers of the named trust.

Subject to restrictions, reservations and easements of record, if any, and taxes subsequent to December 31, 2021.

CUSTOM DESIGN: 510 3RD AVE RESIDENCE

510 3RD AVE, MELBOURNE BEACH, FL 32951



PROJECT SUMMARY	
PROJECT NAME :	510 3RD AVE RESIDENCE
PROJECT ADDRESS :	510 3RD AVE MELBOURNE BEACH, FL 32951
CONTRACTOR :	TO BE DETERMINED
SCOPE OF WORK :	NEW TWO-STORY RESIDENCE
PROPOSED USE :	SINGLE-FAMILY RESIDENTIAL
BUILDING TYPE :	RESIDENTIAL
ZONING CLASSIFICATION :	SRS SINGLE-FAMILY RESIDENTIAL
APPLICABLE CODES :	2020 FLORIDA BUILDING CODE - EXISTING BUILDING 2020 FLORIDA BUILDING CODE - RESIDENTIAL 2020 FBC MECHANICAL 2020 FBC PLUMBING NEC 2017
MECHANICAL CODE :	2020 FBC MECHANICAL
PLUMBING CODE :	2020 FBC PLUMBING
ELECTRICAL CODE :	NEC 2017
AUTHORITY / JURISDICTION :	TOWN OF MELBOURNE BEACH, FL

PROJECT INFORMATION	
SET BACK LINES:	
FRONT:	25'-0"
SIDE INTERIOR:	15'-0"
SIDE CORNER:	25'-0"
REAR:	25'-0"
NUMBER OF STORIES :	2
MAX HEIGHT:	36.20' (27'-8 1/4" A.F.F.)
EXISTING GRADE* :	7.00'
FINISH FLOOR ELEVATION :	8.50'
LOT DIMENSIONS :	222.25' x 129.67' x 179.0' x 137.67'
LOT SIZE :	25,802 SQ. FT.
GARAGE :	3 CAR GARAGE

PROJECT TEAM	
OWNER :	510 3RD AVENUE LLC
ARCHITECT :	MELD STUDIO ARCHITECTURE, LLC JEFFREY ANDERSON, ARCHITECT 1562 GUAYA AVE. MELBOURNE, FL 32935 321-428-3809
STRUCTURAL ENGINEER :	MK STRUCTURAL ENGINEERING MIKE KALAJAN, P.E. 587 W. EAU GALLEE, BLVD., SUITE 201 MELBOURNE, FL 32935 321-574-2702

* EXISTING GRADE IS USED IN LIEU OF THE CROWN OF THE ROAD PER PARAGRAPH 5 7A-55 ITEM (B). EXISTING GRADE IS 18" ABOVE THE AVERAGE CROWN OR THE ROAD

5 7A-55 - BUILDING CONSTRUCTION

(A) ALL BUILDINGS SHALL BE CONSTRUCTED WITH THE LOWEST FLOOR LEVEL AT LEAST 18 INCHES ABOVE THE CROWN OF THE HIGHEST STREET PERPENDICULAR TO THE FOUNDATION TO WHICH THE PROPERTY ADJUTS. WHEN AN APPLICANT FOR A BUILDING PERMIT SUBMITS PLANS FOR REVIEW BY THE TOWN OF MELBOURNE BEACH, THE BUILDING PLANS OF THE PRINCIPAL STRUCTURE SHALL BE FULLY DIMENSIONED SEALED TO-SCALE DRAWINGS, CLEARLY SHOWING STREET ELEVATION, EXISTING PROPERTY ELEVATION, PROPOSED FINISHED FLOOR ELEVATION, FEMA FLOOD ZONES AND ELEVATION, AND MAXIMUM HEIGHT.

(B) ALL BUILDINGS SHALL BE ELEVATED AS REQUIRED BY FEDERAL, STATE AND LOCAL MINIMUM ELEVATIONS. THE GREATEST OF THE MINIMUM ELEVATIONS STIPULATED BY ANY OF THE GOVERNMENTAL AGENCIES WITH JURISDICTION SHALL BE REQUIRED. ANY ELEVATION OF A BUILDING ABOVE THE REQUIRED ELEVATION WILL BE INCLUDED IN THE MEASUREMENT OF BUILDING HEIGHT. IN THE ABSENCE OF HIGHER FEDERAL OR STATE ELEVATIONS, THE TOWN OF MELBOURNE BEACH REQUIRES MINIMUM BUILDING ELEVATIONS TO BE MEASURED FROM A POINT 18 INCHES ABOVE THE CROWN OF THE STREET ON WHICH THE PROPERTY ADJUTS. IN THE EVENT THE EXISTING GRADE OF A PROPERTY IS HIGHER THAN 18 INCHES ABOVE THE CROWN OF THE ROAD OR HIGHER THAN FEDERAL OR STATE REQUIREMENTS THEN THE BUILDING HEIGHT SHALL BE MEASURED FROM THE EXISTING GRADE.

- GENERAL NOTES**
- OWNER/CLIENT RESPONSIBILITIES: REFERENCE IS MADE THROUGHOUT THESE GENERAL NOTES TO RESPONSIBILITIES AND STANDARDS OF CARE TO BE FULFILLED BY THOSE PROVIDING SERVICES IN THE DEVELOPMENT AND CONSTRUCTION OF THIS PROJECT. OWNER/CLIENT SHALL BE RESPONSIBLE FOR ADHERENCE TO THOSE REQUIREMENTS BY THE OWNER, BUILDER, GENERAL CONTRACTOR, SUBCONTRACTORS AND OTHER PROFESSIONAL CONSULTANTS NOT RETAINED BY THE ARCHITECT.
 - PERMIT ARCHITECTURAL DRAWINGS: THIS SET IS SUFFICIENT TO BE PART OF THE PERMIT SET TO OBTAIN A BUILDING PERMIT. THIS SET DOES NOT INCLUDE THE REQUIRED SHOP DRAWINGS/NOTES REQUIRED FOR PERMITTING. THE CONTRACTOR SHOULD CHECK WITH THE OWNER TO DETERMINE THE SCOPE OF WORK OF THE ARCHITECT. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE BUILDING PERMIT.
 - BUILDING MAINTENANCE: THE EXPOSED MATERIAL USED IN THE CONSTRUCTION OF THIS PROJECT WILL DEGRADE AS THE COMPLETED PROJECT AGES UNLESS PROPERLY AND ROUTINELY MAINTAINED. OWNER/CLIENT SHALL WORK WITH THE CONTRACTOR TO DEVELOP A PLAN TO KEEP THESE EXPOSED MATERIALS PROTECTED AND MAINTAINED.
 - ALL CONSTRUCTION SHALL COMPLY WITH THE MOST STRINGENT REQUIREMENTS OF ALL CURRENT APPLICABLE CITY, COUNTY, STATE, AND FEDERAL LAWS, RULES, CODES, ORDINANCES AND REGULATIONS. IF THE GENERAL CONTRACTOR OR ANY SUBCONTRACTOR PERFORMS ANY WORK IN CONFLICT WITH THE ABOVE MENTIONED LAWS, RULES, CODES, ORDINANCES AND REGULATIONS, THEN THE CONTRACTOR IS IN VIOLATION AND SHALL BEAR ALL COST OF REPAIR ARISING OUT OF THE NON-CONFORMING WORK.
 - THE GENERAL CONTRACTOR MUST THOROUGHLY EXAMINE THE JOB SITE AND FINAL CONSTRUCTION DRAWINGS PRIOR TO STARTING CONSTRUCTION. IF ANY CONFLICTS ARISE, THE GENERAL CONTRACTOR MUST NOTIFY THE ARCHITECT AND ALLOW FOR SUFFICIENT TIME FOR RESOLUTION WITHOUT DELAYING WORK.
 - SUBSTITUTIONS / CHANGES: NO SUBSTITUTIONS/CHANGES CAN BE MADE WITHOUT WRITTEN AUTHORIZATION BY THE OWNER / CLIENT. THE ARCHITECT DOES NOT TAKE ANY LIABILITY FOR ANY SUBSTITUTIONS/CHANGES WITHOUT THE ARCHITECT'S WRITTEN AUTHORIZATION. ANY APPROVAL REQUIRED BY THE BUILDING OFFICIAL FOR SUBSTITUTIONS/CHANGES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
 - DO NOT SCALE FROM PLANS. PLEASE CALL THE ARCHITECT IF YOU REQUIRE ANY DIMENSIONS.

SCHEDULE OF DRAWINGS	
SHEET	DESCRIPTION
A0.1	COVER / INFORMATION / CALCULATIONS
A0.2	LANDSCAPE / IRRIGATION PLAN
A0.2	EXISTING TREE PLAN
A1.1	FIRST FLOOR PLAN
A1.2	SECOND FLOOR PLAN
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS

AREA CALCULATIONS	
1ST FLOOR	
CONDITIONED SPACE:	2,754 SQ. FT.
FRONT PORCH:	115 SQ. FT.
BACK PORCH:	1,000 SQ. FT.
2-CAR GARAGE:	907 SQ. FT.
1-CAR GARAGE:	371 SQ. FT.
STORAGE:	45 SQ. FT.
BREEZEWAY:	57 SQ. FT.
2ND FLOOR	
CONDITIONED SPACE:	1,130 SQ. FT.
BALCONY:	269 SQ. FT.
TOTAL CONDITIONED:	3,884 SQ. FT.
TOTAL UNCONDITIONED:	2,742 SQ. FT.
TOTAL:	6,626 SQ. FT.
LOT SIZE:	25,802 SQ. FT.
BUILDING FOOTPRINT:	5,247 SQ. FT.
LOT COVERAGE:	20.3%

KEY ABBREVIATIONS AND SYMBOLS	
(TYP): TYPICAL	DETAIL #
WH WATER HEATER	SECTION CUT
DW DISHWASHER	SHEET #
LAV LAVATORY	
REF REFRIGERATOR	
FREZ FREEZER	
MIC MICROWAVE	INTERIOR DOOR
AHU AIR HANDLING UNIT	
CU COMPRESSOR UNIT	EXTERIOR WINDOW
WC WATER CLOSET	
H.B. HOSE BIB	
SQ SQUARE	EXTERIOR DOOR
FT FEET	
P.T. PRESSURE TREATED	

meD studio ARCHITECTURE
1562 GUAYA AVE MELBOURNE, FL 32935 321.428.3809

JOB # R-2023-009
DRAWN JKA
CHECKED JKA

DATE 2023-05-31

REVISIONS:
△
△
△
△
△
△

CUSTOM DESIGN
510 3RD AVE RESIDENCE
510 3RD AVE, MELBOURNE BEACH, FL 32951

SCALE: 1/8" = 1'-0"

DATE 2023-05-31
SHEET TITLE COVER SHEET / SITE PLAN
SHEET NUMBER A0.1

A60

PLAN NOTES

PLAN LEGEND

TAG	DESCRIPTION
1	EXISTING OAK
2	NEW OAK
3	NEW LANDSCAPING AS SELECTED BY CLIENT

HATCH LEGEND

	GRASS AREA
	NEW PAVER PATH/FLOOR. PAVER PROFILE AND COLOR TO BE SELECTED BY CLIENT. INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
	CONCRETE
	NEW POOL BY POOL CONTRACTOR (NOT PART OF SCOPE).

IRRIGATION NOTE:
STANDARD WELL-FED IRRIGATION TO BE PROVIDED OFF EXISTING WELL. SPRINKLER HEADS SPACED PER BEST PRACTICES FOR COMPLETE COVERAGE.



JOB # R-2023-009
DRAWN JKA
CHECKED JKA

DATE 2023-05-31
SD _____
DD _____
CD _____
RD _____
PERMIT _____

REVISIONS:
△ _____
△ _____
△ _____
△ _____
△ _____
△ _____

CUSTOM DESIGN
510 3RD AVE RESIDENCE
510 3RD AVE, MELBOURNE BEACH, FL 32951

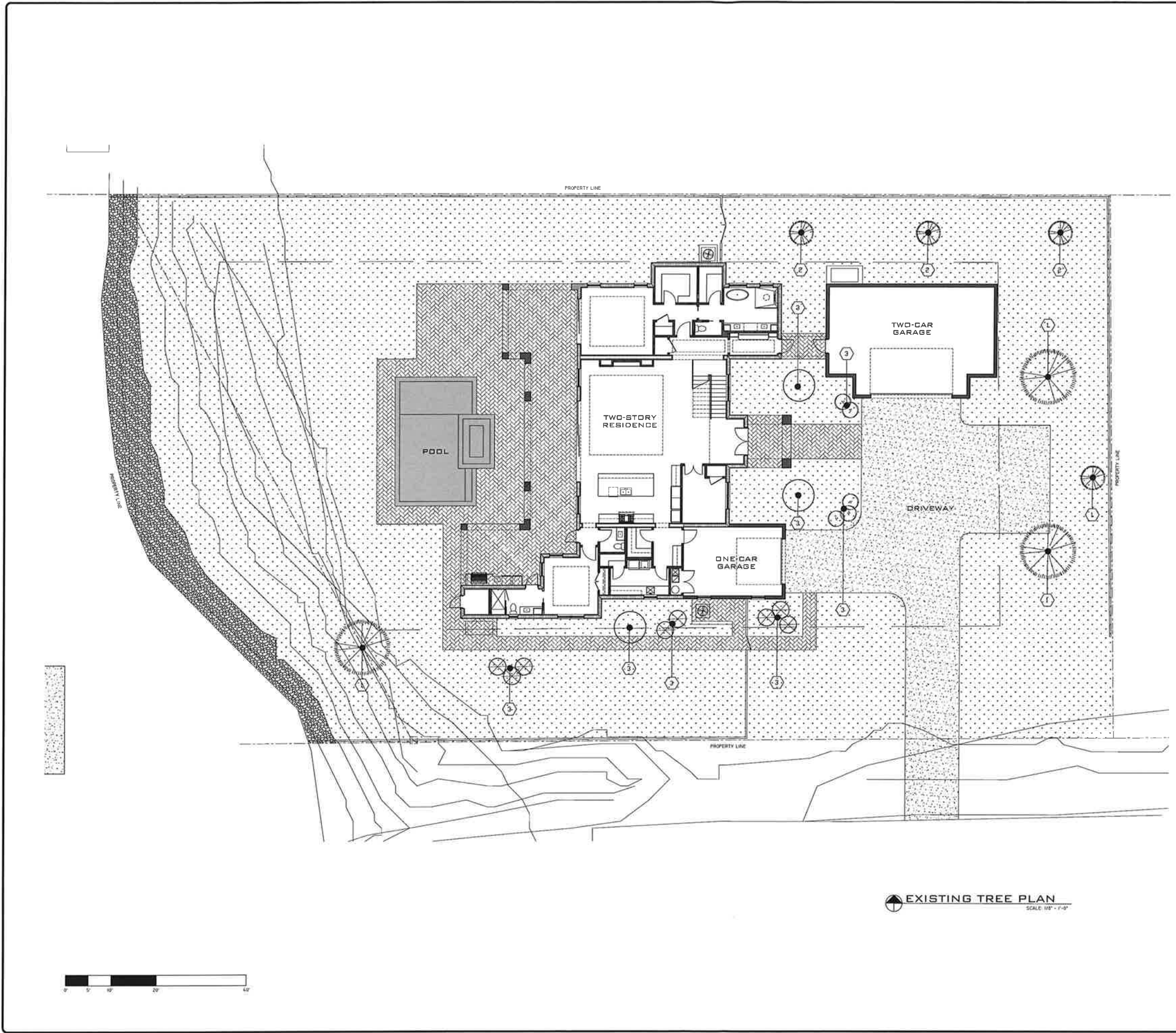
SEAL

DATE 2023-05-31
SHEET TITLE

LANDSCAPE / IRRIGATION PLAN

SHEET NUMBER

A0.2



A61

PLAN NOTES

THE PROPERTY IS CURRENTLY DEVELOPED.

EXISTING TREES ON THE PROPERTY: 9 (SEE TREE LEGEND FOR MORE INFORMATION)

THE EXISTING UNDEVELOPED SQ. FT. IS 2,172 WITH 9 TREES. THE UNDEVELOPED AREA OF THE LOT AFTER THE DEVELOPMENT OF THE NEW HOUSE AND HARDSCAPE IS 16,033 SQ. FT. TO MAINTAIN THE EXISTING RATIO 7 TREES ARE REQUIRED ON THE LOT AFTER THE DEVELOPMENT OF THE SITE.

THE CLIENT PLANS ON DEMOLISHING 5 TREES AND MAINTAIN 4 EXISTING TREES, THE CLIENT PLANS ON PLANTING 3 NEW TREES TO FULFILL THE TOWN OF MELBOURNE BEACH LANDSCAPE REQUIREMENTS, SEE THE LANDSCAPE PLAN FOR THE NEW TREES.



JOB #: #2023-009
DRAWN: JKA
CHECKED: JKA

TREE LEGEND

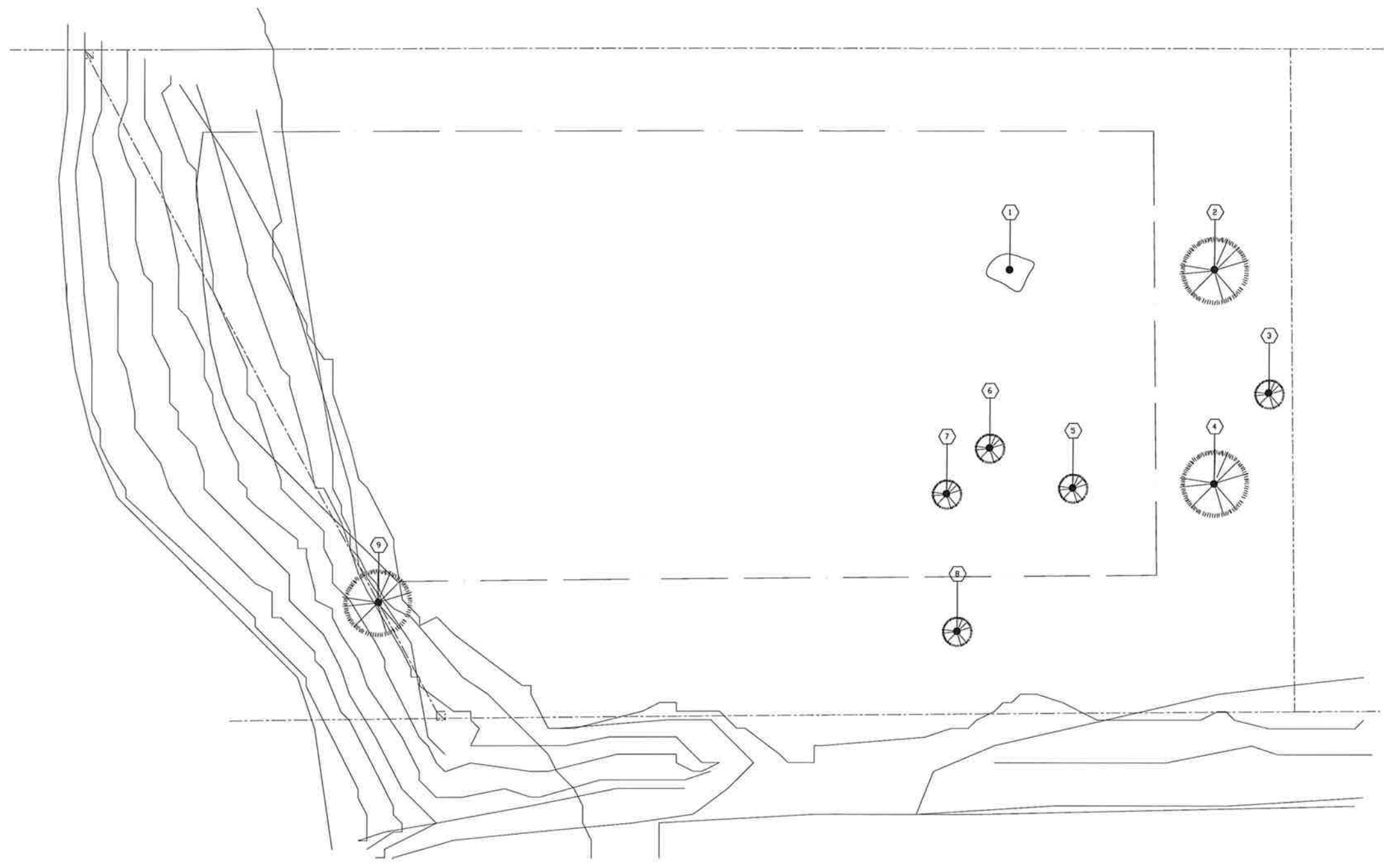
TAG	TREE	DIAMETER	STATUS
1	PINE	12"	DEMOLISH
2	OAK	19"	SAVE
3	OAK	4"	SAVE
4	OAK	2"	SAVE
5	OAK	6"	DEMOLISH
6	OAK	9"	DEMOLISH
7	OAK	8"	DEMOLISH
8	OAK	5"	DEMOLISH
9	OAK	20"	SAVE

DATE: 2023-05-31

DD
 CD
 BID
 PERMIT

REVISIONS:

A-
 A-
 A-
 A-
 A-
 A-



EXISTING TREE PLAN
SCALE 1/8" = 1'-0"

CUSTOM DESIGN
510 3RD AVE RESIDENCE
510 3RD AVE, MELBOURNE BEACH, FL 32951

DATE: 2023-05-31
SHEET TITLE
EXISTING TREE PLAN
SHEET NUMBER
A0.3

ALC

CUSTOM DESIGN
510 3RD AVE RESIDENCE
510 3RD AVE, MELBOURNE BEACH, FL 32951

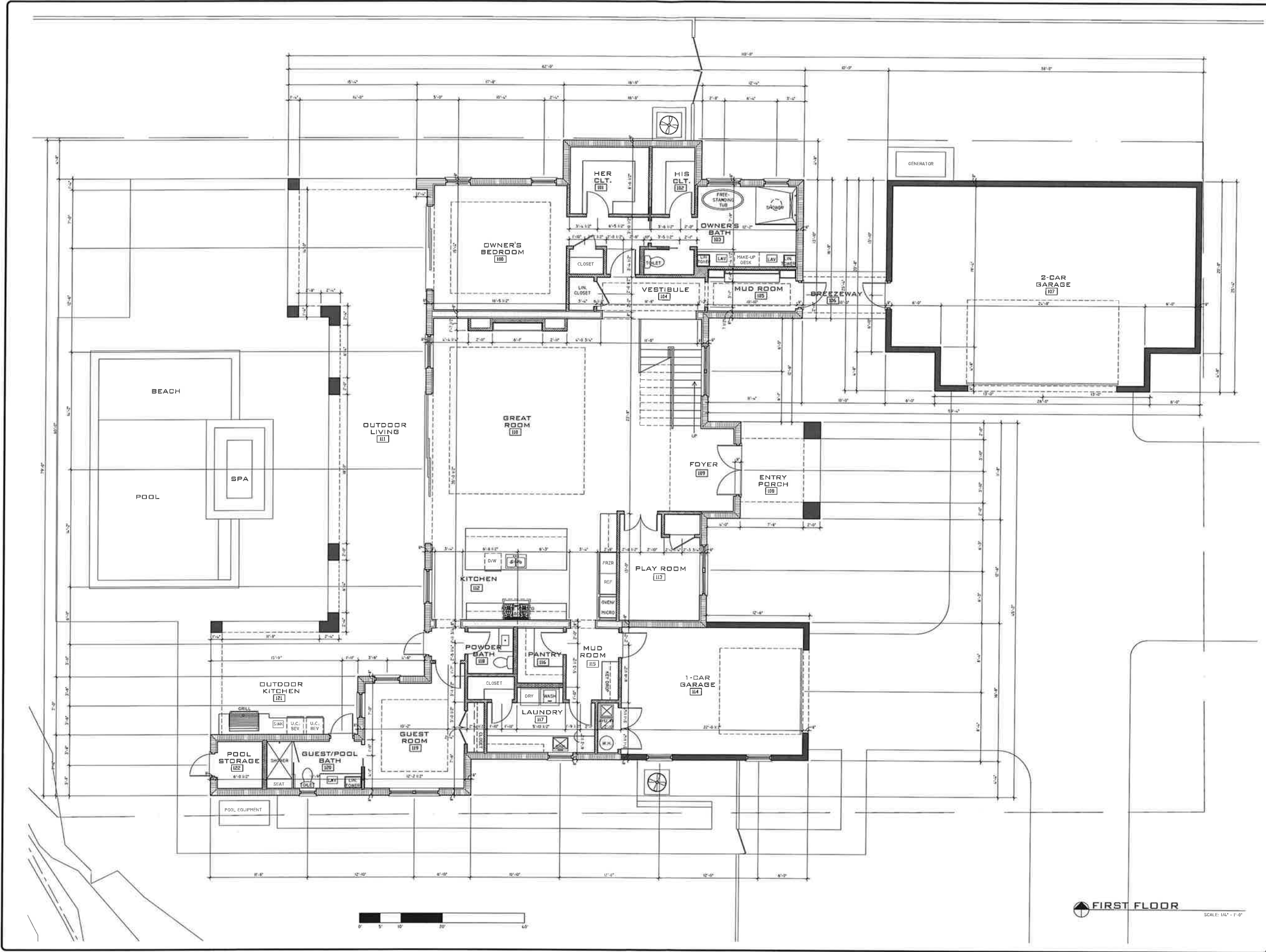
SEAL

DATE: 2023.05.31
SHEET TITLE

FIRST FLOOR PLAN

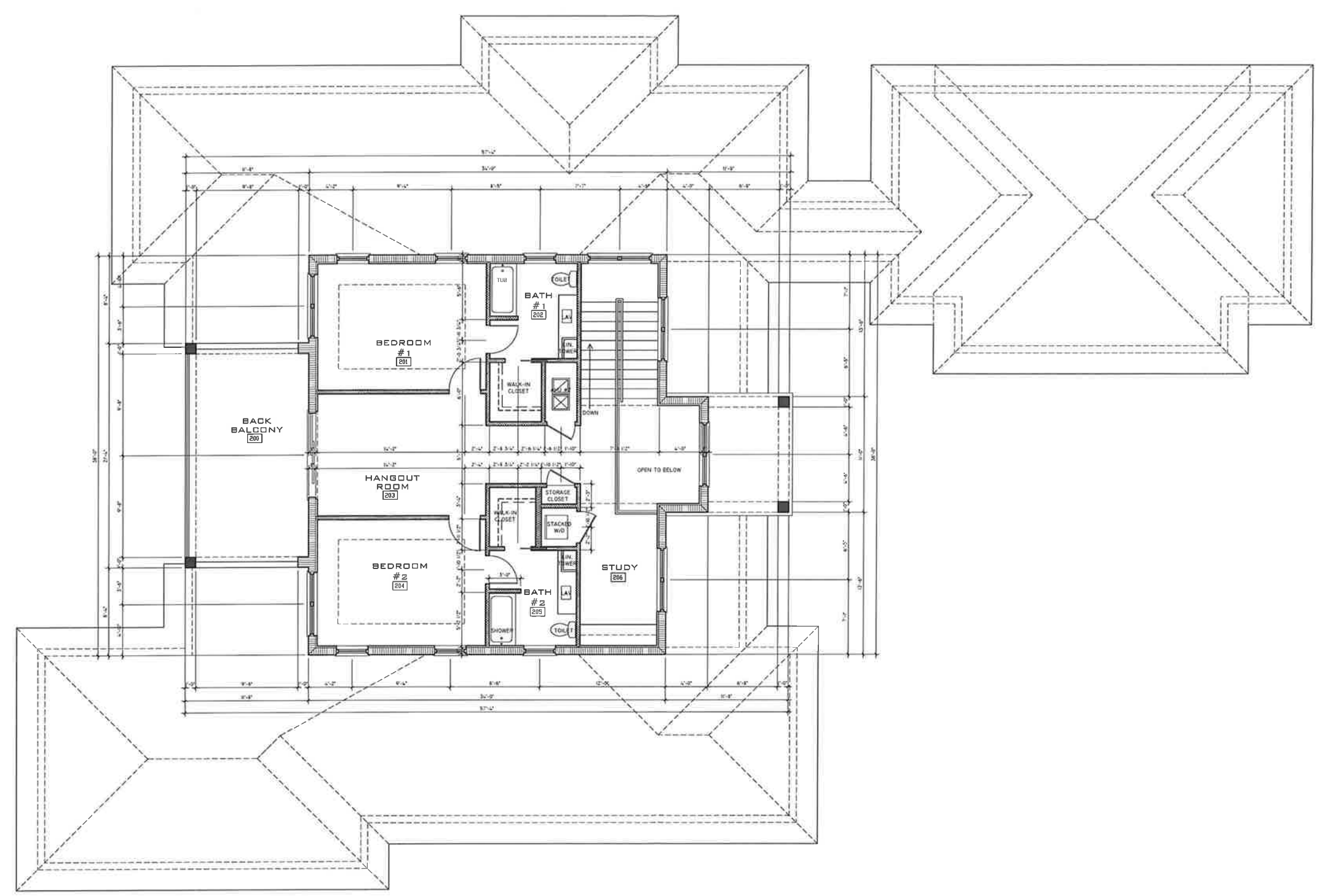
SHEET NUMBER

A1.1



FIRST FLOOR
SCALE: 1/4" = 1'-0"

ALB



SECOND FLOOR
SCALE: 1/8" = 1'-0"

CUSTOM DESIGN
510 3RD AVE RESIDENCE
510 3RD AVE, MELBOURNE BEACH, FL 32951

SEAL

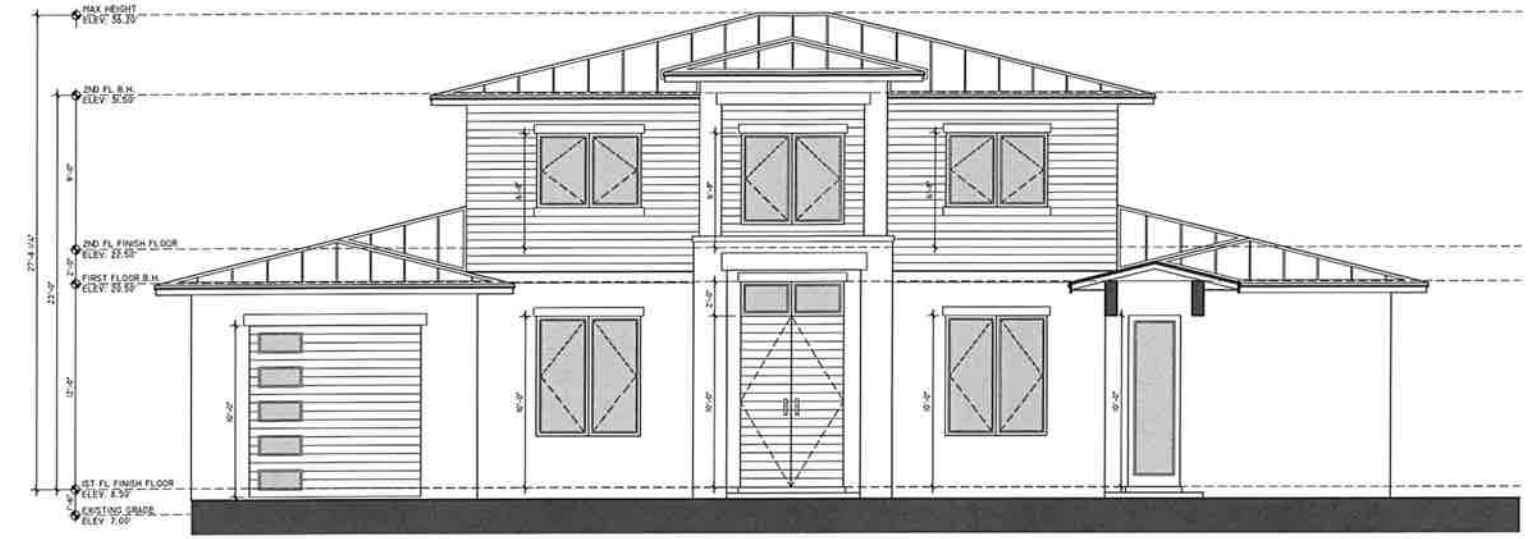
DATE 2023-05-31
SHEET TITLE

SECOND FLOOR PLAN

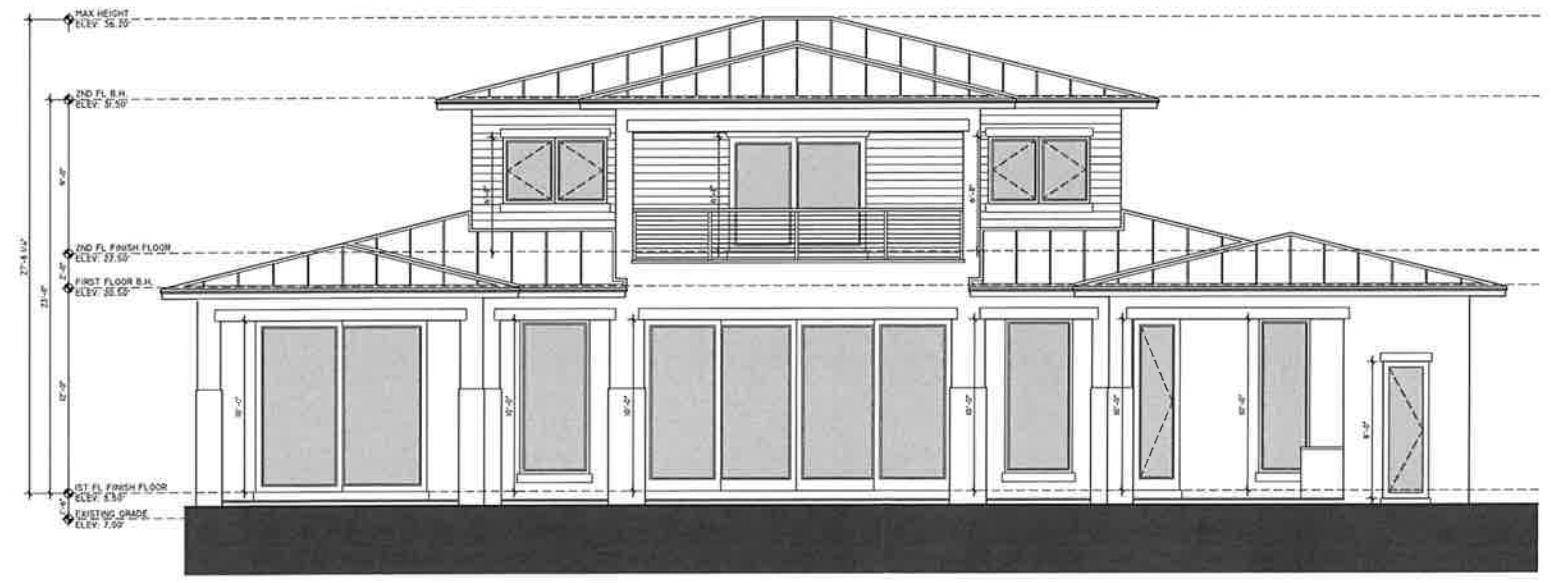
SHEET NUMBER

A1.2

A64⁷⁸



EAST ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"



CUSTOM DESIGN

510 3RD AVE RESIDENCE
510 3RD AVE, MELBOURNE BEACH, FL 32951

SEAL

DATE 2023.05.31

SHEET TITLE

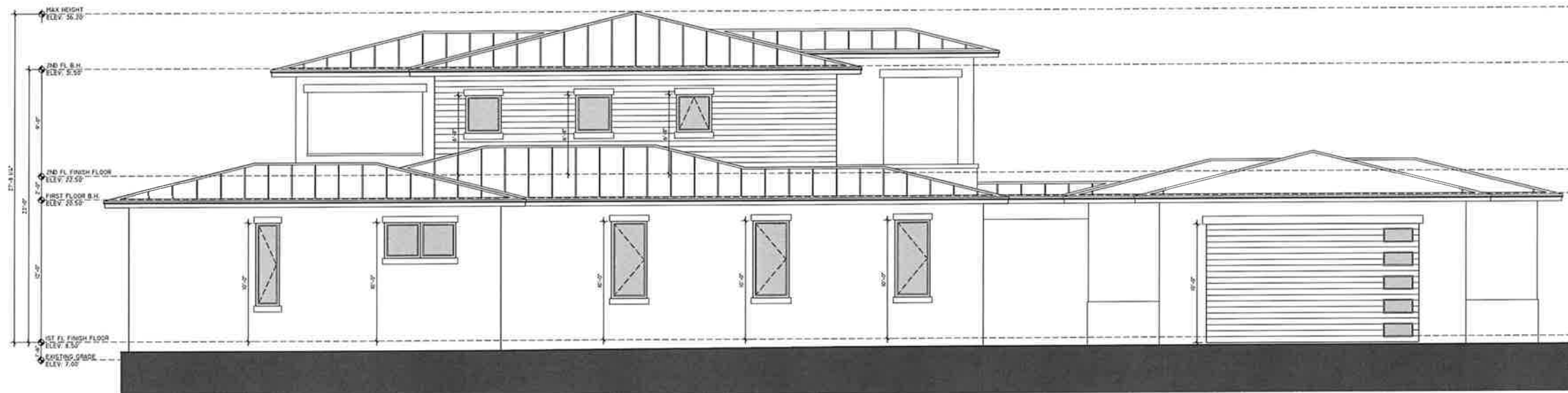
EXTERIOR ELEVATIONS

SHEET NUMBER

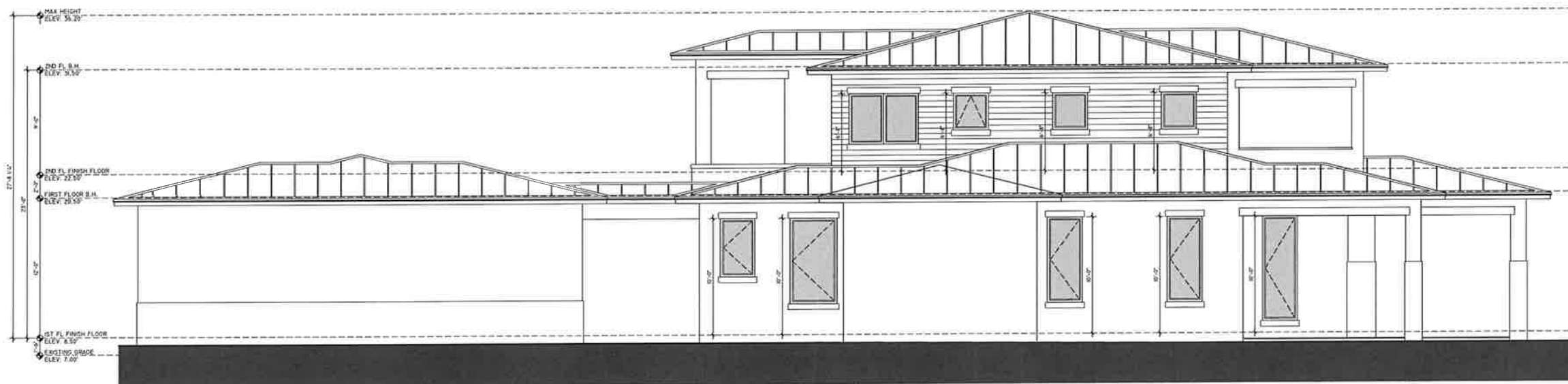
A2.0

REVISIONS:

△	
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△	



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



CUSTOM DESIGN
510 3RD AVE RESIDENCE
510 3RD AVE, MELBOURNE BEACH, FL 32951

SFAL

DATE: 2023-05-31

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A2.1

BUILDING PLOT PLAN

**SOUTH 120 FEET – LOT 7, BLOCK 11
RESUBDIVISION OF WILCOX PLAT OF
MELBOURNE BEACH P.B. 10, PG. 51**

THE SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

LEGAL DESCRIPTION

PER O.R. 8458, PG. 619

THE SOUTH 120 FEET OF LOT 7, BLOCK 11, RESUBDIVISION OF BLOCKS 11, 20, 21, 30 AND 31 OF WILCOX PLAT OF MELBOURNE BEACH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10, PAGE 51, OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.

LESS AND EXCEPT

THE EAST 100 FEET OF THE SOUTH 120 FEET OF LOT 7, BLOCK 11, RESUBDIVISION OF BLOCKS 11, 20, 21, 30 AND 31 OF WILCOX PLAT OF MELBOURNE BEACH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10, PAGE 51, OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.

SURVEYOR'S NOTES

1. THIS BUILDING PLOT PLAN WAS PREPARED FOR RYAN RUNTE. ADDITIONS OR DELETIONS BY ANYONE OTHER THAN THE SIGNING PARTY ARE PROHIBITED WITHOUT THE WRITTEN CONSENT OF LEADING EDGE LAND SERVICES, INC.

2. THE BASIS OF BEARINGS FOR THIS SURVEY IS GRID NORTH, STATE PLANE COORDINATE SYSTEM, FLORIDA EAST, NAD 83, NGS ADJUSTMENT OF 2011. THE NORTH RIGHT-OF-WAY LINE OF THIRD AVENUE BEARS S89°44'59"W.

3. UNLESS OTHERWISE NOTED, SURVEY MEASUREMENTS AND PLOTTED FEATURES SHOWN ON THIS SURVEY ARE BASED ON ACTUAL FIELD MEASUREMENTS.

4. THE ACCURACY OF THIS SURVEY MEETS OR EXCEEDS STANDARDS SET FORTH IN ADMINISTRATIVE RULE 5J-17 "STANDARDS OF PRACTICE FOR SURVEYORS AND MAPPERS."

6. ONLY VISIBLE IMPROVEMENTS THAT EXISTED AS OF THE DATE OF THIS SURVEY WERE LOCATED AND ARE SHOWN ON THIS SURVEY.

8. A REVIEW OF FLOOD INSURANCE RATE MAPS FOR BREVARD COUNTY, FLORIDA, INDICATES THAT A PORTION OF THIS PROPERTY LIES WITHIN ZONE AE (SPECIAL FLOOD HAZARD AREAS SUBJECT TO 1% ANNUAL CHANCE FLOOD) WITH A BASE FLOOD ELEVATION OF 6.00 FEET AND THAT THE REMAINDER OF THIS PROPERTY LIES WITHIN ZONE X (AREA OF MINIMAL FLOODING). THIS INFORMATION WAS TAKEN FROM MAP NUMBER 12009C0604H, REVISED AUGUST 24, 2017. THE LIMITS OF THE FLOOD ZONE SHOWN ON THIS SURVEY ARE BASED ON DIGITAL DATA AVAILABLE FROM STATEWIDE GIS DATABASE.

9. THE VERTICAL DATUM FOR THIS SURVEY IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). THE BENCHMARK THIS SURVEY IS BASED ON IS DESCRIBED AS FOLLOWS: BEACHSIDE VERTICAL CONTROL BC PID 422-35, 2.5" BRASS BCS&M BENCHMARK DISK IN CONCRETE CURB INLET, PUBLISHED ELEVATION = 9.899 FEET, SITE BENCHMARKS ARE SHOWN AND DESCRIBED GRAPHICALLY ON THE SURVEY.

LEGEND

- ⊙ FOUND IRON PIPE
- FOUND IRON ROD & CAP
- SET 5/8" IRON ROD & CAP "LB 6846"
- ⊕ WOOD POWER POLE
- ⌵ GUY ANCHOR
- CATCH BASIN
- P.B. PLAT BOOK
- O.R. OFFICIAL RECORD BOOK
- PG. PAGE
- (P) PER PLAT
- PSM PROFESSIONAL SURVEYOR & MAPPER
- LB LICENSED BUSINESS
- F.F.E. FINISH FLOOR ELEVATION
- X— FENCE LINE
- OHU— OVERHEAD UTILITY LINE



CERTIFIED TO:
510 3RD AVENUE LLC
RYAN RUNTE

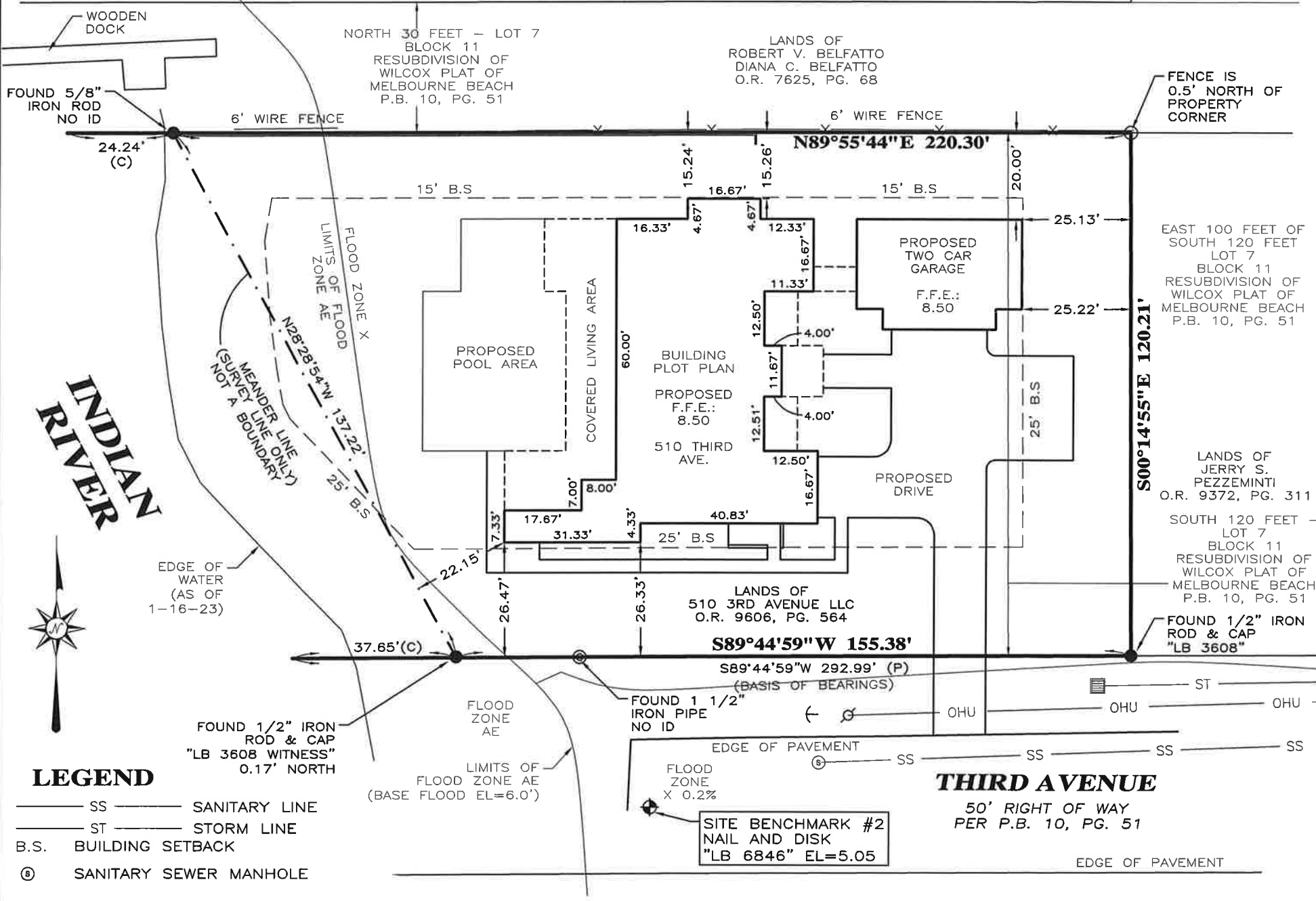
LOT 1
BLOCK 11
RESUBDIVISION OF
WILCOX PLAT OF
MELBOURNE BEACH
P.B. 10, PG. 51

LOT 2
BLOCK 11
RESUBDIVISION OF
WILCOX PLAT OF
MELBOURNE BEACH
P.B. 10, PG. 51

LANDS OF
ROBERT V. BELFATTO
DIANA C. BELFATTO
O.R. 7625, PG. 68

FENCE IS
0.5' NORTH OF
PROPERTY
CORNER

NORTH 30 FEET – LOT 7
BLOCK 11
RESUBDIVISION OF
WILCOX PLAT OF
MELBOURNE BEACH
P.B. 10, PG. 51



LEGEND

- SS— SANITARY LINE
- ST— STORM LINE
- B.S. BUILDING SETBACK
- ⊙ SANITARY SEWER MANHOLE

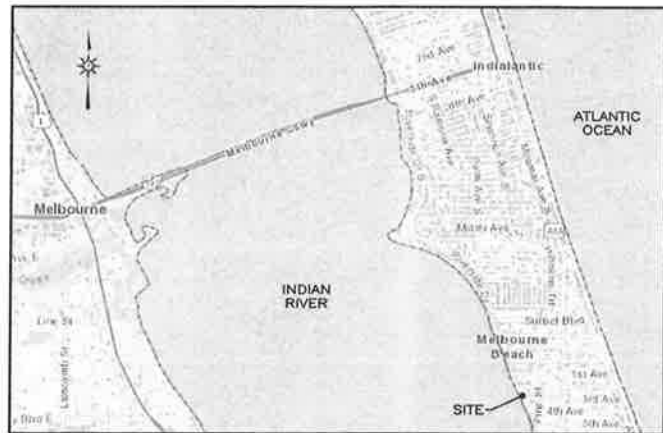
BUILDING PLOT PLAN
FOR
RYAN RUNTE

SURVEYOR'S CERTIFICATION
I, THE UNDERSIGNED FLORIDA LICENSED SURVEYOR AND MAPPER, DO HEREBY CERTIFY THAT I HAVE COMPLETED THIS SKETCH IN ACCORDANCE WITH FLORIDA ADMINISTRATIVE RULE 5J-17 STANDARDS OF PRACTICE FOR PROFESSIONAL SURVEYORS AND MAPPERS.

DATE OF DRAWING: 5 JUN 2023
MANAGER: JH
PROJECT NUMBER: 761-21013
FIELD BOOK NUMBER: 1648,1689
LAST FIELD WORK: 19 JAN 2023
CREW CHIEF(S): SC
COMPUTER FILE: 761013PP.DWG
SCALE: 1" = 30'
SHEET 1 OF 1

**LEADING EDGE
LAND SERVICES
INCORPORATED**
8802 EXCHANGE DRIVE
ORLANDO, FLORIDA 32809
PHONE: (407) 351-6730
FAX: (407) 351-9691
WEB: www.leadingedgegis.com
FLORIDA LICENSED BUSINESS NUMBER LB 6846

Ale7



VICINITY MAP
NOT TO SCALE

BOUNDARY SURVEY OF 510 THIRD AVENUE

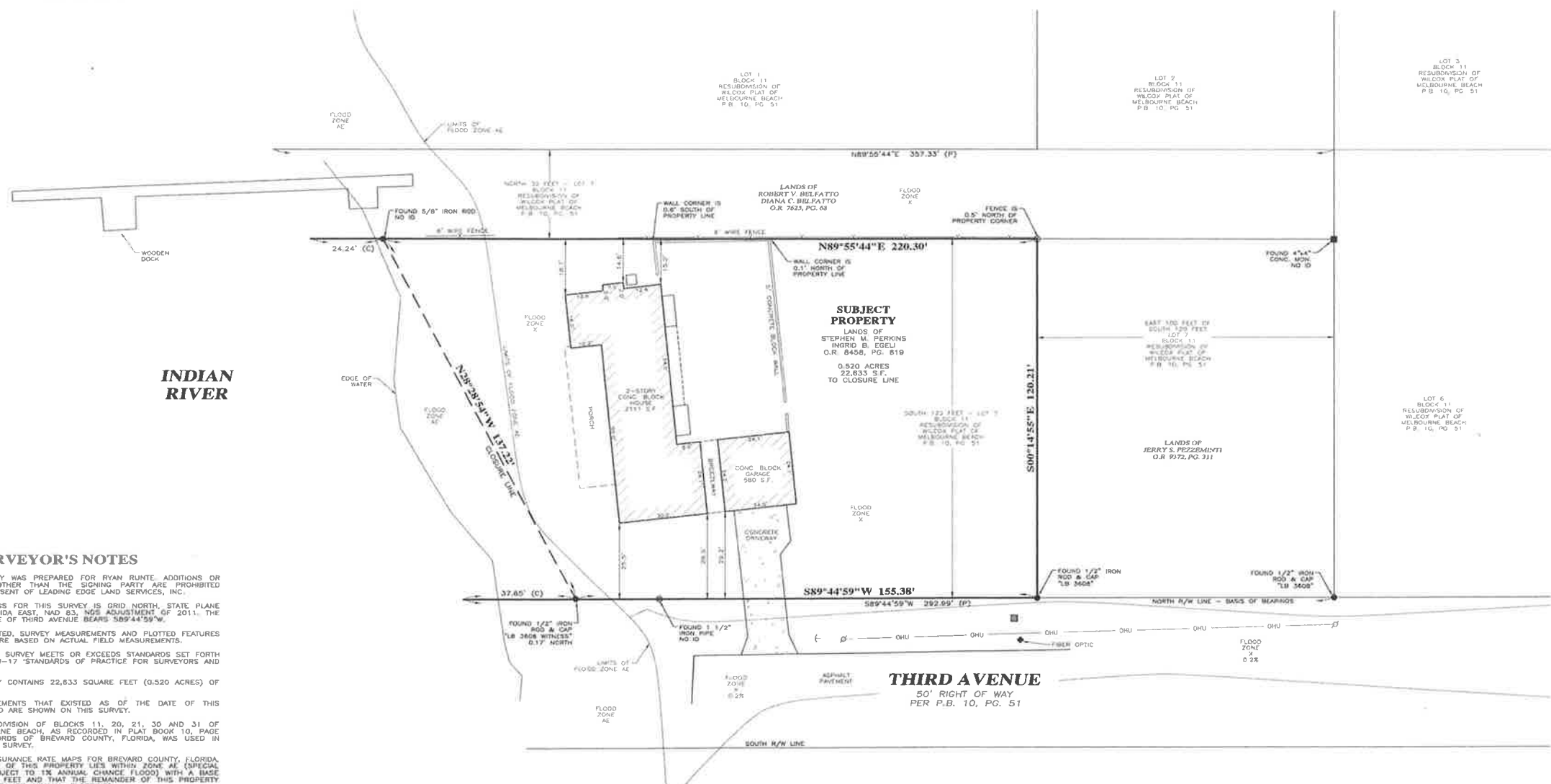
A PORTION OF LOT 7 - BLOCK 11
RESUBDIVISION OF WILCOX PLAT OF MELBOURNE BEACH
CITY OF MELBOURNE BEACH, BREVARD COUNTY, FLORIDA

LEGAL DESCRIPTION
PER O.R. 8458, PG. 619

THE SOUTH 120 FEET OF LOT 7, BLOCK 11, RESUBDIVISION OF BLOCKS 11, 20, 21, 30 AND 31 OF WILCOX PLAT OF MELBOURNE BEACH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10, PAGE 51, OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.

LESS AND EXCEPT

THE EAST 100 FEET OF THE SOUTH 120 FEET OF LOT 7, BLOCK 11, RESUBDIVISION OF BLOCKS 11, 20, 21, 30 AND 31 OF WILCOX PLAT OF MELBOURNE BEACH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10, PAGE 51, OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.



SURVEYOR'S NOTES

1. THIS BOUNDARY SURVEY WAS PREPARED FOR RYAN RUNTE. ADDITIONS OR DELETIONS BY ANYONE OTHER THAN THE SIGNING PARTY ARE PROHIBITED WITHOUT THE WRITTEN CONSENT OF LEADING EDGE LAND SERVICES, INC.
2. THE BASIS OF BEARINGS FOR THIS SURVEY IS GRID NORTH, STATE PLANE COORDINATE SYSTEM, FLORIDA EAST, NAD 83, NGS ADJUSTMENT OF 2011. THE NORTH RIGHT-OF-WAY LINE OF THIRD AVENUE BEARS $S89^{\circ}44'59''W$.
3. UNLESS OTHERWISE NOTED, SURVEY MEASUREMENTS AND PLOTTED FEATURES SHOWN ON THIS SURVEY ARE BASED ON ACTUAL FIELD MEASUREMENTS.
4. THE ACCURACY OF THIS SURVEY MEETS OR EXCEEDS STANDARDS SET FORTH IN ADMINISTRATIVE RULE 6J-17 'STANDARDS OF PRACTICE FOR SURVEYORS AND MAPPERS.'
5. THE SUBJECT PROPERTY CONTAINS 22,833 SQUARE FEET (0.520 ACRES) OF LAND, MORE OR LESS.
6. ONLY VISIBLE IMPROVEMENTS THAT EXISTED AS OF THE DATE OF THIS SURVEY WERE LOCATED AND ARE SHOWN ON THIS SURVEY.
7. THE PLAT OF 'RESUBDIVISION OF BLOCKS 11, 20, 21, 30 AND 31 OF WILCOX PLAT OF MELBOURNE BEACH, AS RECORDED IN PLAT BOOK 10, PAGE 51, OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA, WAS USED IN THE PREPARATION OF THIS SURVEY.
8. A REVIEW OF FLOOD INSURANCE RATE MAPS FOR BREVARD COUNTY, FLORIDA, INDICATES THAT A PORTION OF THIS PROPERTY LIES WITHIN ZONE AE (SPECIAL FLOOD HAZARD AREAS SUBJECT TO 1% ANNUAL CHANCE FLOOD) WITH A BASE FLOOD ELEVATION OF 8.00 FEET AND THAT THE REMAINDER OF THIS PROPERTY LIES WITHIN ZONE X (AREA OF MINIMAL FLOODING). THIS INFORMATION WAS TAKEN FROM MAP NUMBER '200600804H, REVISED AUGUST 24, 2017. THE LIMITS OF THE FLOOD ZONE SHOWN ON THIS SURVEY ARE BASED ON DIGITAL DATA AVAILABLE FROM STATEWIDE GIS DATABASE.
9. THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A TITLE REPORT. THERE MAY BE EASEMENTS AND RESTRICTIONS THAT AFFECT THE SUBJECT PROPERTY THAT ARE NOT DEPICTED ON THE SURVEY.



LEGEND

■	FOUND CONCRETE MONUMENT	—x—	FENCE LINE	(C)	CALCULATED
⊙	FOUND IRON PIPE	OHU	OVERHEAD UTILITY LINE	(P)	PER PLAT
●	FOUND IRON ROD & CAP	P.B.	PLAT BOOK	S.F.	SQUARE FEET
○	SET 5/8" IRON ROD & CAP "LB 5846"	O.R.	OFFICIAL RECORDS BOOK	PSM	PROFESSIONAL SURVEYOR & MAPPER
⊥	WOOD POWER POLE	PG	PAGE	LB	LICENSED BUSINESS
⌋	GUY ANCHOR	CONC. MON.	CONCRETE MONUMENT		
◆	UTILITY PEDESTAL	ID	IDENTIFICATION		
■	CATCH BASIN	R/W	RIGHT OF WAY		

SURVEYOR'S CERTIFICATION

I, JERRY S. PEZZAGHINI, LICENSED SURVEYOR AND MAPPING PROFESSIONAL, CERTIFY THAT I HAVE PERSONALLY CONDUCTED THIS SURVEY IN ACCORDANCE WITH THE FLORIDA ADMINISTRATIVE RULE 6J-17 'STANDARDS OF PRACTICE FOR SURVEYORS AND MAPPERS.'

DATE: 08/23/2022

JERRY S. PEZZAGHINI
PROFESSIONAL SURVEYOR AND MAPPER NUMBER 8610

BOUNDARY SURVEY

OF

510 THIRD AVENUE
A PORTION OF LOT 7 - BLOCK 11
RESUBDIVISION OF WILCOX PLAT OF MELBOURNE BEACH
CITY OF MELBOURNE BEACH, BREVARD COUNTY, FLORIDA

FOR

LEADING EDGE LAND SERVICES, INC.
A CORPORATION

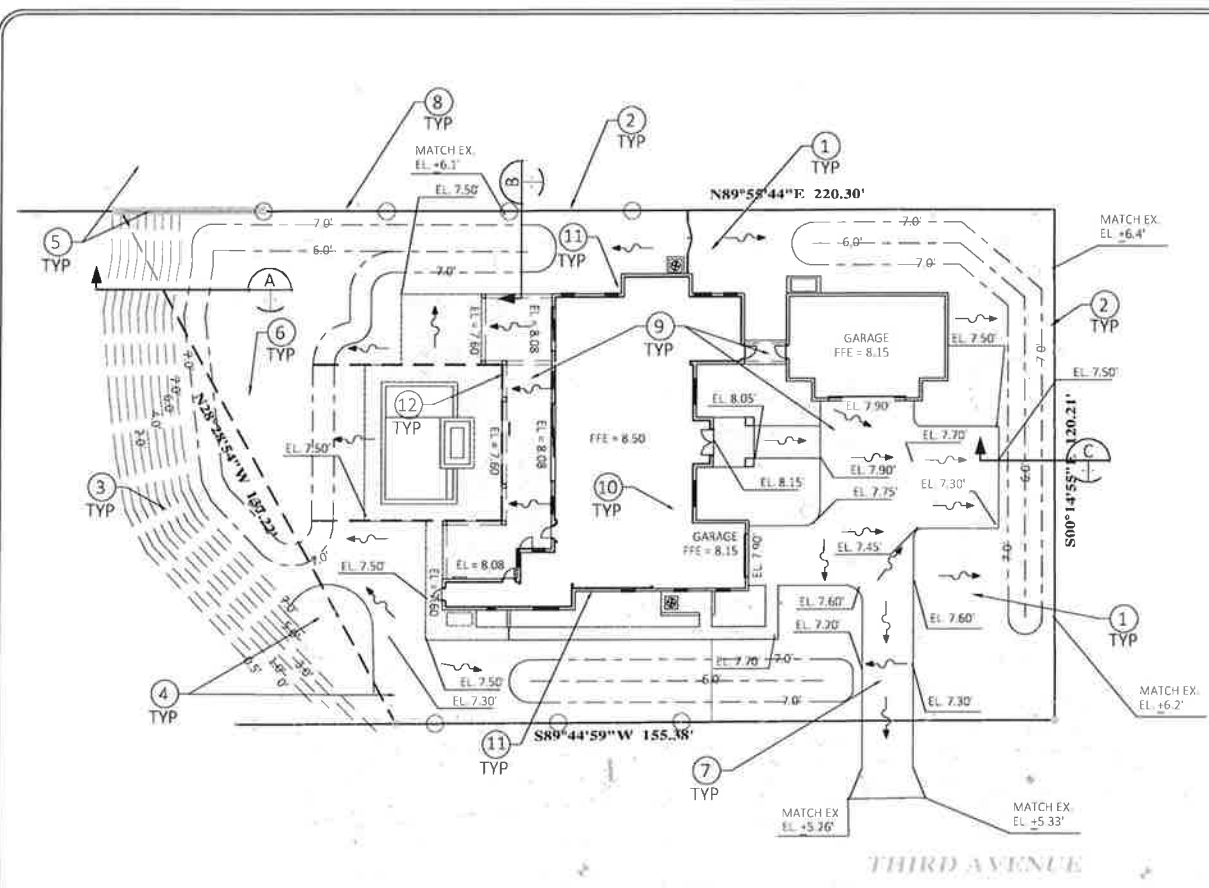
8802 EXCHANGE DRIVE
ORLANDO, FLORIDA 32809
PHONE: (407) 351-6730
FAX: (407) 351-6691
WEB: www.leadingedgesurvey.com

FLORIDA LICENSED BUSINESS NUMBER LB 8646

REVISIONS:

DATE OF DRAWING:	23 AUG 2022
DATE OF FIELD WORK:	17 AUG 2022
CREW CHIEF(S):	SC
MANAGER:	JOHN (CADD) EAG
PROJECT NUMBER:	
FIELD BOOK NUMBER:	LE 1648
SCALE:	1"=20'
SHEET:	1 OF 1

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER



GRADING AND DRAINAGE PLAN
1"=20'

CIVIL SITE GRADING NOTES:

- CONTRACTOR TO ENSURE POSITIVE DRAINAGE PATH TO STORMWATER TREATMENT AREA.
- CONTRACTOR TO COORDINATE GRADING ALONG COMMON LOT LINES WITH ADJACENT NEIGHBORS TO ENSURE CONTINUED POSITIVE DRAINAGE. CARE TO BE TAKEN DURING GRADING EFFORTS TO MAINTAIN EXISTING DRAINAGE PATHS OF ADJACENT NEIGHBORS WHICH SHALL NOT BE BLOCKED.
- PROVIDE COQUINA REVETMENT ALONG THE LENGTH OF THE SHORELINE FROM WATERS EDGE AT A 2:1 SLOPE TO TIE IN AT ELEVATION 7 FT (NAVD 88) AS SHOWN IN PLAN VIEW FOR STORMWATER RETENTION. SEE STRUCTURE FOR DETAILS AND SPECIFICATIONS. REVETMENT DESIGN AND PERMITTING BY OTHERS.
- CONTRACTOR TO COORDINATE REGRADING EFFORTS WITH TOWN OF MELBOURNE BEACH FOR AREA ADJACENT TO 3RD AVENUE RIGHT OF WAY WITH FIELD VERIFICATION OF THE INS TO EXISTING ELEVATIONS ALLOWING TRANSITION FROM SWALE TOP OF BANK TO PAVEMENT ELEVATIONS WHILE MAINTAINING EXISTING DRAINAGE CONNECTIONS.
- CONTRACTOR TO COORDINATE CONSTRUCTION OF A RETAINING WALL IF FIELD CONDITIONS DICTATE TO CONNECT RESTORED REVETMENT ALONG NORTH PROPERTY LINE. APPROVED DESIGN ALTERNATIVE INCLUDES PERMISSION FROM NEIGHBOR FOR REGRADING EFFORTS TO RESTORE REVETMENT NEAR EXISTING DOCK. RETAINING WALL AND/OR REVETMENT DESIGN AND PERMITTING BY OTHERS.
- GRASS COVER WITHIN BOUNDARY OF STORMWATER POND BOTTOM SHALL BE EITHER SEED AND MULCH OR SAND GROWN SOD. REMOVE AND REPLACE ANY DELETERIOUS MATERIALS OR LIMITING SOILS WITH PERCOLATION VALUES LESS THAN 10 INCHES PER HOUR PLACED AT A DENSITY OF APPROXIMATELY 92% OF THE MODIFIED PROCTOR TEST OR PER GEOTECHNICAL ENGINEER RECOMMENDATIONS. CONTRACTOR TO INCLUDE MATERIAL TESTING DURING CONSTRUCTION.
- CONTRACTOR TO PITCH DRIVEWAY TOWARD STORMWATER COLLECTION AREAS FOR TREATMENT.
- PROVIDE FENCE ALONG PROPERTY LINE WITH SWING GATES PER OWNER. CONTRACTOR TO COORDINATE CONSTRUCTION WITH NEIGHBORS FOR ANY IMPACTS OR REVISIONS TO FENCING.
- DRIVEWAY, SIDEWALK, PORCH, RESIDENCE AND FENCE DESIGN INCLUDING DETAILS WITH SPECIFICATIONS BY OTHERS.
- FOOTPRINT PROVIDED BY ARCHITECT AND OWNER. ANY DIMENSIONS ON GRADING PLAN FOR REFERENCE ONLY. CONTRACTOR TO ENSURE CORRECT DIMENSIONS INCLUDED PRIOR TO CONSTRUCTION.
- SEE ARCHITECTURAL PLAN FOR ROOF DRAINAGE AND DOWNSPOUT COLLECTION. RUNOFF COLLECTION SHOULD BE DIRECTED TO PROPOSED DRY RETENTION AREAS.
- PROVIDE 6" ADS N-12 UNDERGROUND STORMWATER COLLECTION PIPE WITH WATER TIGHT JOINTS TO EXTEND AT A MINIMUM 1% SLOPE WITH A MINIMUM COVER OF 12" FROM GUTTER AND DOWNSPOUT COLLECTION SYSTEM FOR ROOF ADJACENT TO POOL. TO STORMWATER COLLECTION AREA PROVIDE YARD DRAIN BUBBLE UP CONNECTION IN STORMWATER POND WITH TOP OF DRAIN AT 6.0 AND INVERT FIELD CUT. INCLUDE ROCK FOR EROSION PROTECTION AROUND DRAIN LOCATION.

GENERAL INFORMATION:

CONTACT INFORMATION	
OWNER 510 3rd AVENUE, LLC 510 3rd AVENUE MELBOURNE BEACH, FL 32901	CIVIL ENGINEER TRAUGER CONSULTING ENGINEERS, INC. ERIN TRAUGER, P.E. 2210 FRONT STREET STE 204 MELBOURNE, FL 32901 TEL: 321-652-5316 E-MAIL: ERIN.TRAUGER@GMAIL.COM
SURVEYOR LEADING EDGE LAND SERVICES, INC 8802 EXCHANGE DRIVE ORLANDO, FL 32809 TEL: 407-351-6730 FAX: 407-351-9691	ARCHITECT MELD STUDIO ARCHITECTURE, LLC JEFF K. ANDERSON, ARCHITECT 1542 GUAVA AVE. UNIT A MELBOURNE, FL 32935 TEL: 321-571-2702

LEGAL DESCRIPTION:

THE SOUTH 120 FEET OF LOT 7, BLOCK 13, RESUBDIVISION OF BLOCKS 11, 20, 21, 30 AND 31 OF WILCOX PLAT OF MELBOURNE BEACH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10, PAGE 51, OF PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.

LESS AND EXCEPT

THE EAST 100 FEET OF THE SOUTH 120 FEET OF LOT 7, BLOCK 13, RESUBDIVISION OF BLOCKS 11, 20, 21, 30 AND 31 OF WILCOX PLAT OF MELBOURNE BEACH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAY BOOK 10, PAGE 51, OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.

DRAINAGE CALCULATIONS:

SITE DATA			
TOTAL ACREAGE:	0.52 ACRES		
F.L.R.M. #12009C0604H THIS PROPERTY LIES IN FLOOD ZONES "AE" AND "X"			
PARCEL ID :	28-38-07-02-11-7		
TAX ACCOUNT NUMBER:	2847687		
ADDRESS:	510 3rd AVENUE, MELBOURNE BEACH, FL 32951		
SITE DRAINAGE COVERAGE CALCULATIONS			
PROPOSED LOT COVERAGE	SF	ACRE	PERCENT
IMPERVIOUS:	10,032	0.23	44%
PERVIOUS:	12,587	0.29	56%
TOTAL GROSS AREA:	22,619	0.52	100%

GENERAL NOTES:

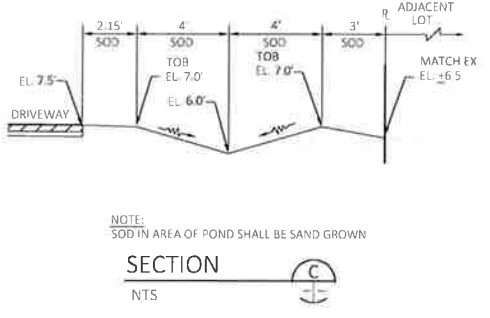
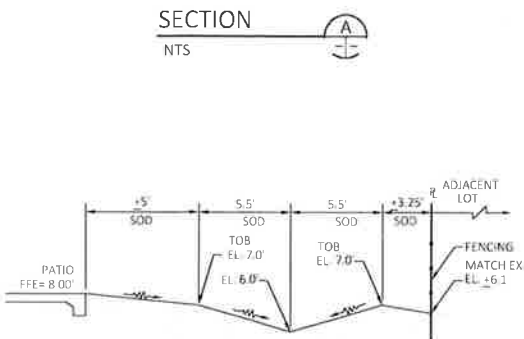
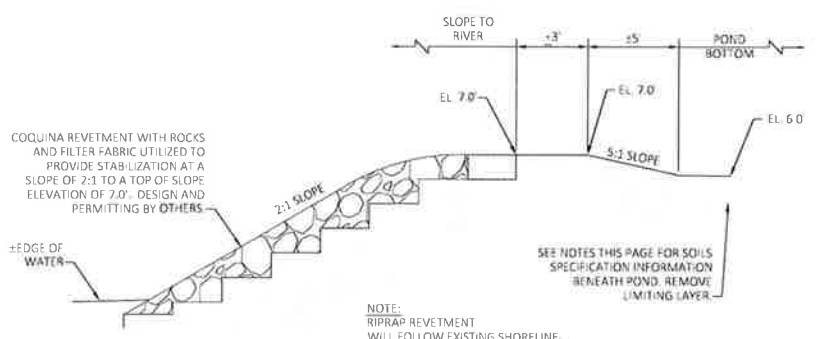
- CONTRACTOR SHALL BECOME FAMILIAR AND COMPLY WITH ALL PERMITS AND PERMIT CONDITIONS. CONTRACTOR SHALL OBTAIN PERMISSION FROM ALL NECESSARY PERMIT AGENCIES PRIOR TO COMMENCING SITE WORK.
- ALL AREAS DISTURBED OFF-SITE SHALL BE RESTORED TO EQUAL OR BETTER CONDITION THAN PRE-CONSTRUCTION.
- ANY SHORELINE REVETMENTS REQUIRE DESIGN AND PERMITTING BY OTHERS WITH INFORMATION INCLUDED FOR ELEVATION REFERENCE AS PART OF STORMWATER DESIGN.
- SLOPE ALL SIDEWALKS TO FLOW AWAY FROM BUILDING WITH MAXIMUM 2% CROSS SLOPE.
- PROVIDE CONSTANT SLOPE BETWEEN ALL SPOT ELEVATIONS.
- CONTRACTOR SHALL PROVIDE SILT FENCE AROUND PROJECT AREA AS REQUIRED BY FDEP AND MELBOURNE BEACH.
- ALL WASTE SHALL BE DISPOSED OF OFF-SITE IN A SAFE AND LEGAL MANNER UNLESS OWNER SPECIFICALLY REQUESTS OTHERWISE.
- ALL SLOPES 4H:1V OR STEEPER SHALL BE SODDED. ALL SLOPES STEEPER THAN 3H:1V SHALL BE SODDED AND STAKED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO PUBLIC ROADWAYS, EASEMENTS, CURBS, SIDEWALKS, DRAINAGE SYSTEM, BENCH-MARKS, OR UTILITIES AS A DIRECT RESULT OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING ALL BOUNDARY CORNERS AND BENCHMARKS DISTURBED OR DESTROYED DURING CONSTRUCTION REPLACED BY A FLORIDA LICENSED LAND SURVEYOR.
- EXCEPT AT DOORWAYS, FINISHED GRADE ADJACENT TO HOUSE SHALL BE 6" BELOW FINISHED FLOOR UNLESS IDENTIFIED OTHERWISE BY ARCHITECT/HOME BUILDER OR ON GRADING PLAN. ALL LOT GRADING SHALL COMPLY WITH APPLICABLE FLORIDA BUILDING CODES.
- THIS PLAN HAS BEEN PREPARED WITH A BASE SURVEY, FOOT PRINT AND LAYOUT PROVIDED BY MELD ARCHITECTURE AND LEADING EDGE LAND SERVICES, INC. CIVIL ENGINEER DOES NOT WARRANT THE ACCURACY OF THE RECORD SURVEY NOR HAVE THEY COMPLETED THE DESIGN FOR THE SITE LAYOUT.
- SEE ARCHITECTURAL/HOME BUILDER DRAWINGS FOR BUILDING DIMENSIONS AND LAYOUT, SEE PLUMBING, MECHANICAL, ELECTRICAL AND LANDSCAPING DRAWINGS FOR UTILITY CONNECTION LOCATIONS, HEATING/AC, ELECTRICAL AND LANDSCAPING INFORMATION.
- SWPPP IS NOT INCLUDED. CIVIL ENGINEER IS NOT RESPONSIBLE FOR THE DESIGN OF EROSION AND SEDIMENT CONTROL'S OR OTHER POLLUTION PREVENTION PRACTICES FOR THIS PROJECT.
- CLEARING SPECIFICATIONS, UTILITY DESIGN, PAVING AND OTHER SITE MATERIALS AND SPECIFICATIONS ARE NOT INCLUDED. CIVIL ENGINEER NOT RESPONSIBLE FOR THE DESIGN SPECIFICATIONS RELATED TO THESE ITEMS. CONTRACTOR TO CONSULT GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION TO ENSURE SOILS AS ANTICIPATED FOR DESIGN.
- BOUNDARY, TOPOGRAPHIC AND EXISTING INFORMATION INDICATED ON THESE DRAWINGS ARE PER FIELD DATA SUPPLIED BY LEADING LAND SERVICES, INC. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE INFORMATION AND PROTECT SAME FROM DAMAGE DURING THE CONSTRUCTION PHASE. DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- THIS IS A SPECIFIC PURPOSE DRAWING SET, FOR THE PERMITTING AND THE CONSTRUCTION OF A STORMWATER TREATMENT AREA THE ENGINEER CERTIFIES THESE DRAWINGS ONLY FOR THE CONSTRUCTION OF THAT INFORMATION AND NO OTHER PERMITTING AND CONSTRUCTION USES.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SETBACKS PRIOR TO STARTING CONSTRUCTION.

SURVEYOR NOTES:

- THIS BOUNDARY AND TOPOGRAPHIC SURVEY WAS PREPARED FOR RYAN RUNTE, ADDITIONS OR DELETIONS BY ANYONE OTHER THAN SIGNING PARTY ARE PROHIBITED WITHOUT WRITTEN CONSENT OF LEADING EDGE LAND SERVICES, INC.
- THE BASIS OF BEARINGS FOR THIS SURVEY IS GRID NORTH, STATE PLANE COORDINATE SYSTEM, FLORIDA EAST, NAD 83, NGS ADJUSTMENT OF 2011, THE NORTH RIGHT-OF-WAY LINE OF THIRD AVENUE BEARS S89°44'59"W.
- UNLESS OTHERWISE NOTED, SURVEY MEASUREMENTS AND PLOTTED FEATURES SHOWN ON THIS SURVEY AREA BASED ON ACTUAL FIELD MEASUREMENTS.
- THE ACCURACY OF THIS SURVEY MEETS OR EXCEEDS STANDARDS SET FORTH IN ADMINISTRATIVE RULE 5J-17 "STANDARDS OF PRACTICE FOR SURVEYORS AND MAPPERS."
- THE SUBJECT PROPERTY CONTAINS 22,633 SQUARE FEET (0.520 ACRES) OF LAND, MORE OR LESS.
- ONLY VISIBLE IMPROVEMENTS THAT EXISTED AS OF THE DATE OF THIS SURVEY WERE LOCATED AND ARE SHOWN ON THIS SURVEY.
- THE PLAT OF "RESUBDIVISION OF BLOCKS 11, 20, 21, 30 AND 31 OF WILCOX PLAT OF MELBOURNE BEACH, AS RECORDED IN PLAT BOOK 10, PAGE 51, OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA, AS USED IN THE PREPARATION OF THIS SURVEY.
- A REVIEW OF FLOOD INSURANCE RATE MAPS FOR BREVARD COUNTY, FLORIDA, INDICATES THAT A PORTION OF THIS PROPERTY LIES WITHIN ZONE AE (SPECIAL FLOOD HAZARD AREAS SUBJECT TO 1% ANNUAL CHANCE FLOOD) WITH A BASE FLOOD ELEVATION OF 6.00 FEET AND THAT THE REMAINDER OF THIS PROPERTY LIES WITHIN ZONE X (AREA OF MINIMAL FLOODING). THIS INFORMATION WAS TAKEN FROM MAP NUMBER 12009C0604H, REVISED AUGUST 24, 2013. THE LIMITS OF THE FLOOD ZONE SHOWN ON THIS SURVEY ARE BASED ON DIGITAL DATA AVAILABLE FROM STATEWIDE GIS DATABASE.
- THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A TITLE REPORT. THERE MAY BE EASEMENTS AND RESTRICTIONS THAT AFFECT THE SUBJECT PROPERTY THAT ARE NOT DEPICTED ON THE SURVEY.
- THE VERTICAL DATUM FOR THIS SURVEY IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). THE BENCHMARK THIS SURVEY IS BASED ON IS DESCRIBED AS FOLLOWS: BEACHSIDE VERTICAL CONTROL BC PID 422-35, 2.5" BRASS BC&M BENCHMARK DISK IN CONCRETE CURB INLET, PUBLISHED ELEVATION = 9.899 FEET, SITE BENCHMARKS ARE SHOWN AND DESCRIBED GRAPHICALLY ON THE SURVEY.

SURVEYOR LEGEND:

■ FOUND CONCRETE MONUMENT	— FENCE LINE	(C) CALCULATED
⊙ FOUND IRON PIPE	— OVERHEAD UTILITY LINE	(P) PER PLAT
● FOUND IRON ROD & CAP	P.B. PLAT BOOK	S.F. SQUARE FEET
○ SET 5/8" IRON ROD & CAP "LB 6846"	O.R. OFFICIAL RECORDS BOOK	PSM PROFESSIONAL SURVEYOR & MAPPER
⊕ WOOD POWER POLE	PG. PAGE	LB LICENSED BUSINESS
⌵ GUY ANCHOR	CONC. MON. CONCRETE MONUMENT	⊙1.0 SOFT SURFACE ELEVATION
⊙ UTILITY PEDESTAL	ID IDENTIFICATION	⊙1.00 HARD SURFACE ELEVATION
⊙ CATCH BASIN	R/W RIGHT OF WAY	FFE FINISHED FLOOR ELEVATION
⊙ BENCHMARK		INV INVERT



REVISION	DATE	BY



510 3rd AVENUE, LLC
MELBOURNE BEACH, FLORIDA
GRADING AND DRAINAGE PLAN



DATE:	5-23-2023
TOWNSHIP:	28
RANGE:	38
SECTION:	07
SCALE:	1" = 20'
DRAWING NO.:	C-1
PROJECT:	23-122

THIS DOCUMENT HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY ERIN TRAUGER, PE ON THE DATE AND/OR TIME STAMP SHOWN USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



VICINITY MAP
NOT TO SCALE

BOUNDARY SURVEY OF 510 THIRD AVENUE

A PORTION OF LOT 7 - BLOCK 11
RESUBDIVISION OF WILCOX PLAT OF MELBOURNE BEACH
CITY OF MELBOURNE BEACH, BREVARD COUNTY, FLORIDA

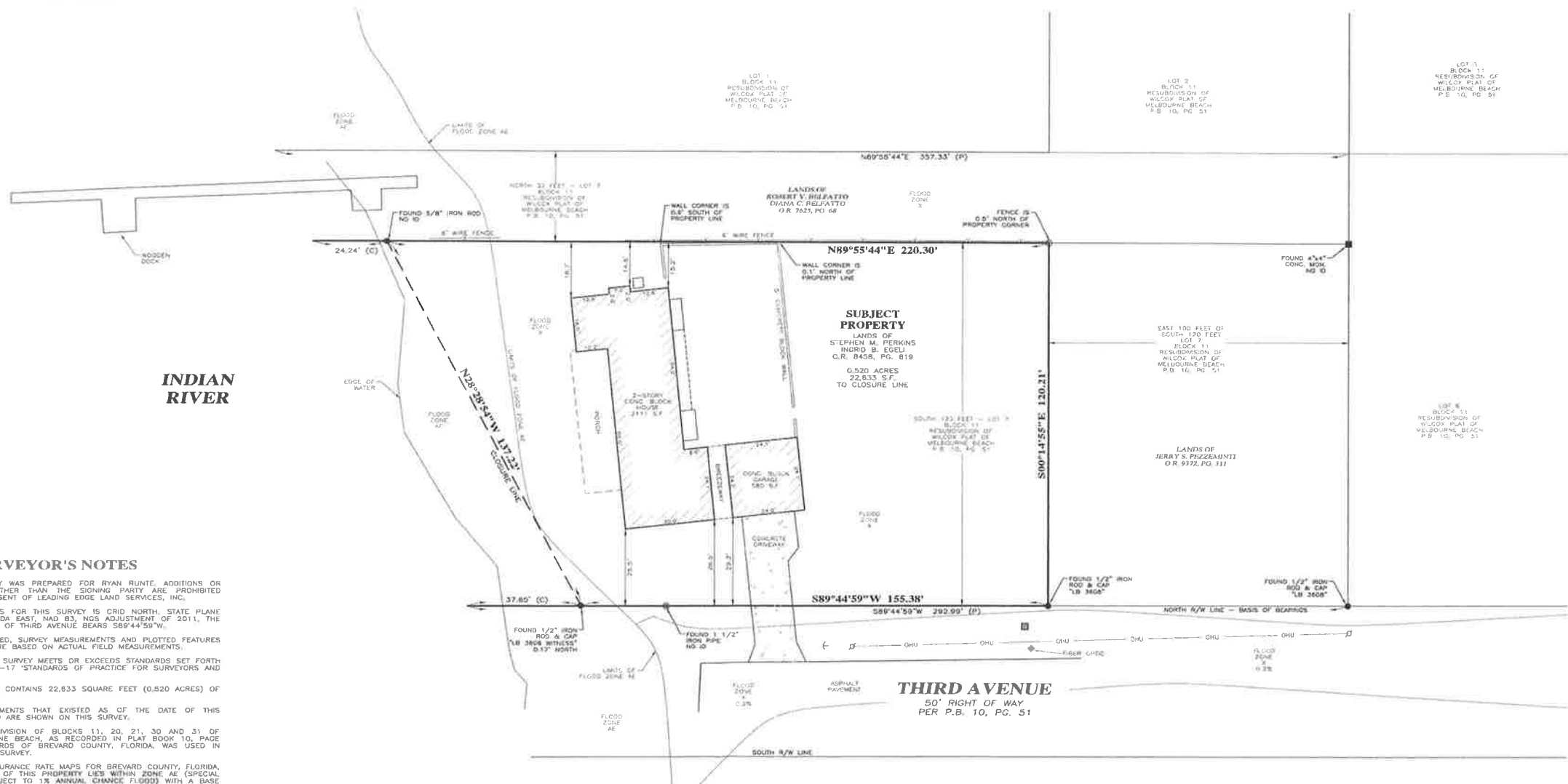
LEGAL DESCRIPTION

PER O.R. 8458, PG. 619

THE SOUTH 120 FEET OF LOT 7, BLOCK 11, RESUBDIVISION OF BLOCKS 11, 20, 21, 30 AND 31 OF WILCOX PLAT OF MELBOURNE BEACH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10, PAGE 51, OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.

LESS AND EXCEPT

THE EAST 100 FEET OF THE SOUTH 120 FEET OF LOT 7, BLOCK 11, RESUBDIVISION OF BLOCKS 11, 20, 21, 30 AND 31 OF WILCOX PLAT OF MELBOURNE BEACH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10, PAGE 51, OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.



SURVEYOR'S NOTES

1. THIS BOUNDARY SURVEY WAS PREPARED FOR RYAN RUNTE, ADDITIONS OR DELETIONS BY ANYONE OTHER THAN THE SIGNING PARTY ARE PROHIBITED WITHOUT THE WRITTEN CONSENT OF LEADING EDGE LAND SERVICES, INC.
2. THE BASIS OF BEARINGS FOR THIS SURVEY IS GRID NORTH STATE PLANE COORDINATE SYSTEM, FLORIDA EAST NAD 83, NGS ADJUSTMENT OF 2011, THE NORTH RIGHT-OF-WAY LINE OF THIRD AVENUE BEARS S89°44'59"W.
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9. THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A TITLE REPORT. THERE MAY BE EASEMENTS AND RESTRICTIONS THAT AFFECT THE SUBJECT PROPERTY THAT ARE NOT DEPICTED ON THE SURVEY.



LEGEND

■	FOUND CONCRETE MONUMENT	—	FENCE LINE	(C)	CALCULATED
⊙	FOUND IRON PIPE	—	OVERHEAD UTILITY LINE	(P)	PER PLAT
●	FOUND IRON ROD & CAP	P.B.	PLAT BOOK	S.F.	SQUARE FEET
○	SET 5/8" IRON ROD & CAP "LB 5846"	O.R.B.	OFFICIAL RECORDS BOOK	PSM	PROFESSIONAL SURVEYOR & MAPPER
⊕	WOOD POWER POLE	PAGE	PAGE	LB	LICENSED BUSINESS
↓	GUY ANCHOR	CONC. MON.	CONCRETE MONUMENT		
◆	UTILITY PEDESTAL	ID	IDENTIFICATION		
■	CATCH BASIN	R/W	RIGHT OF WAY		

SURVEYOR'S CERTIFICATION

I, THE UNDERSIGNED, A FLORIDA LICENSED SURVEYOR, HAVE COMPLETED THIS SURVEY IN ACCORDANCE WITH FLORIDA ADMINISTRATIVE RULES 5J-17 'STANDARDS OF PRACTICE FOR SURVEYORS AND MAPPERS.'

DATE: 08/23/2022

MANAGER JOHN T. DADD, LAC

PROJECT NUMBER: 17-25

FIELD BOOK NUMBER: LE 1648

DATE OF DRAWING: 23 AUG 2022

CREW CHIEF(S): JC

COMPUTER FILE: MELBOURNE.DWG

SCALE: 1"=20'

SHEET 1 OF 1

BOUNDARY SURVEY

OF
510 THIRD AVENUE
A PORTION OF LOT 7 - BLOCK 11
RESUBDIVISION OF WILCOX PLAT OF MELBOURNE BEACH
CITY OF MELBOURNE BEACH, BREVARD COUNTY, FLORIDA

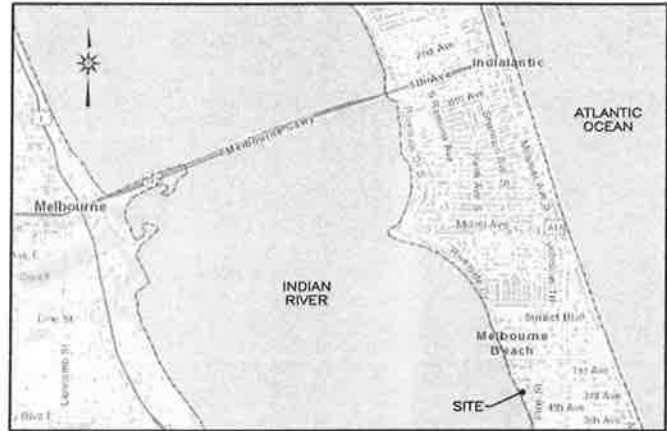
FOR

LEADING EDGE LAND SERVICES

INCORPORATED
8802 EXCHANGE DRIVE
ORLANDO, FLORIDA 32809
PHONE: (407) 351-6730
FAX: (407) 351-9691
WEB: www.leadingedge.com

FLORIDA LICENSED BUSINESS NUMBER LB 8848

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER



VICINITY MAP
NOT TO SCALE

BOUNDARY SURVEY OF 510 THIRD AVENUE

A PORTION OF LOT 7 - BLOCK 11
RESUBDIVISION OF WILCOX PLAT OF MELBOURNE BEACH
CITY OF MELBOURNE BEACH, BREVARD COUNTY, FLORIDA

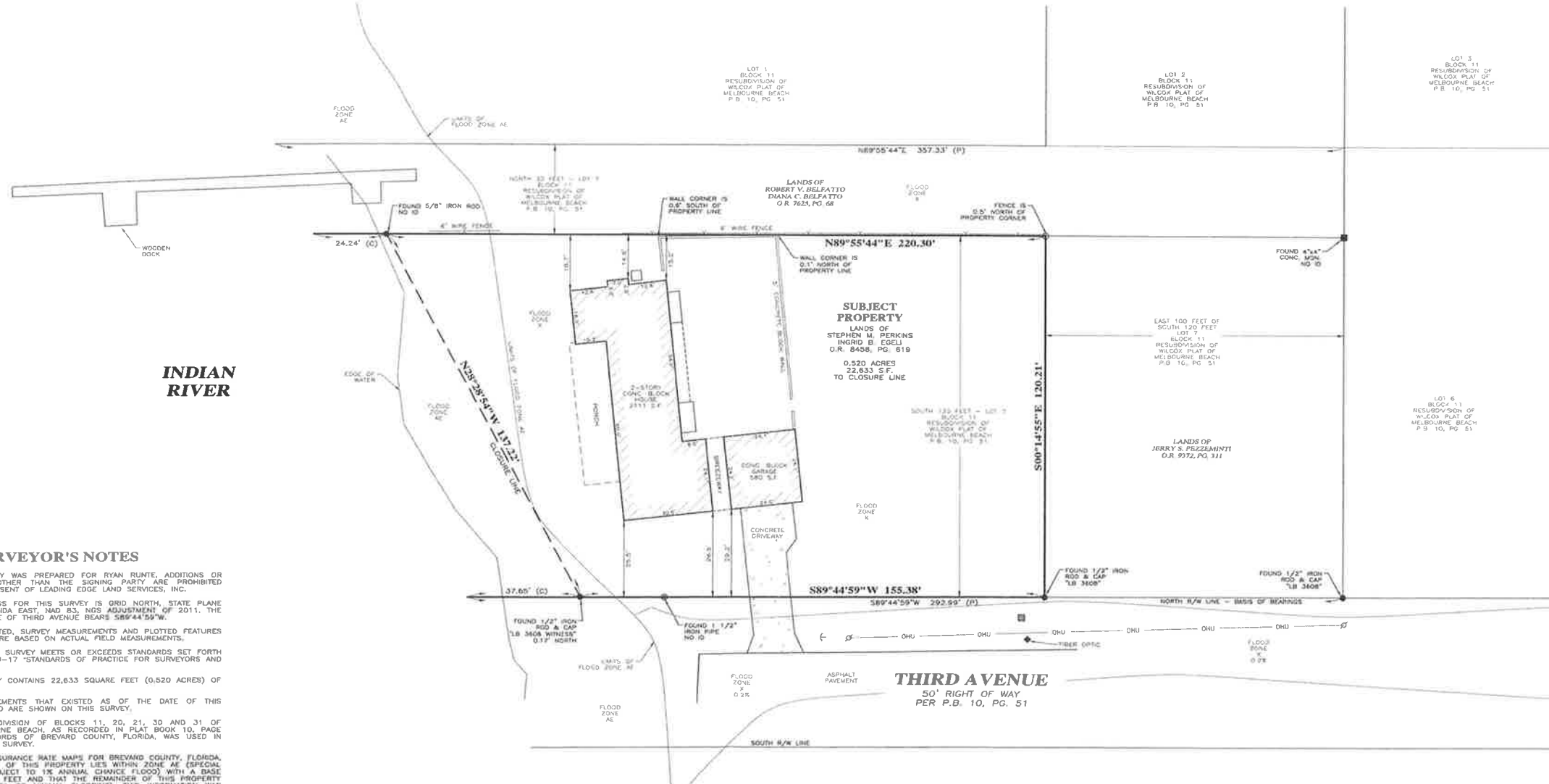
LEGAL DESCRIPTION

PER O.R. 8458, PG. 619

THE SOUTH 120 FEET OF LOT 7, BLOCK 11, RESUBDIVISION OF BLOCKS 11, 20, 21, 30 AND 31 OF WILCOX PLAT OF MELBOURNE BEACH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10, PAGE 51, OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.

LESS AND EXCEPT

THE EAST 100 FEET OF THE SOUTH 120 FEET OF LOT 7, BLOCK 11, RESUBDIVISION OF BLOCKS 11, 20, 21, 30 AND 31 OF WILCOX PLAT OF MELBOURNE BEACH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10, PAGE 51, OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.



SURVEYOR'S NOTES

1. THIS BOUNDARY SURVEY WAS PREPARED FOR RYAN RUNTE, ADDITIONS OR DELETIONS BY ANYONE OTHER THAN THE SIGNING PARTY ARE PROHIBITED WITHOUT THE WRITTEN CONSENT OF LEADING EDGE LAND SERVICES, INC.
2. THE BASIS OF BEARINGS FOR THIS SURVEY IS GRID NORTH, STATE PLANE COORDINATE SYSTEM, FLORIDA EAST, NAD 83, NDS ADJUSTMENT OF 2011. THE NORTH RIGHT-OF-WAY LINE OF THIRD AVENUE BEARS S89°44'59"W.
3. UNLESS OTHERWISE NOTED, SURVEY MEASUREMENTS AND PLOTTED FEATURES SHOWN ON THIS SURVEY ARE BASED ON ACTUAL FIELD MEASUREMENTS.
4. THE ACCURACY OF THIS SURVEY MEETS OR EXCEEDS STANDARDS SET FORTH IN ADMINISTRATIVE RULE 5J-17 "STANDARDS OF PRACTICE FOR SURVEYORS AND MAPPERS."
5. THE SUBJECT PROPERTY CONTAINS 22,633 SQUARE FEET (0.520 ACRES) OF LAND, MORE OR LESS.
6. ONLY VISIBLE IMPROVEMENTS THAT EXISTED AS OF THE DATE OF THIS SURVEY WERE LOCATED AND ARE SHOWN ON THIS SURVEY.
7. THE PLAT OF "RESUBDIVISION OF BLOCKS 11, 20, 21, 30 AND 31 OF WILCOX PLAT OF MELBOURNE BEACH, AS RECORDED IN PLAT BOOK 10, PAGE 51, OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA, WAS USED IN THE PREPARATION OF THIS SURVEY.
8. A REVIEW OF FLOOD INSURANCE RATE MAPS FOR BREVARD COUNTY, FLORIDA, INDICATED THAT A PORTION OF THIS PROPERTY LIES WITHIN FLOOD HAZARD AREA SUBJECT TO 1% ANNUAL CHANCE FLOOD WITH A BASE FLOOD ELEVATION OF 6.00 FEET AND THAT THE REMAINDER OF THIS PROPERTY LIES WITHIN FLOOD HAZARD AREA OF MINIMAL FLOODING. THIS INFORMATION WAS TAKEN FROM MAP NUMBER 12008C0804H, REVISED AUGUST 24, 2017. THE LIMITS OF THE FLOOD ZONE SHOWN ON THIS SURVEY ARE BASED ON DIGITAL DATA AVAILABLE FROM STATEWIDE GIS DATABASE.
9. THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A TITLE REPORT, THERE MAY BE EASEMENTS AND RESTRICTIONS THAT AFFECT THE SUBJECT PROPERTY THAT ARE NOT DEPICTED ON THE SURVEY.



LEGEND	
■	FOUND CONCRETE MONUMENT
⊙	FOUND IRON PIPE
⊙	FOUND IRON ROD & CAP
⊙	SET 5/8" IRON ROD & CAP "LB 8845"
⊙	WOOD POWER POLE
⊙	GUY ANCHOR
⊙	UTILITY PEDESTAL
⊙	CATCH BASIN
---	FENCE LINE
OHU	OVERHEAD UTILITY LINE
P.B.	PLAT BOOK
O.R.	OFFICIAL RECORDS BOOK
PG	PAGE
CONC. MON.	CONCRETE MONUMENT
ID	IDENTIFICATION
R/W	RIGHT OF WAY
(C)	CALCULATED
(P)	PER PLAT
S.F.	SQUARE FEET
PSM	PROFESSIONAL SURVEYOR & MAPPER
LB	LICENSED BUSINESS

SURVEYOR'S CERTIFICATION

I, THE UNDERSIGNED, A FLORIDA LICENSED SURVEYOR AND MAPPING ENGINEER, CERTIFY THAT I HAVE COMPLETED THIS SURVEY IN ACCORDANCE WITH THE STANDARDS OF PRACTICE FOR PROFESSIONAL SURVEYORS AND MAPPERS.

DATE: 08/23/2022
 PROFESSIONAL SURVEYOR AND MAPPER NUMBER 8810

BOUNDARY SURVEY

OF
 510 THIRD AVENUE
 A PORTION OF LOT 7 - BLOCK 11
 RESUBDIVISION OF WILCOX PLAT OF MELBOURNE BEACH
 CITY OF MELBOURNE BEACH, BREVARD COUNTY, FLORIDA

FOR

LEADING EDGE LAND SERVICES

INCORPORATED
 8802 EXCHANGE DRIVE
 ORLANDO, FLORIDA 32809
 PHONE: (407) 351-6730
 FAX: (407) 351-9694
 WEBSITE: www.leadingedge.com

FLORIDA LICENSED BUSINESS NUMBER LB 8846

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

REVISIONS:

DATE OF DRAWING	BY	REVISION
23 AUG 2022	JDD	ISSUE FOR PERMIT
17 AUG 2022	JDD	FINAL

DATE OF DRAWING: 23 AUG 2022
 DRAWN BY: JDD
 PROJECT NUMBER: LE 1648
 FIELD BOOK NUMBER: LE 1648
 SCALE: 1"=20'
 SHEET 1 OF 1

BUILDING PLOT PLAN

SOUTH 120 FEET - LOT 7, BLOCK 11 RESUBDIVISION OF WILCOX PLAT OF MELBOURNE BEACH P.B. 10, PG. 51

LEGAL DESCRIPTION PER O.R. 8458, PG. 619

THE SOUTH 120 FEET OF LOT 7, BLOCK 11, RESUBDIVISION OF BLOCKS 11, 20, 21, 30 AND 31 OF WILCOX PLAT OF MELBOURNE BEACH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10, PAGE 51, OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.

LESS AND EXCEPT

THE EAST 100 FEET OF THE SOUTH 120 FEET OF LOT 7, BLOCK 11, RESUBDIVISION OF BLOCKS 11, 20, 21, 30 AND 31 OF WILCOX PLAT OF MELBOURNE BEACH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10, PAGE 51, OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.

THE SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

SURVEYOR'S NOTES

1. THIS BUILDING PLOT PLAN WAS PREPARED FOR RYAN RUNTE. ADDITIONS OR DELETIONS BY ANYONE OTHER THAN THE SIGNING PARTY ARE PROHIBITED WITHOUT THE WRITTEN CONSENT OF LEADING EDGE LAND SERVICES, INC.

2. THE BASIS OF BEARINGS FOR THIS SURVEY IS GRID NORTH, STATE PLANE COORDINATE SYSTEM, FLORIDA EAST, NAD 83, NGS ADJUSTMENT OF 2011. THE NORTH RIGHT-OF-WAY LINE OF THIRD AVENUE BEARS S89°44'59"W.

3. UNLESS OTHERWISE NOTED, SURVEY MEASUREMENTS AND PLOTTED FEATURES SHOWN ON THIS SURVEY ARE BASED ON ACTUAL FIELD MEASUREMENTS.

4. THE ACCURACY OF THIS SURVEY MEETS OR EXCEEDS STANDARDS SET FORTH IN ADMINISTRATIVE RULE 5J-17 "STANDARDS OF PRACTICE FOR SURVEYORS AND MAPPERS."

6. ONLY VISIBLE IMPROVEMENTS THAT EXISTED AS OF THE DATE OF THIS SURVEY WERE LOCATED AND ARE SHOWN ON THIS SURVEY.

8. A REVIEW OF FLOOD INSURANCE RATE MAPS FOR BREVARD COUNTY, FLORIDA, INDICATES THAT A PORTION OF THIS PROPERTY LIES WITHIN ZONE AE (SPECIAL FLOOD HAZARD AREAS SUBJECT TO 1% ANNUAL CHANCE FLOOD) WITH A BASE FLOOD ELEVATION OF 6.00 FEET AND THAT THE REMAINDER OF THIS PROPERTY LIES WITHIN ZONE X (AREA OF MINIMAL FLOODING). THIS INFORMATION WAS TAKEN FROM MAP NUMBER 12009C0604H, REVISED AUGUST 24, 2017. THE LIMITS OF THE FLOOD ZONE SHOWN ON THIS SURVEY ARE BASED ON DIGITAL DATA AVAILABLE FROM STATEWIDE GIS DATABASE.

9. THE VERTICAL DATUM FOR THIS SURVEY IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). THE BENCHMARK THIS SURVEY IS BASED ON IS DESCRIBED AS FOLLOWS: BEACHSIDE VERTICAL CONTROL BC PID 422-35, 2.5" BRASS BCS&M BENCHMARK DISK IN CONCRETE CURB INLET, PUBLISHED ELEVATION = 9.899 FEET, SITE BENCHMARKS ARE SHOWN AND DESCRIBED GRAPHICALLY ON THE SURVEY.

LEGEND

- ⊙ FOUND IRON PIPE
- FOUND IRON ROD & CAP
- SET 5/8" IRON ROD & CAP "LB 6846"
- ⊕ WOOD POWER POLE
- ⌵ GUY ANCHOR
- CATCH BASIN
- P.B. PLAT BOOK
- O.R. OFFICIAL RECORD BOOK
- PG. PAGE
- (P) PER PLAT
- PSM PROFESSIONAL SURVEYOR & MAPPER
- LB LICENSED BUSINESS
- F.F.E. FINISH FLOOR ELEVATION
- X- FENCE LINE
- OHU — OVERHEAD UTILITY LINE



CERTIFIED TO:
510 3RD AVENUE LLC
RYAN RUNTE

LOT 1
BLOCK 11
RESUBDIVISION OF
WILCOX PLAT OF
MELBOURNE BEACH
P.B. 10, PG. 51

LOT 2
BLOCK 11
RESUBDIVISION OF
WILCOX PLAT OF
MELBOURNE BEACH
P.B. 10, PG. 51

LANDS OF
ROBERT V. BELFATTO
DIANA C. BELFATTO
O.R. 7625, PG. 68

FENCE IS
0.5' NORTH OF
PROPERTY
CORNER

NORTH 30 FEET - LOT 7
BLOCK 11
RESUBDIVISION OF
WILCOX PLAT OF
MELBOURNE BEACH
P.B. 10, PG. 51

WOODEN
DOCK

FOUND 5/8"
IRON ROD
NO ID

6' WIRE FENCE

6' WIRE FENCE

15' B.S.

15' B.S.

15' B.S.

N89°55'44"E 220.30'

20.00'

EAST 100 FEET OF
SOUTH 120 FEET
LOT 7
BLOCK 11
RESUBDIVISION OF
WILCOX PLAT OF
MELBOURNE BEACH
P.B. 10, PG. 51

PROPOSED
TWO CAR
GARAGE
F.F.E.:
8.50

PROPOSED
POOL AREA

BUILDING
PLOT PLAN

PROPOSED
F.F.E.:
8.50

510 THIRD
AVE.

PROPOSED
DRIVE

LANDS OF
JERRY S.
PEZZEMINTI
O.R. 9372, PG. 311

SOUTH 120 FEET -
LOT 7
BLOCK 11
RESUBDIVISION OF
WILCOX PLAT OF
MELBOURNE BEACH
P.B. 10, PG. 51

FOUND 1/2" IRON
ROD & CAP
"LB 3608"

LANDS OF
510 3RD AVENUE LLC
O.R. 9606, PG. 564

S89°44'59"W 155.38'

S89°44'59"W 292.99' (P)
(BASIS OF BEARINGS)

FOUND 1 1/2"
IRON PIPE
NO ID

EDGE OF PAVEMENT

FLOOD
ZONE
X 0.2%

THIRD AVENUE

50' RIGHT OF WAY
PER P.B. 10, PG. 51

SITE BENCHMARK #2
NAIL AND DISK
"LB 6846" EL=5.05

EDGE OF PAVEMENT

INDIAN
RIVER

EDGE OF WATER
(AS OF
1-16-23)

FLOOD ZONE X
LIMITS OF FLOOD
LIMITS OF FLOOD
ZONE AE
MEANDER LINE ONLY
(SURVEY LINE ONLY)
NOT A BOUNDARY
N28°28'54"W 137.22'
25' B.S.

FOUND 1/2" IRON
ROD & CAP
"LB 3608 WITNESS"
0.17' NORTH

LIMITS OF
FLOOD ZONE AE
(BASE FLOOD EL=6.0')

LEGEND

- SS — SANITARY LINE
- ST — STORM LINE
- B.S. BUILDING SETBACK
- ⊙ SANITARY SEWER MANHOLE

BUILDING PLOT PLAN
FOR
RYAN RUNTE

RYAN RUNTE

SURVEYOR'S CERTIFICATION

I, THE UNDERSIGNED FLORIDA LICENSED SURVEYOR AND MAPPER, DO HEREBY CERTIFY THAT I HAVE COMPLETED THIS SKETCH IN ACCORDANCE WITH FLORIDA ADMINISTRATIVE RULE 5J-17 STANDARDS OF PRACTICE FOR PROFESSIONAL SURVEYORS AND MAPPERS.

JEFFREY FORNIS
PROFESSIONAL SURVEYOR AND MAPPER NUMBER 6610

LEADING EDGE
LAND SERVICES
INCORPORATED
8802 EXCHANGE DRIVE
ORLANDO, FLORIDA 32809
PHONE: (407) 351-6730
FAX: (407) 351-9691
WEB: www.leadingedgegis.com

FLORIDA LICENSED BUSINESS NUMBER LB 6846

A72

BUILDING PLOT PLAN

SOUTH 120 FEET - LOT 7, BLOCK 11
RESUBDIVISION OF WILCOX PLAT OF
MELBOURNE BEACH P.B. 10, PG. 51

LEGAL DESCRIPTION

PER O.R. 8458, PG. 619

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LESS AND EXCEPT

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LEGEND

- ⊙ FOUND IRON PIPE
- FOUND IRON ROD & CAP
- ⊙ SET 5/8" IRON ROD & CAP "LB 6846"
- ⊙ WOOD POWER POLE
- ⊙ GUY ANCHOR
- CATCH BASIN
- P.B. PLAT BOOK
- O.R. OFFICIAL RECORD BOOK
- PG. PAGE
- (P) PER PLAT
- PSM PROFESSIONAL SURVEYOR & MAPPER
- LB LICENSED BUSINESS
- F.F.E. FINISH FLOOR ELEVATION
- X- FENCE LINE
- OHU — OVERHEAD UTILITY LINE



CERTIFIED TO:
510 3RD AVENUE LLC
RYAN RUNTE

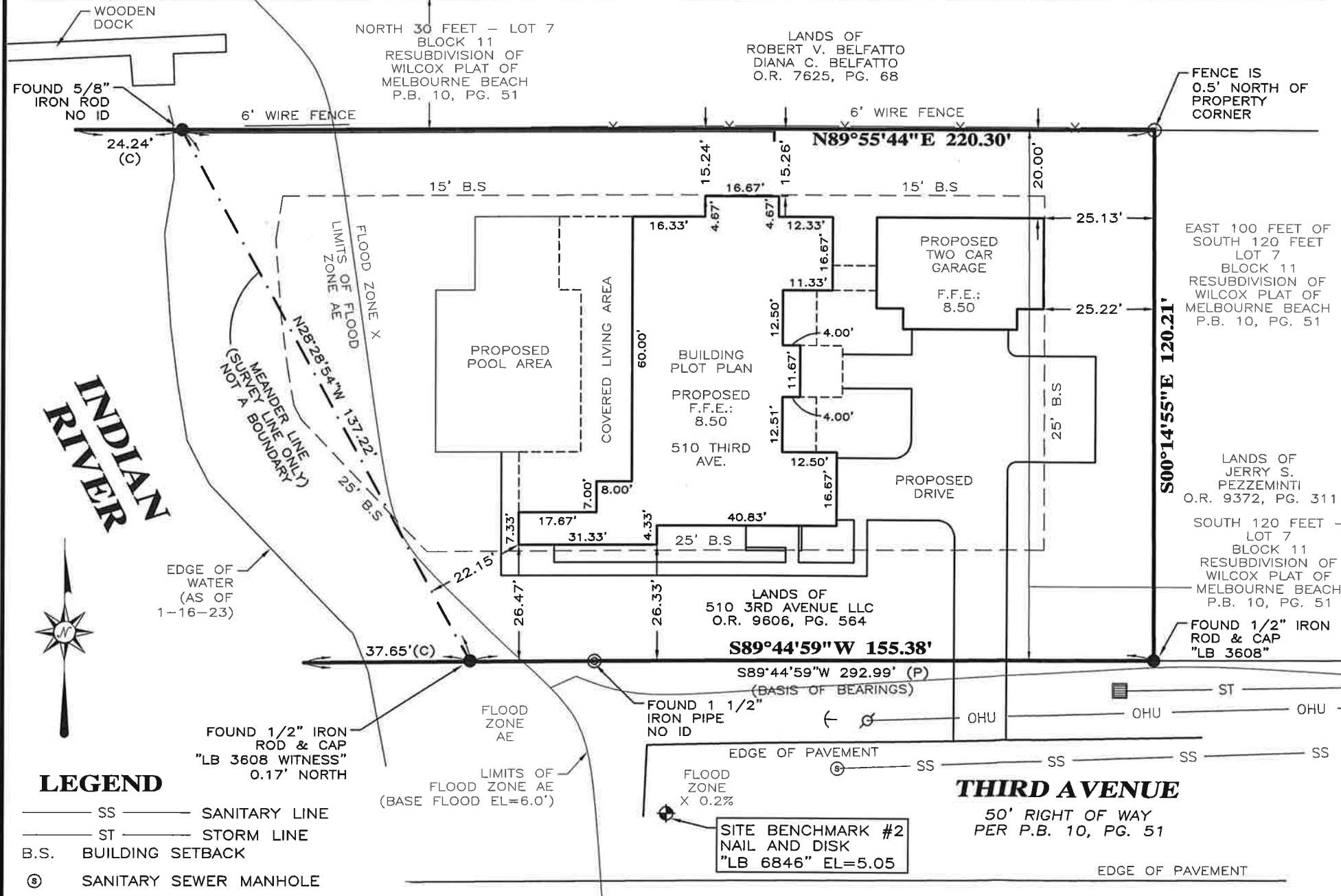
LOT 1
BLOCK 11
RESUBDIVISION OF
WILCOX PLAT OF
MELBOURNE BEACH
P.B. 10, PG. 51

LOT 2
BLOCK 11
RESUBDIVISION OF
WILCOX PLAT OF
MELBOURNE BEACH
P.B. 10, PG. 51

LANDS OF
ROBERT V. BELFATTO
DIANA C. BELFATTO
O.R. 7625, PG. 68

FENCE IS
0.5' NORTH OF
PROPERTY
CORNER

NORTH 30 FEET - LOT 7
BLOCK 11
RESUBDIVISION OF
WILCOX PLAT OF
MELBOURNE BEACH
P.B. 10, PG. 51



- LEGEND**
- SS SANITARY LINE
 - ST STORM LINE
 - B.S. BUILDING SETBACK
 - ⊙ SANITARY SEWER MANHOLE

BUILDING PLOT PLAN FOR RYAN RUNTE

SURVEYOR'S CERTIFICATION
I, THE UNDERSIGNED FLORIDA LICENSED SURVEYOR AND MAPPER, DO HEREBY CERTIFY THAT I HAVE COMPLETED THIS SKETCH IN ACCORDANCE WITH FLORIDA ADMINISTRATIVE RULE 5J-17 STANDARDS OF PRACTICE FOR PROFESSIONAL SURVEYORS AND MAPPERS.

JEFFREY HOFIUS
PROFESSIONAL SURVEYOR AND MAPPER NUMBER 6610
d/10/5/2023

LEADING EDGE LAND SERVICES INCORPORATED
8802 EXCHANGE DRIVE
ORLANDO, FLORIDA 32809
PHONE: (407) 351-6730
FAX: (407) 351-9691
WEB: www.leadingedgegis.com
FLORIDA LICENSED BUSINESS NUMBER LB 6846

DATE OF DRAWING: 5 JUN 2023
MANAGER: JH
CADD: TQ
PROJECT NUMBER: 761-21013
FIELD BOOK NUMBER: 1648,1689
LAST FIELD WORK: 19 JAN 2023
CREW CHIEF(S): SC
COMPUTER FILE: 761013PP.DWG
SCALE: 1" = 30'
SHEET 1 OF 1



TOWN BOARD VOLUNTEER APPLICATION

Town of Melbourne Beach

507 Ocean Avenue

Melbourne Beach, Florida 32951

Phone: (321) 724-5860 Fax: (321) 984-8994

1. Name: Charles Cain Home Phone: 3219842221
2. Home Address: 309 Surf Rd
3. Mobile Phone: 3216982480 E-mail address: ccain2@cfl.rr.com
4. Business Name: _____ Business Phone: _____
5. Resume or Education & Experience: currently BOA member; BSEE; 32 yrs FPL
(Use additional sheets if necessary or submit resume)
6. Date of birth: 02/08/1958 (to verify voter registration)
(optional)
7. Are you a qualified elector of the town? YES NO
8. Are you a resident of the town? YES NO
9. Do you reside in the town for at least ten (10) months of each calendar year? YES NO
10. Do you hold a public office? YES NO
11. Do you currently serve on a Town board? YES NO
If yes, which board? BOA
12. Please check the board(s) you are interested in serving on:

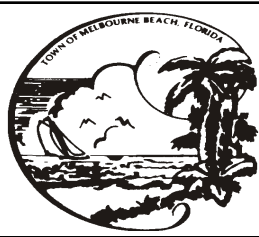
<input type="checkbox"/> Audit Committee	<input type="checkbox"/> History Center Board
<input checked="" type="checkbox"/> Board of Adjustment	<input type="checkbox"/> History Preservation and Awareness
<input type="checkbox"/> Civil Service Board	<input type="checkbox"/> Parks Board
<input type="checkbox"/> Code Enforcement Board	<input type="checkbox"/> Planning and Zoning Board
<input type="checkbox"/> Environmental Advisory Board	<input type="checkbox"/> Police Pension Fund Board of Trustees
13. Why do you think you are qualified to serve on this board? _____
currently BOA member; BSEE; 32 yrs FPL
14. Would you consider serving on another board other than the one(s) you have selected above?
 YES NO

Note: Persons appointed to certain town boards must file a financial disclosure form with the Brevard County Supervisor of Elections and Florida Commission on Ethics. If you have any questions, please call the Town Clerk's office at 724-5860.

Signature: _____

Date: _____

7/3/23



TOWN BOARD VOLUNTEER APPLICATION
Town of Melbourne Beach
507 Ocean Avenue
Melbourne Beach, Florida 32951
Phone: (321) 724-5860 Fax: (321) 984-8994

1. Name: _____ Home Phone: _____
2. Home Address: _____
3. Mobile Phone: _____ E-mail address: _____
4. Business Name: _____ Business Phone: _____
5. Resume or Education & Experience: _____
 (Use additional sheets if necessary or submit resume)
6. Date of birth: _____ (to verify voter registration)
 (optional)
7. Are you a qualified elector of the town? YES NO
8. Are you a resident of the town? YES NO
9. Do you reside in the town for at least ten (10) months of each calendar year? YES NO
10. Do you hold a public office? YES NO
11. Do you currently serve on a Town board? YES NO
 If yes, which board? _____
12. Please check the board(s) you are interested in serving on:

<input type="checkbox"/> Audit Committee	<input type="checkbox"/> History Center Board
<input type="checkbox"/> Board of Adjustment	<input type="checkbox"/> History Preservation and Awareness
<input type="checkbox"/> Civil Service Board	<input type="checkbox"/> Parks Board
<input type="checkbox"/> Code Enforcement Board	<input type="checkbox"/> Planning and Zoning Board
<input type="checkbox"/> Environmental Advisory Board	<input type="checkbox"/> Police Pension Fund Board of Trustees
13. Why do you think you are qualified to serve on this board? _____

14. Would you consider serving on another board other than the one(s) you have selected above?
 YES NO

Note: Persons appointed to certain town boards must file a financial disclosure form with the Brevard County Supervisor of Elections and Florida Commission on Ethics. If you have any questions, please call the Town Clerk's office at 724-5860.

Signature: Daniel H Hansen Date: 6-30-2023_____

Town Commission Meeting

Section: Presentation
Meeting Date: July 19, 2023
From: Amber Brown, Town Clerk
RE: Citizen of the Year

Background Information:

Presentation of Citizen of the Year

Recommendation:

Attachments:



Memo

To: Mayor, Vice Mayor and Commissioners
From: Jennifer Kerr, Finance Manager
Date: July 13, 2023
Re: June Fiscal Year 2023

We are in the ninth month of our fiscal year 2023. The target expenditure rate for June is 75.00%. All departments are managing their expenditures well at this time. All budget items highlighted in green are over the target rate but within the anticipated spending of that budget line. Items highlighted in yellow are being monitored, and items highlighted in red are over expended. Some budget lines are fully expended early in the budget year while other lines like salaries and health insurance are paid on a monthly basis. The total General Fund expenditure rate, year to date is 75.75%. The Departmental expenditure rate breakdown is as follows:

Legislative:	51.15%
Executive:	64.71%
Finance:	82.35%
Legal:	65.55%
Comp & Plan:	43.44%
General Services:	76.77%
Law Enforcement:	71.02%
Fire:	47.94%
Code:	53.26%
Public Works:	75.13%
Grounds Keeping:	85.97%
Parks:	96.69%

Discussion Items:

The Town received Parking Revenue for June FY2023 in the amount of \$17,853.10. Parking revenue for June FY2022 was \$17,717.47. A Fiscal Year (FY) comparison is attached.

We are currently in FY24 budget preparations.

BALANCE AS OF 06/30/2023

Fund: 001 GENERAL FUND

Account Category: Revenues	Description	ORIGINAL BUDGET	Encumbrance	Available	% Used
001-00-311.00.00	AD VALOREM TAXES	2,418,002.00	0.00	2,352.20	99.90
001-00-312.41.00	LOCAL OPTION COUNTY GAS TAX	93,000.00	0.00	705.02	99.24
001-00-314.10.00	UTILITY SERVICES TAX FPL	248,000.00	0.00	62,645.29	74.74
001-00-314.30.00	UTILITY SERVICES TAX WATER	52,500.00	0.00	16,251.68	69.04
001-00-314.40.00	UTILITY SERVICES TAX GAS	0.00	0.00	(52.63)	100.00
001-00-314.40.10	UTILTIY GAS TAX AMERIGAS	7,700.00	0.00	1,818.49	76.38
001-00-314.40.20	UTILITY GAS TAX SUBURBAN	1,000.00	0.00	(33.21)	103.32
001-00-314.40.30	UTILTIY GAS TAX FERRELL	2,800.00	0.00	982.81	64.90
001-00-314.40.40	UTILITY GAS TAX SAM'S GAS	0.00	0.00	(80.02)	100.00
001-00-315.00.00	COMMUNICATIONS SERVICE TAX	137,000.00	0.00	53,844.83	60.70
001-00-316.00.00	OCCP. LIC	16,000.00	0.00	1,218.12	92.39
001-00-323.10.00	FRANCHISE FEES FPL	190,000.00	0.00	68,185.73	64.11
001-00-323.70.00	FRANCHISE FEES SOLID WASTE	40,000.00	0.00	5,224.57	86.94
001-00-323.70.10	SOLID WASTE COMMERCIAL	13,500.00	0.00	2,106.73	84.39
001-00-329.20.00	BONFIRE PERMIT	900.00	0.00	900.00	0.00
001-00-329.50.00	LOW SPEED VEHICLE REGISTRATION	0.00	0.00	(900.00)	100.00
001-00-329.50.10	LOW SPEED VEHICLE PERMIT FEE	0.00	0.00	(600.00)	100.00
001-00-334.40.00	FMIT SAFETY GRANT	7,500.00	0.00	7,500.00	0.00
001-00-335.12.00	STATE REVENUE SHARING PROCEEDS	87,000.00	0.00	14,765.46	83.03
001-00-335.15.00	ALCOHOLIC BEVERAGE LICENSES	4,600.00	0.00	186.30	95.95
001-00-335.18.00	HALF CENT SALES TAX LOCAL GOV	192,000.00	0.00	49,701.37	74.11
001-00-342.20.00	SAFETY INSPECT FEE VAC RENTAL	800.00	0.00	(165.00)	120.63
001-00-342.20.10	SAFETY RENEWAL-VAC RENTALS	800.00	0.00	(400.00)	150.00
001-00-345.10.00	VAC RENTAL APP FEE-INITIAL	5,000.00	0.00	2,000.00	60.00
001-00-345.10.10	VAC RENEWAL FEE - RENTALS	2,500.00	0.00	(650.00)	126.00
001-00-361.10.00	INTEREST ON INVESTMENTS	4,000.00	0.00	(12,857.05)	421.43
001-00-369.00.00	MISCELLANEOUS REVENUE	2,500.00	0.00	(727.98)	129.12
001-00-369.00.49	INSURANCE RECOVERY	350.00	0.00	350.00	0.00
					92.22

Department: 13 FINANCE

	Description	ORIGINAL BUDGET	Encumbrance	Available	% Used
001-13-369.00.00	MISCELLANEOUS REVENUE	0.00	0.00	(35.00)	100.00
					100.00

Department: 21 LAW ENFORCEMENT

001-21-312.52.00	INSURANCE PREMIUM TAX	45,500.00	0.00	45,500.00	0.00
001-21-337.20.00	SCHOOL RESOURCE OFFICER	65,000.00	0.00	16,250.00	75.00
001-21-337.25.01	STATE LE COMPUTER GRANT	1,000.00	0.00	1,000.00	0.00
001-21-347.90.01	SPECIAL EVENTS	1,000.00	0.00	1,000.00	0.00
001-21-351.00.00	FINES - LAW ENFORCEMENT	7,500.00	0.00	3,051.26	59.32
001-21-351.13.00	PARKING TICKETS	600.00	0.00	173.00	71.17
001-21-351.13.10	ACCIDENT REPORT	100.00	0.00	(128.33)	228.33
001-21-369.00.00	MISCELLANEOUS REVENUE	0.00	0.00	(64.00)	100.00
					44.67

Department: 22 FIRE CONTROL

001-22-322.30.00	FIRE PROTECTIVE SERVICES	5,000.00	0.00	3,205.00	35.90
001-22-369.00.00	MISCELLANEOUS REVENUE	500.00	0.00	500.00	0.00
001-22-369.55.10	SHARED TRAINING	1,000.00	0.00	1,000.00	0.00
					27.62

	Description	ORIGINAL BUDGET	Encumbrance	Available	% Used
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Department: 29 CODE ENFORCEMENT

001-29-359.00.00	OTHER FINES AND FORFEITURES	800.00	0.00	(19,206.25)	2,500.78
					2,500.78

	Description	ORIGINAL BUDGET	Encumbrance	Available	% Used
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Department: 72 PARKS & RECREATION

001-72-347.41.00	FOUNDER'S DAY	6,500.00	0.00	(705.00)	110.85
001-72-347.50.00	FACILITY RENTALS	8,000.00	0.00	2,245.00	71.94
					89.38

Overall Revenue Rate:

91.06

Account Category: Expenditures	Description	ORIGINAL BUDGET	Encumbrance	Available	% Used
Department: 00					
001-00-581.00.00	TRANSFER OUT	0.00	0.00	(225,921.00)	100.00
					100.00

Description	ORIGINAL BUDGET	Encumbrance	Available	% Used	
Department: 11 LEGISLATIVE					
001-11-500.11.00	EXECUTIVE SALARIES	16,200.00	0.00	4,050.09	75.00
001-11-500.12.00	REGULAR SALARIES	56,710.00	0.00	16,358.72	71.15
001-11-500.21.00	FICA TAXES - EMPLOYER PORTION	4,338.00	0.00	146.60	96.62
001-11-500.22.20	RETIREMENT TOWN EMPLOYEES	6,754.00	0.00	1,950.65	71.12
001-11-500.23.01	HEALTH INSURANCE	5,940.00	0.00	989.50	83.34
001-11-500.23.02	LIFE INSURANCE	68.00	0.00	11.70	82.79
001-11-500.25.00	UNEMPLOYMENT COMPENSATION	181.00	0.00	125.09	30.89
001-11-510.31.00	PROFESSIONAL SERVICES	2,902.00	0.00	0.00	100.00
001-11-510.40.00	TRAVEL & MEETINGS	3,640.00	0.00	1,407.53	61.33
001-11-510.40.10	TRAVEL & MEETINGS - STAFF	2,788.00	0.00	867.34	68.89
001-11-510.47.00	PRINTING	5,015.00	0.00	3,027.23	39.64
001-11-510.48.00	PROMOTIONAL ACTIVITIES	800.00	0.00	316.02	60.50
001-11-510.48.40	LEGAL NOTICES	10,000.00	0.00	8,431.94	15.68
001-11-510.49.50	ELECTION EXPENSE	2,500.00	0.00	1,909.81	23.61
001-11-510.54.00	DUES & SUBSCRIPTIONS	875.00	0.00	240.00	72.57
001-11-510.54.10	TRAINING & SCHOOLS	4,410.00	0.00	3,910.00	11.34
001-11-510.64.00	MACHINERY & EQUIPMENT	2,000.00	0.00	825.67	58.72
001-11-510.64.01	CAPITAL OUTLAY	50,000.00	0.00	43,812.50	12.38
001-11-543.00.00	LICENSES & FEES	7,421.00	0.00	782.26	89.46
					51.15

Description	ORIGINAL BUDGET	Encumbrance	Available	% Used	
Department: 12 EXECUTIVE					
001-12-500.12.00	REGULAR SALARIES	143,243.00	0.00	48,087.53	66.43
001-12-500.14.00	SALARIES OVERTIME	0.00	0.00	(80.57)	100.00
001-12-500.21.00	FICA TAXES - EMPLOYER PORTION	10,958.00	0.00	2,804.87	74.40
001-12-500.22.01	RETIREMENT - ICMA	17,060.00	0.00	8,054.31	52.79

001-12-500.22.20	RETIREMENT TOWN EMPLOYEES	4,436.00	0.00	2,071.30	53.31
001-12-500.23.01	HEALTH INSURANCE	25,561.00	0.00	10,389.18	59.36
001-12-500.23.02	LIFE INSURANCE	749.00	0.00	164.61	78.02
001-12-500.25.00	UNEMPLOYMENT COMPENSATION	458.00	0.00	320.32	30.06
001-12-510.31.00	PROFESSIONAL SERVICES	0.00	0.00	(853.00)	100.00
001-12-510.40.00	TRAVEL & MEETINGS	1,320.00	0.00	617.75	53.20
001-12-510.52.50	GAS & OIL	2,400.00	0.00	600.00	75.00
001-12-510.54.00	DUES & SUBSCRIPTIONS	3,595.00	0.00	1,651.00	54.08
001-12-510.54.10	TRAINING & SCHOOLS	450.00	0.00	355.00	21.11
					64.71

Description	ORIGINAL BUDGET	Encumbrance	Available	% Used
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Department: 13 FINANCE

001-13-500.12.00	REGULAR SALARIES	109,053.00	0.00	29,665.30	72.80
001-13-500.21.00	FICA TAXES - EMPLOYER PORTION	8,343.00	0.00	2,000.18	76.03
001-13-500.22.20	RETIREMENT TOWN EMPLOYEES	12,988.00	0.00	3,592.37	72.34
001-13-500.23.01	HEALTH INSURANCE	14,824.00	0.00	1,175.22	92.07
001-13-500.23.02	LIFE INSURANCE	136.00	0.00	23.40	82.79
001-13-500.25.00	UNEMPLOYMENT COMPENSATION	349.00	0.00	236.49	32.24
001-13-510.31.00	PROFESSIONAL SERVICES	5,300.00	0.00	0.00	100.00
001-13-510.32.00	AUDITING SERVICES	26,600.00	0.00	(4,100.00)	115.41
001-13-510.32.90	BANKING FEES	6,900.00	0.00	(820.44)	111.89
001-13-510.40.00	TRAVEL & MEETINGS	1,200.00	0.00	214.75	82.10
001-13-510.47.00	PRINTING	180.00	0.00	180.00	0.00
001-13-510.54.00	DUES & SUBSCRIPTIONS	60.00	0.00	60.00	0.00
001-13-510.54.10	TRAINING & SCHOOLS	800.00	0.00	686.00	14.25
001-13-764.10.00	Filing Fee Clerk-Parking Ticke	50.00	0.00	50.00	0.00
					82.35

Description	ORIGINAL BUDGET	Encumbrance	Available	% Used
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Department: 14 LEGAL COUNSEL

001-14-510.31.00	PROFESSIONAL SERVICES	96,000.00	0.00	28,227.50	70.60
001-14-510.31.01	CODE ENFORCEMENT ATTORNEY	10,000.00	0.00	8,285.00	17.15
					65.55

	Description	ORIGINAL BUDGET	Encumbrance	Available	% Used
Department: 15 COMPREHENSIVE PLAN					
001-15-510.31.00	PROFESSIONAL SERVICES	20,000.00	0.00	11,311.15	43.44
					43.44

	Description	ORIGINAL BUDGET	Encumbrance	Available	% Used
Department: 16 FEMA - HURRICANE DA					
001-16-500.14.16	HURRICANE PAY	0.00	0.00	(1,890.00)	100.00
001-16-510.51.00	OFFICE SUPPLIES	0.00	0.00	(542.20)	100.00
001-16-530.46.12	MAINTENANCE SUPPLIES	0.00	0.00	(325.55)	100.00
001-16-530.46.35	PIER MAINTENANCE	0.00	0.00	(7,150.00)	100.00
001-16-530.46.40	GROUNDS MAINTENANCE	0.00	0.00	(2,376.56)	100.00
					100.00

	Description	ORIGINAL BUDGET	Encumbrance	Available	% Used
Department: 19 GENERAL SERVICES					
001-19-500.24.00	WORKERS COMPENSATION	2,618.00	0.00	2,618.00	0.00
001-19-510.31.00	PROFESSIONAL SERVICES	4,020.00	0.00	882.50	78.05
001-19-510.31.11	SECURITY	3,308.00	0.00	3,308.00	0.00
001-19-510.34.10	JANITORIAL SERVICES	17,000.00	0.00	4,410.00	74.06
001-19-510.35.00	PRE-EMPLOYMENT EXP	300.00	0.00	(41.09)	113.70
001-19-510.41.00	TELEPHONE	18,240.00	0.00	180.18	99.01
001-19-510.41.10	COMMUNICATION SERVICES	43,056.00	0.00	10,080.99	76.59
001-19-510.43.00	STREET LIGHTS	47,000.00	0.00	14,019.45	70.17
001-19-510.43.10	ELECTRICITY	38,500.00	0.00	19,028.43	50.58
001-19-510.43.20	WATER & SEWER	3,520.00	0.00	813.32	76.89
001-19-510.43.50	WASTE TAX SERVICE	3,300.00	0.00	1,031.09	68.75
001-19-510.45.00	GENERAL LIABILITY INSURANCE	85,728.00	0.00	(995.00)	101.16
001-19-510.45.01	FLOOD INSURANCE	3,751.00	0.00	(1,422.00)	137.91
001-19-510.45.02	PROPERTY INSURANCE	69,960.00	0.00	6,002.00	91.42
001-19-510.45.03	AUTO INSURANCE	8,172.00	0.00	3.00	99.96
001-19-510.46.10	OFFICE EQUIPMENT MAINTENANCE	4,232.00	0.00	1,877.95	55.63
001-19-510.46.15	EQUIPMENT MAINTENANCE	25,000.00	0.00	6,611.00	73.56
001-19-510.46.36	PEST CONTROL	3,000.00	0.00	757.68	74.74

001-19-510.47.00	PRINTING	500.00	0.00	(50.13)	110.03
001-19-510.49.90	ADOPT AN AREA	1,500.00	0.00	839.21	44.05
001-19-510.49.98	CONTINGENCY	25,000.00	0.00	19,573.00	21.71
001-19-510.49.99	MISCELLANEOUS	300.00	0.00	248.40	17.20
001-19-510.51.00	OFFICE SUPPLIES	11,000.00	0.00	4,975.67	54.77
001-19-510.51.10	POSTAGE	1,400.00	0.00	261.93	81.29
001-19-510.52.10	JANITORIAL SUPPLIES	3,500.00	0.00	(624.23)	117.84
001-19-510.54.00	DUES & SUBSCRIPTIONS	325.00	0.00	(70.03)	121.55
001-19-510.64.01	CAPITAL OUTLAY	39,916.00	0.00	38,884.33	2.58
001-19-543.00.00	LICENSES & FEES	21,286.00	0.00	6,300.97	70.40
001-19-581.00.00	TRANSFER OUT	115,000.00	0.00	0.00	100.00
					76.77

	Description	ORIGINAL BUDGET	Encumbrance	Available	% Used
Department: 21 LAW ENFORCEMENT					
001-21-500.12.00	REGULAR SALARIES	627,879.00	0.00	150,513.42	76.03
001-21-500.12.50	HOLIDAY PAY	20,000.00	0.00	(64.13)	100.32
001-21-500.14.00	SALARIES OVERTIME	15,000.00	0.00	1,097.57	92.68
001-21-500.14.16	HURRICANE PAY	18,000.00	0.00	5,992.94	66.71
001-21-500.15.00	EDUCATION INCENTIVE PAY	6,800.00	0.00	707.50	89.60
001-21-500.15.01	FIRST RESPONDER	8,000.00	0.00	3,450.00	56.88
001-21-500.21.00	FICA TAXES - EMPLOYER PORTION	52,087.00	0.00	12,150.38	76.67
001-21-500.22.02	POLICE PENSION	206,912.00	0.00	36,912.00	82.16
001-21-500.22.20	RETIREMENT TOWN EMPLOYEES	5,217.00	0.00	1,422.27	72.74
001-21-500.23.01	HEALTH INSURANCE	210,119.00	0.00	138,227.79	34.21
001-21-500.23.02	LIFE INSURANCE	2,700.00	0.00	642.66	76.20
001-21-500.23.10	STATUTORY AD&D	1,000.00	0.00	0.00	100.00
001-21-500.24.00	WORKERS COMPENSATION	16,853.00	0.00	0.00	100.00
001-21-500.25.00	UNEMPLOYMENT COMPENSATION	2,179.00	0.00	1,354.16	37.85
001-21-520.31.00	PROFESSIONAL SERVICES	725.00	0.00	15.39	97.88
001-21-520.34.40	DISPATCHING SERVICES	17,785.00	0.00	(533.55)	103.00
001-21-520.40.00	TRAVEL & MEETINGS	3,324.00	0.00	2,285.03	31.26
001-21-520.41.10	COMMUNICATION SERVICES	5,388.00	0.00	3,479.68	35.42
001-21-520.46.10	OFFICE EQUIPMENT MAINTENANCE	5,500.00	0.00	3,325.68	39.53

001-21-520.46.15	EQUIPMENT MAINTENANCE	5,500.00	0.00	670.97	87.80
001-21-520.46.16	RADAR CALIBRATION	700.00	0.00	382.00	45.43
001-21-520.46.20	VEHICLE MAINTENANCE	17,000.00	0.00	(4,359.31)	125.64
001-21-520.48.00	PROMOTIONAL ACTIVITIES	3,000.00	0.00	3,000.00	0.00
001-21-520.48.50	CRIME PREVENTION	2,100.00	0.00	618.74	70.54
001-21-520.49.99	MISCELLANEOUS	100.00	0.00	100.00	0.00
001-21-520.51.10	POSTAGE	150.00	0.00	66.38	55.75
001-21-520.52.00	UNIFORMS	7,000.00	0.00	(1,115.56)	115.94
001-21-520.52.05	PROTECTIVE GEAR	8,328.00	0.00	6,587.04	20.90
001-21-520.52.50	GAS & OIL	40,000.00	0.00	25,554.02	36.11
001-21-520.52.70	MEDICAL	500.00	0.00	(113.47)	122.69
001-21-520.52.90	OPERATING SUPPLIES	4,320.00	0.00	746.08	82.73
001-21-520.54.00	DUES & SUBSCRIPTIONS	935.00	0.00	100.60	89.24
001-21-520.54.10	TRAINING & SCHOOLS	6,400.00	0.00	5,150.00	19.53
001-21-520.64.01	Capital Outlay	18,400.00	0.00	(6,033.70)	132.79
001-21-543.00.00	LICENSES & FEES	13,837.00	0.00	3,823.44	72.37
001-21-581.00.00	TRANSFER OUT	13,479.00	0.00	0.00	100.00
					71.02

Description	ORIGINAL BUDGET	Encumbrance	Available	% Used	
Department: 22 FIRE CONTROL					
001-22-500.12.00	REGULAR SALARIES	88,036.00	0.00	24,539.80	72.13
001-22-500.14.50	STIPEND PAYROLL	38,689.00	0.00	18,524.47	52.12
001-22-500.21.00	FICA TAXES - EMPLOYER PORTION	9,695.00	0.00	2,945.99	69.61
001-22-500.22.01	RETIREMENT - ICMA	7,513.00	0.00	1,953.81	73.99
001-22-500.22.20	RETIREMENT TOWN EMPLOYEES	2,973.00	0.00	1,035.96	65.15
001-22-500.23.01	HEALTH INSURANCE	25,626.00	0.00	6,516.91	74.57
001-22-500.23.02	LIFE INSURANCE	136.00	0.00	29.03	78.65
001-22-500.23.10	STATUTORY AD&D	207.00	0.00	(415.00)	300.48
001-22-500.24.00	WORKERS COMPENSATION	16,750.00	0.00	0.00	100.00
001-22-500.25.00	UNEMPLOYMENT COMPENSATION	282.00	0.00	185.53	34.21
001-22-520.34.40	DISPATCHING SERVICES	5,400.00	0.00	1,500.00	72.22
001-22-520.35.00	PRE-EMPLOYMENT EXPENSE	2,060.00	0.00	1,623.00	21.21
001-22-520.36.00	ANNUAL PHYSICALS	4,375.00	0.00	2,475.00	43.43

001-22-520.40.00	TRAVEL & MEETINGS	750.00	0.00	597.00	20.40
001-22-520.41.10	COMMUNICATION SERVICES	1,644.00	0.00	225.84	86.26
001-22-520.46.15	EQUIPMENT MAINTENANCE	9,152.00	0.00	1,632.61	82.16
001-22-520.46.20	VEHICLE MAINTENANCE	26,100.00	5,770.34	10,049.33	39.39
001-22-520.46.30	BUILDING MAINTENANCE	1,000.00	0.00	719.76	28.02
001-22-520.48.55	FIRE PREVENTION	4,600.00	0.00	1,950.00	57.61
001-22-520.51.00	OFFICE SUPPLIES	400.00	0.00	46.18	88.46
001-22-520.52.00	UNIFORMS	7,135.00	0.00	6,545.10	8.27
001-22-520.52.02	S.C.B.A.	1,975.00	0.00	435.14	77.97
001-22-520.52.05	PROTECTIVE GEAR	2,925.00	0.00	2,415.19	17.43
001-22-520.52.10	JANITORIAL SUPPLIES	1,000.00	0.00	133.31	86.67
001-22-520.52.20	TOOLS & HARDWARE	2,000.00	0.00	1,533.91	23.30
001-22-520.52.50	GAS & OIL	6,600.00	0.00	3,587.77	45.64
001-22-520.52.70	MEDICAL	1,400.00	0.00	403.60	71.17
001-22-520.54.00	DUES & SUBSCRIPTIONS	435.00	0.00	(11.00)	102.53
001-22-520.54.10	TRAINING & SCHOOLS	7,525.00	0.00	6,253.00	16.90
001-22-520.54.12	TRAINING MATERIALS	1,960.00	0.00	1,393.64	28.90
001-22-520.64.01	Capital Outlay	82,369.00	30,000.00	82,369.00	0.00
001-22-543.00.00	LICENSES & FEES	13,304.00	0.00	1,309.06	90.16
001-22-581.00.00	TRANSFER OUT	15,277.00	0.00	0.00	100.00
					47.94

	Description	ORIGINAL BUDGET	Encumbrance	Available	% Used
Department: 29 CODE ENFORCEMENT					
001-29-500.12.00	REGULAR SALARIES	14,898.00	0.00	6,971.63	53.20
001-29-500.21.00	FICA TAXES - EMPLOYER PORTION	1,140.00	0.00	496.08	56.48
001-29-500.22.20	RETIREMENT TOWN EMPLOYEES	1,774.00	0.00	1,345.04	24.18
001-29-500.23.10	STATUTORY AD&D	21.00	0.00	0.00	100.00
001-29-500.24.00	WORKERS COMPENSATION	230.00	0.00	127.00	44.78
001-29-500.25.00	UNEMPLOYMENT COMPENSATION	48.00	0.00	36.98	22.96
001-29-520.31.00	PROFESSIONAL SERVICES	0.00	0.00	(1,000.00)	100.00
001-29-520.40.00	TRAVEL & MEETINGS	35.00	0.00	35.00	0.00
001-29-520.46.12	MAINTENANCE SUPPLIES	50.00	0.00	50.00	0.00
001-29-520.46.20	VEHICLE MAINTENANCE	150.00	0.00	150.00	0.00

001-29-520.51.00	OFFICE SUPPLIES	125.00	0.00	86.35	30.92
001-29-520.51.10	POSTAGE	350.00	0.00	247.64	29.25
001-29-520.51.20	RECORDING COSTS	120.00	0.00	120.00	0.00
001-29-520.52.00	UNIFORMS	150.00	0.00	137.32	8.45
001-29-520.52.50	GAS & OIL	150.00	0.00	150.00	0.00
001-29-520.54.10	TRAINING & SCHOOLS	75.00	0.00	75.00	0.00
				53.26	

Description		ORIGINAL BUDGET	Encumbrance	Available	% Used
Department: 41 PUBLIC WORKS					
001-41-500.12.00	REGULAR SALARIES	207,196.00	0.00	65,610.67	68.33
001-41-500.14.00	SALARIES OVERTIME	0.00	0.00	(3,006.46)	100.00
001-41-500.21.00	FICA TAXES - EMPLOYER PORTION	15,850.00	0.00	3,960.35	75.01
001-41-500.22.20	RETIREMENT TOWN EMPLOYEES	24,677.00	0.00	7,438.22	69.86
001-41-500.23.01	HEALTH INSURANCE	31,953.00	0.00	8,467.68	73.50
001-41-500.23.02	LIFE INSURANCE	236.00	0.00	3.79	98.39
001-41-500.23.10	STATUTORY AD&D	83.00	0.00	0.00	100.00
001-41-500.24.00	WORKERS COMPENSATION	2,618.00	0.00	2,618.00	0.00
001-41-500.25.00	UNEMPLOYMENT COMPENSATION	663.00	0.00	454.41	31.46
001-41-530.40.00	TRAVEL & MEETINGS	150.00	0.00	150.00	0.00
001-41-530.43.15	ELECTRIC	5,000.00	0.00	(1,382.15)	127.64
001-41-530.43.50	DUMP SERVICE	2,000.00	0.00	2,000.00	0.00
001-41-530.46.12	MAINTENANCE SUPPLIES	6,500.00	0.00	2,473.25	61.95
001-41-530.46.15	EQUIPMENT MAINTENANCE	5,000.00	0.00	(9.67)	100.19
001-41-530.46.20	VEHICLE MAINTENANCE	9,500.00	0.00	3,035.49	68.05
001-41-530.46.30	BUILDING MAINTENANCE	8,500.00	0.00	3,091.31	63.63
001-41-530.46.31	MAINTENANCE OLD TOWN HALL	600.00	0.00	250.00	58.33
001-41-530.46.32	RYCKMAN HOUSE	700.00	0.00	(430.02)	161.43
001-41-530.46.35	PIER MAINTENANCE	1,500.00	0.00	(3,973.30)	364.89
001-41-530.46.40	GROUNDS MAINTENANCE	7,000.00	0.00	(1,018.85)	114.56
001-41-530.52.00	UNIFORMS	3,125.00	0.00	813.69	73.96
001-41-530.52.05	PROTECTIVE GEAR	1,000.00	0.00	(613.79)	161.38
001-41-530.52.20	TOOLS & HARDWARE	4,750.00	0.00	(576.35)	112.13
001-41-530.52.25	TOOL RENTALS	3,500.00	0.00	3,147.24	10.08

001-41-530.52.50	GAS & OIL	5,800.00	0.00	1,668.86	71.23
001-41-530.53.10	STREET REPAIR	7,500.00	0.00	414.47	94.47
001-41-530.53.20	STREET SIGNS	8,500.00	0.00	1,835.34	78.41
001-41-530.54.10	TRAINING & SCHOOLS	1,500.00	0.00	962.20	35.85
001-41-530.57.25	WELDING	500.00	0.00	321.54	35.69
001-41-530.64.01	CAPITAL OUTLAY	10,000.00	0.00	0.00	100.00
001-41-581.00.00	TRANSFER OUT	16,927.00	0.00	0.00	100.00

75.13

Description	ORIGINAL BUDGET	Encumbrance	Available	% Used
Department: 42 GROUNDS KEEPING				
001-42-500.14.00	SALARIES OVERTIME	0.00	0.00	(408.53) 100.00
001-42-530.34.91	LANDSCAPING	22,300.00	0.00	14,497.58 34.99
001-42-530.46.12	MAINTENANCE SUPPLIES	1,000.00	0.00	846.30 15.37
001-42-530.46.15	EQUIPMENT MAINTENANCE	2,500.00	0.00	2,111.47 15.54
001-42-530.46.40	GROUNDS MAINTENANCE	25,910.00	0.00	15,164.31 41.47
001-42-530.46.43	TREE EXPENSE	2,000.00	0.00	(1,975.00) 198.75
001-42-530.52.00	UNIFORMS	3,125.00	0.00	3,031.60 2.99
001-42-530.52.05	PROTECTIVE GEAR	575.00	0.00	398.54 30.69
001-42-530.52.20	TOOLS & HARDWARE	500.00	0.00	(477.85) 195.57
001-42-530.54.10	TRAINING & SCHOOLS	300.00	0.00	300.00 0.00
001-42-530.64.01	CAPITAL OUTLAY	0.00	0.00	(25,319.18) 100.00
		58,210.00	0.00	8,169.24 85.97

Description	ORIGINAL BUDGET	Encumbrance	Available	% Used
Department: 72 PARKS & RECREATION				
001-72-570.48.10	FOUNDER'S DAY	7,000.00	0.00	(1,268.54) 118.12
001-72-570.48.50	MOVIES IN THE PARK	1,800.00	0.00	390.00 78.33
001-72-570.48.52	FOURTH OF JULY	500.00	0.00	0.00 100.00
001-72-570.48.53	CHRISTMAS DECORATIONS PARK	3,000.00	0.00	(1,898.02) 163.27
001-72-570.48.60	EASTER EGG HUNT	200.00	0.00	200.00 0.00
001-72-570.48.90	RECREATION PROGRAMS	5,000.00	0.00	4,380.02 12.40
001-72-570.63.01	TENNIS COURT EXPEDITURES	500.00	0.00	(223.97) 144.79
001-72-570.63.02	BBALL & VBALL COURTS	500.00	0.00	(175.79) 135.16

001-72-570.63.05	BOCCE COURT EXPENDITURES	500.00	0.00	370.72	25.86
001-72-570.63.06	PLAYGROUND	0.00	0.00	(593.89)	100.00
001-72-570.64.01	CAPITAL OUTLAY	32,600.00	0.00	525.00	98.39
					96.69

Overall Expenditure Rate:

75.75

Fund: 104 ENVIRONMENTAL ADVISORY E

Account Category: Revenues	Description	ORIGINAL BUDGET	Encumbrance	Available	% Used
104-00-271.00.99	CARRY FORWARD	4,904.00	0.00	4,904.00	0.00
104-00-337.90.01	OTHER GRANTS	568.00	0.00	568.00	0.00
104-00-366.47.00	DONATIONS	5,000.00	0.00	0.00	100.00
104-00-381.00.00	TRANSFERS IN	5,374.00	0.00	0.00	100.00
		15,846.00	0.00	5,472.00	65.47

Account Category: Expenditures	Description	ORIGINAL BUDGET	Encumbrance	Available	% Used
Department: 72 PARKS & RECREATION					
104-72-570.31.00	PROFESSIONAL SERVICES	2,000.00	0.00	2,000.00	0.00
104-72-570.40.00	TRAVEL & MEETINGS	0.00	0.00	(122.92)	100.00
104-72-570.46.12	MAINTENANCE SUPPLIES	0.00	0.00	(65.00)	100.00
104-72-570.46.40	GROUNDS MAINTENANCE	960.00	0.00	(135.47)	114.11
104-72-570.46.43	TREE EXPENSE	0.00	0.00	(500.00)	100.00
104-72-570.51.00	OFFICE SUPPLIES	0.00	0.00	(81.98)	100.00
104-72-570.52.00	UNIFORMS	0.00	0.00	(341.14)	100.00
104-72-570.52.50	GAS FOR COMPOSTING TRUCK	1,092.00	0.00	386.20	64.63
104-72-570.64.01	CAPITAL OUTLAY	8,000.00	0.00	8,000.00	0.00
104-72-570.83.01	SUNSHINE JIM	0.00	0.00	(2,297.77)	100.00
		12,052.00	0.00	6,841.92	43.23

Fund: 125 BUILDING DEPT

Account Category: Revenues	Description	ORIGINAL BUDGET	Encumbrance	Available	% Used
Department: 24 PROTECTIVE INSPECTIO					
125-24-322.00.00	BUILDING PERMITS	160,000.00	0.00	(22,680.95)	114.18
125-24-322.10.00	ZONING PLAN REVIEW	1,000.00	0.00	(1,343.75)	234.38
125-24-322.10.10	SITE PLAN REVIEW P&Z	12,000.00	0.00	5,500.00	54.17
125-24-322.20.00	BUILDING PLAN REVIEW	12,000.00	0.00	11,065.00	7.79
125-24-322.31.00	ADVERTISING COSTS	250.00	0.00	250.00	0.00
125-24-322.31.20	P&Z ADVERTISING	100.00	0.00	(207.15)	307.15
125-24-329.00.00	OTHER LICENSES, FEES & PERMITS	700.00	0.00	(10,013.50)	1,530.50
125-24-329.00.10	BOA VARIANCE FEES	2,000.00	0.00	(500.00)	125.00
125-24-354.00.00	LOCAL ORDINANCE VIOLATION	8,000.00	0.00	(1,789.84)	122.37

110.06

Account Category: Expenditures	Description	ORIGINAL BUDGET	Encumbrance	Available	% Used
125-24-500.12.00	REGULAR SALARIES	141,440.00	0.00	36,238.35	74.38
125-24-500.14.00	SALARIES OVERTIME	0.00	0.00	(820.50)	100.00
125-24-500.21.00	FICA TAXES - EMPLOYER PORTION	10,820.16	0.00	2,871.51	73.46
125-24-500.22.20	RETIREMENT TOWN EMPLOYEES	16,845.50	0.00	4,200.82	75.06
125-24-500.23.01	HEALTH INSURANCE	27,083.00	0.00	12,471.68	53.95
125-24-500.23.02	LIFE INSURANCE	136.00	0.00	16.36	87.97
125-24-500.23.10	STATUTORY AD&D	42.00	0.00	42.00	0.00
125-24-500.24.00	WORKERS COMPENSATION	655.00	0.00	655.00	0.00
125-24-500.25.00	UNEMPLOYMENT COMPENSATION	452.61	0.00	288.61	36.23
125-24-520.40.00	TRAVEL & MEETINGS	300.00	0.00	300.00	0.00
125-24-520.51.00	OFFICE SUPPLIES	500.00	0.00	(420.90)	184.18
125-24-520.51.10	POSTAGE	75.00	0.00	75.00	0.00
125-24-520.52.00	UNIFORMS	260.00	0.00	3.41	98.69
125-24-520.52.20	TOOLS & HARDWARE	75.00	0.00	75.00	0.00
125-24-520.52.50	GAS & OIL	500.00	0.00	96.45	80.71
125-24-520.54.00	DUES & SUBSCRIPTIONS	4,200.00	0.00	0.00	100.00
125-24-520.54.10	TRAINING & SCHOOLS	350.00	0.00	350.00	0.00
125-24-520.64.01	Capital Outlay	16,000.00	0.00	2,284.95	85.72
125-24-543.00.00	LICENSES & FEES	350.00	0.00	237.05	32.27

73.21

Fund: 145 AMERICAN RESCUE PLAN

Account Category: Revenues	Description	ORIGINAL BUDGET	Encumbrance	Available	% Used
Department: 00					
145-00-271.00.99	CARRY FORWARD	1,643,004.81	0.00	1,643,004.81	0.00
Total Dept 00					0.00

Account Category: Expenditures	Description	ORIGINAL BUDGET	Encumbrance	Available	% Used
145-00-510.32.00	AUDITING SERVICES	14,710.00	0.00	11,520.00	21.69
145-00-581.00.00	TRANSFER OUT	28,304.00	0.00	28,304.00	0.00
					7.42

Department: 21 LAW ENFORCEMENT

145-21-520.64.01	Capital Outlay	0.00	93,436.00	(93,436.00)	0.00
					0.00

Department: 41 PUBLIC WORKS

145-41-530.31.00	PROFESSIONAL SERVICES	12,000.00	0.00	12,000.00	0.00
145-41-530.31.21	ENGINEERING SERVICES	15,000.00	0.00	14,554.50	2.97
145-41-530.31.21-001	ENGINEERING SERVICES	0.00	0.00	(566.32)	100.00
145-41-530.64.01	CAPITAL OUTLAY	1,460,662.75	0.00	1,402,447.75	3.99
145-41-530.64.01-001	CAPITAL OUTLAY	0.00	0.00	(574,032.75)	100.00
					42.57

Fund: 172 OCEAN PARK PARKING FUND

Account Category: Revenues	Description	ORIGINAL BUDGET	Encumbrance	Available	% Used
Department: 00					
172-00-271.00.99	CARRY FORWARD	62,536.22	0.00	62,536.22	0.00
					0.00

Department: 75 TOWN PARKS

172-75-342.10.00	PARKING TICKET REVENUE	15,000.00	0.00	5,850.00	61.00
172-75-344.50.00	PARKING METER REVENUE	98,000.00	0.00	28,869.00	70.54
					69.28

Account Category: Expenditures	Description	ORIGINAL BUDGET	Encumbrance	Available	% Used
Department: 00					
172-00-581.00.00	TRANSFER OUT	0.00	0.00	(1,400.00)	100.00
Total Dept 00		0.00	0.00	(1,400.00)	100.00
Department: 75 TOWN PARKS					
172-75-500.12.00	REGULAR SALARIES	34,000.00	0.00	10,898.41	67.95
172-75-575.31.02	LIFEGUARD CONTRACT	21,945.00	0.00	9,528.09	56.58
172-75-575.32.90	BANKING FEES	5,500.00	0.00	2,210.14	59.82
172-75-575.34.10	JANITORIAL CLEANING	1,800.00	0.00	300.00	83.33
172-75-575.34.91	LANDSCAPING	3,500.00	0.00	3,334.29	4.73
172-75-575.41.10	IPS COMMUNICATIONS FEE	4,020.00	0.00	348.66	91.33
172-75-575.43.10	ELECTRICITY	2,700.00	0.00	747.91	72.30
172-75-575.43.20	WATER & SEWER	1,700.00	0.00	827.61	51.32
172-75-575.43.50	DUMP SERVICE	660.00	0.00	660.00	0.00
172-75-575.46.12	MAINTENANCE SUPPLIES	1,500.00	0.00	(1,013.56)	167.57
172-75-575.46.31	BUILDING MAINT RESTROOMS	1,200.00	0.00	1,084.79	9.60
172-75-575.46.40	GROUNDS MAINTENANCE	3,000.00	0.00	5.84	99.81
172-75-575.46.41	MOWING CONTRACT	9,000.00	0.00	8,066.25	10.38
172-75-575.46.43	TREE EXPENSE	500.00	0.00	500.00	0.00
172-75-575.52.10	JANITORIAL SUPPLIES	350.00	0.00	350.00	0.00
172-75-575.52.25	TOOL RENTAL	0.00	0.00	(2,246.37)	100.00
172-75-575.53.15	PARKING LOT REPAIRS	1,500.00	0.00	683.91	54.41
172-75-575.53.20	SIGNS	300.00	0.00	(1,457.64)	585.88
172-75-575.63.03	VOLLEYBALL COURT	2,000.00	0.00	844.59	57.77
172-75-575.64.01	CAPITAL OUTLAY	16,000.00	0.00	(7,881.27)	149.26
172-75-581.00.00	TRANSFER OUT	1,400.00	0.00	1,400.00	0.00
172-75-764.10.00	Filing Fee Clerk-Parking Ticke	30.00	0.00	0.00	100.00
					74.08

Fund: 175 RYCKMAN CROSSOVER PARK**Account Category: Revenues**

Description	ORIGINAL BUDGET	Encumbrance	Available	% Used	
Department: 00					
175-00-271.00.99	CARRY FORWARD	97,998.78	0.00	97,998.78	0.00

Description	ORIGINAL BUDGET	Encumbrance	Available	% Used
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Department: 75 TOWN PARKS

175-75-342.10.00	PARKING TICKET REVENUE	9,500.00	0.00	6,600.00	30.53
175-75-344.50.00	PARKING METER REVENUE	60,500.00	0.00	(9,710.14)	116.05
175-75-344.50.10	PARK PASS REVENUE	3,000.00	0.00	900.00	70.00
		73,000.00	0.00	(2,210.14)	103.03

Account Category: Expenditures

Description	ORIGINAL BUDGET	Encumbrance	Available	% Used	
Department: 00					
175-00-581.00.00	TRANSFER OUT	0.00	0.00	(30,000.00)	100.00
		0.00	0.00	(30,000.00)	100.00

Department: 75 TOWN PARKS

175-75-500.12.00	REGULAR SALARIES	320.00	0.00	320.00	0.00
175-75-500.21.00	FICA TAXES - EMPLOYER PORTION	2,625.00	0.00	841.64	67.94
175-75-500.22.20	RETIREMENT TOWN EMPLOYEES	4,088.00	0.00	1,287.93	68.49
175-75-500.23.01	HEALTH INSURANCE	7,967.00	0.00	2,606.42	67.28
175-75-575.32.90	BANKING FEES	2,000.00	0.00	(193.25)	109.66
175-75-575.32.95	IPS BANKING FEE	4,200.00	0.00	4,200.00	0.00
175-75-575.41.15	IPS COMMUNICATION FEE	2,500.00	0.00	512.91	79.48
175-75-575.50.00	RECREATION PROGRAMS	10,500.00	0.00	3,600.00	65.71
175-75-575.64.01	CAPITAL OUTLAY	0.00	0.00	(14,528.81)	100.00
175-75-581.00.00	TRANSFER OUT	31,500.00	0.00	31,500.00	0.00
					54.11

Fund: 351 BEAUTIFICATION

Account Category: Revenues	Description	ORIGINAL BUDGET	Encumbrance	Available	% Used
Department: 00					
351-00-271.00.99	CARRY FORWARD	45,665.09	0.00	45,665.09	0.00
351-00-366.19.00	TOWN HALL DONATIONS	0.00	0.00	(1,500.00)	100.00
351-00-381.00.00	TRANSFERS IN	30,000.00	0.00	0.00	100.00
					41.63

Account Category: Expenditures	Description	ORIGINAL BUDGET	Encumbrance	Available	% Used
Department: 41 PUBLIC WORKS					
351-41-500.23.01	HEALTH INSURANCE	2,755.00	0.00	74.71	97.29
351-41-500.23.02	LIFE INSURANCE	68.00	0.00	17.33	74.51
351-41-500.23.10	STATUTORY AD&D	21.00	0.00	0.00	100.00
351-41-500.24.00	WORKERS COMPENSATION	653.00	0.00	653.00	0.00
351-41-500.25.00	UNEMPLOYMENT COMPENSATION	110.00	0.00	74.41	32.35
351-41-570.31.00	PROFESSIONAL SERVICES	15,000.00	0.00	6,580.00	56.13
351-41-570.34.91	LANDSCAPING	30,000.00	0.00	28,257.24	5.81
351-41-570.43.15	ELECTRICAL WORK	3,000.00	0.00	3,000.00	0.00
351-41-570.46.40	GROUNDS MAINTENANCE	2,500.00	0.00	(431.16)	117.25
351-41-570.53.20	STREET SIGNS	1,500.00	0.00	(10,022.65)	768.18
351-41-570.64.01	CAPITAL OUTLAY	0.00	7,597.00	(22,057.18)	100.00
					75.29

TOWN OF MELBOURNE BEACH

Parking Revenue FY Comparison

FY22	Oct-22	Nov-22	Dec-22	Jan-22	Feb-22	Mar-22	Apr-22	May-22	Jun-22	Jul-22	Aug-22
Ocean	6,177.72	2,223.13	5,534.21	3,780.21	7,192.92	11,928.95	10,320.84	11,929.38	11,468.74	15,481.47	9,933.95
Ryckman	5,648.90	4,696.25	6,241.90	5,189.37	6,473.50	10,227.66	8,573.73	8,038.96	6,248.73	9,884.06	6,624.68
Total	11,826.62	6,919.38	11,776.11	8,969.58	13,666.42	22,156.61	18,894.57	19,968.34	17,717.47	25,365.53	16,558.63
FY23											
FY23	Oct-23	Nov-23	Dec-23	Jan-23	Feb-23	Mar-23	Apr-23	May-23	Jun-23	Jul-23	Aug-23
Ocean	4,921.04	3,785.42	3,456.88	4,996.04	8,137.70	13,056.24	9,875.00	10,732.69	10,164.36		
Ryckman	6,354.35	5,050.00	6,359.91	6,415.41	8,745.55	10,817.72	9,235.16	9,540.80	7,688.74		
Total	11,275.39	8,835.42	9,816.79	11,411.45	16,883.25	23,873.96	19,110.16	20,273.49	17,853.10		

FY22 Sept 2022

Ocean	6,643.21
Ryckman	5,996.24
Total	12,639.45

FY23 Sep-23

Ocean	
Ryckman	
Total	

Public Works Activity

June 2023

The main part of June was spent constructing the new boardwalk at Ocean Park. The 100 foot long boardwalk demand a great deal of our time.

Landscaping and mowing continued

Provided cones for Pineapple Run-put out and collected

Trimmed the seagrapes at Ocean Park

Removed nearly 200 pounds of debri from tops of stormwater grates

Assisted in extraction of a child from swing in Ryckman Park /replaced swing after extraction

Purchased 86 yds of mulch and covered playground and landscape areas

Installed signs Riverside



TOWN OF MELBOURNE BEACH

BREVARD COUNTY'S OLDEST BEACH COMMUNITY ESTABLISHED 1883

Building Department Report

June 2023

- 48 permits issued
- Construction value of the 48 permits totaled \$1,209,941.63
- Total permit fees \$20,745.25
- 165 inspections completed
- 48 plans reviewed
- 2 site plan review for P&Z
- 3 vacation rental inspections
- 1 new home
- 0 stop work order

Permit List

Permit	Type	Address	Applicant	Issued	Expired	Paid
PRR23-0056	Reroof	405 SURF RD	Mike Willis Roofing & Construction LLC	06/26/202	12/24/202	\$365.72
PRO23-0004	Propane	527 SUNSET BLVD	SAMS LP GAS COMPANY INC	06/27/202	12/24/202	\$79.00
PM23-0032	Mechanical	203 SIXTH AVE 12	Kristin N Kelly	06/06/202	12/03/202	\$330.82
PE23-0035	Electrical	203 SIXTH AVE 12	FOCARAZZO, MICHAEL	06/08/202	12/05/202	\$79.00
PRR23-0046	Reroof	303 SHANNON AVE	TOTAL HOME ROOFING AND CONSTRUCTION	06/05/202	12/25/202	\$463.60
PRR23-0054	Reroof	406 RIVERSIDE DR	Florida Native Roofing Inc	06/21/202	12/18/202	\$195.36
PRR23-0052	Reroof	402 RIVERSIDE DR 1	Charles Carpenter Construction & Roofing Inc.	06/15/202	12/12/202	\$1420.97
PWS23-0054	Window, Door, & Shutter	1101 RIVER RD	RENEWAL BY ANDERSON	06/06/202	12/03/202	\$473.88
PWS23-0055	Window, Door, & Shutter	1903 REDWOOD AVE	WALLABY WINDOWS OF BREVARD	06/08/202	12/05/202	\$377.31
PPL23-0006	Pool	1508 PINE ST	WATER IN TRANSIT, INC HERMANN BACH	06/09/202	12/06/202	\$1692.97
PPL23-0007	Pool	1507 PINE ST	WATER IN TRANSIT, INC HERMANN BACH	06/09/202	12/06/202	\$746.89
PE23-0036	Electrical	1601 ORANGE ST	Eau Gallie Electric, Inc	06/12/202	12/24/202	\$79.00
PM23-0025	Mechanical	507 OCEAN AVE	Charles Silva	06/28/202	12/25/202	\$0.00
PE23-0033	Electrical	309 OCEAN AVE	Hamilton, Bruce	06/05/202	12/02/202	\$79.00
PF23-0025	Fence	419 OCEAN	HALL, CONCETTA HALL, TRENT	06/29/202	12/26/202	\$79.00
PE23-0034	Plumbing	105 OAK ST	Leon A Tucker	06/12/202	12/12/202	\$79.00
PE23-0039	Electrical	602 MANGO DR	Johnny Sharrone, Jr	06/28/202	12/26/202	\$79.00
PE23-0032	Electrical	415 HIBISCUS TRL	Christopher E Schultz	06/05/202	12/05/202	\$79.00
PRR23-0057	Reroof	317 HIBISCUS TRL	FLEMING ROOFING AND CONSTRUCTION CORP	06/26/202	12/25/202	\$417.59
PRB23-0028	Res Building	310 HIBISCUS TRL	HIGBY CONSULTING LLC	06/05/202	12/17/202	\$1862.50
PRR23-0051	Reroof	206 FIR AVE	RENEWPRO INCORPORATION INC	06/15/202	12/25/202	\$422.82
PE23-0037	Electrical	207 FIR AVE	Robert C Dipaolo	06/19/202	12/25/202	\$79.00
PF23-0020	Fence	216 ELM AVE	SMITH, WALTER G	06/08/202	12/05/202	\$79.00
PCD23-0021	Paver, Concrete, & Deck	209 BIRCH AVE	LAFFERTY ALUMINUM AND SCREENING LLC	06/16/202	12/13/202	\$149.68
PPR23-0007	Pool Resurface	205 BIRCH AVE	HARBOUR POOLS & SPAS	06/26/202	12/23/202	\$340.30
PWS23-0058	Window, Door, & Shutter	304 BEAU JEAN AVE	WINDOW AND DOOR DESIGN CENTER	06/14/202	12/11/202	\$596.24
PPR23-0006	Pool Resurface	507 BANYAN WAY	BREVARD POOLS, INC	06/16/202	12/13/202	\$290.59
PM23-0031	Mechanical	408 BANYAN WAY	ZACHARY A REYNOLDS	06/06/202	12/03/202	\$1002.04
PMC23-0003	Miscellaneous	408 BANYAN WAY	BATOS DRYWALL	06/05/202	12/02/202	\$1658.25
PE23-0041	Electrical	408 BANYAN WAY	JOHN F MCKESSEY	06/30/202	12/27/202	\$358.75
PWS23-0056	Window, Door, & Shutter	315 AVENUE B	WALLABY WINDOWS OF BREVARD	06/08/202	12/05/202	\$212.71

Permit List

Permit	Type	Address	Applicant	Issued	Expired	Paid
PM23-0036	Mechanical	518 AVENUE B	JOHN LAZARIDIS	06/30/202	12/27/202	\$286.19
PF23-0023	Fence	404 AVENUE B	NEAL, GARY HOWELL,II; NEAL, CASEY MARIE	06/16/202	12/13/202	\$359.78
PRR23-0053	Reroof	315 ATLANTIC ST	NEXT ROOFING INC BRETT LOWY	06/27/202	12/24/202	\$820.00
PCB23-0007	Com Building	2105 ATLANTIC ST 612	MATTHEW RAY HOMES INC	06/14/202	12/11/202	\$160.34
PRR23-0049	Reroof	1609 ATLANTIC ST	G&G ROOFING CONSTRUCTION INC CHEYANNE@CFLROOFING.COM	06/21/202	12/18/202	\$576.46
PRR23-0047	Reroof	1501 ATLANTIC ST A	J MILLER ROOFING LLC	06/05/202	12/13/202	\$319.80
PRR23-0043	Reroof	1409 ATLANTIC ST	FL CONTRACTING SERVICES LLC	06/05/202	12/02/202	\$261.38
PWS23-0051	window, Door, & Shutter	401 ANDREWS DR	Brevard Window & Doors Inc	06/05/202	12/02/202	\$767.36
PRB23-0027	Res Building	400 ANDREWS DR	GROUNDLED BUILDS BREVARD, LLC	06/12/202	12/18/202	\$358.75
PRR23-0048	Reroof	412 ANCHOR KY	BD ROOFS & EXTERIORS INC	06/05/202	12/02/202	\$748.25
PMC23-0004	Miscellaneous	405 6TH AVE	SOBY, JOHN	06/09/202	12/09/202	\$198.40
PRR23-0055	Reroof	211 SIXTH AVE	G&G ROOFING CONSTRUCTION INC CHEYANNE@CFLROOFING.COM	06/21/202	12/18/202	\$442.80
PF23-0021	Fence	503 THIRD AVE	American Fence of Brevard	06/09/202	12/06/202	\$97.00
PRR23-0050	Reroof	312 THIRD AVE	BD ROOFS & EXTERIORS INC	06/12/202	12/24/202	\$345.43
PF23-0022	Fence	509 THIRD AVE	American Fence of Brevard	06/14/202	12/11/202	\$376.07
PE23-0038	Electrical	311 FIRST AVE	William J Logan	06/21/202	12/23/202	\$79.00
PM23-0035	Mechanical	301 FIRST AVE	Robert Noeker	06/30/202	12/27/202	\$379.25

Total Permits: 48
Total Paid: \$20745.25

Inspection Totals

1st Reinspection	1
Building Inspection	2
Column & Tie Beam	5
Dock Framing	1
Dry In	1
Dry-In	16
Dry-In Roof	3
Drywall	5
Electric Pre-Power	1
Electrical	3
Electrical Underground	1
Equipotential	3
Final Building	9
Final Electrical	6
Final Fence	5
Final Mechanical	6
Final Paver, Concrete, & Deck	2
Final Plumbing	5
Final Pool Resurface	1
Final Propane	1

Inspection Totals

Final Reroof	15
Final window, Door, & Shutter	14
Fire Inspection	4
Footer	1
Foundation	1
Framing	5
In Progress	1
In-Progress	2
Insulation	3
Plumbing Top Out	2
Plumbing Underground	1
Rough Electrical	10
Rough Mechanical	1
Rough Miscellaneous	1
Rough Plumbing	6
Sewer Connect	1
Sheathing	2
Sheathing (or Affidavit)	1
Slab	6
Steel & Ground	1

Inspection Totals

Truss, Bracing & Strapping	5
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Underground Plumbing	5
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Total # of Inspections:	165
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Certificate List

- Issued in June, 2023

07/07/2023

1/1

Certificate #	Property Address	Certificate Type	Holder	Status	Issued	Expires	Amount Due
CVR22-0045	312 SECOND AVE	Vacation Rental	HENSEL, KURT	Issued	06/05/2023	12/31/2023	\$0.00
CVR23-0004	608 MANGO DR	Vacation Rental	COMPO, DEVIN	Issued	06/05/2023	06/05/2024	\$0.00
CVR23-0005	300 THIRD AVE	Vacation Rental	GNK PROPERTIES	Issued	06/05/2023	06/05/2024	\$0.00
CVR23-0006	405 FIFTH AVE	Vacation Rental	GNK PROPERTIES LLC	Issued	06/05/2023	06/05/2024	\$0.00
CVR23-0001	442 RIVER VW	Vacation Rental	MAYVILLE KNOXVILLE LLC	Issued	06/09/2023	01/31/2024	\$0.00
CVR23-0008	406 HIBISCUS TRL	Vacation Rental	PETERS, ERIC RYAN	Issued	06/09/2023	06/09/2024	\$0.00
CVR23-0010	311 AVENUE A	Vacation Rental	K5 INVESTMENT GROUP LLC	Issued	06/09/2023	06/09/2024	\$0.00
CVR23-0009	415 HIBISCUS TRL	Vacation Rental	GOSSELIN, JAKE	Issued	06/12/2023	06/12/2024	\$0.00

Total # of Certificates: 8

Total Amount Due: \$0.00

Enforcement List

- Open as of 6/30/23

07/07/2023

1/1

Enforcement #	Address	Category	Status	Origin	Filed	Closed
ECE22-0006	404 COLONY ST	Trailers, Boats, and Recreational Vehicles	Open - Court Magistrate		03/24/22	
ECE22-0041	409 THIRD AVE	Lawns - Overgrowth	Open - Court Magistrate		12/02/21	
ECE22-0150	213 ASH AVE	Trailers, Boats, and Recreational Vehicles	Open - Second Letter Certified Mail	Staff	12/06/22	
ECE22-0158	203 THIRD AVE	Trees and Landscaping	Open - Complaint Received	Staff	12/21/22	
ECE22-0159	323 AVENUE A	Attractive Nuisance	Open - Complaint Received	Staff	12/28/22	
ECE23-0162	316 OAK ST	Pools	Open - First Letter Sent	Public - Email	05/26/23	
ECE23-0167	600 JASMINE DR	Trees and Landscaping	Open - First Letter Sent	Staff	06/09/23	
ECE23-0169	1305 ATLANTIC ST	Turtle Lighting Violations	Open - First Letter Sent	Public - Email	06/15/23	
ECE23-0171	302 5TH AVE	Short Term Rental Violations	Open - First Letter Sent	Public - walk In	06/19/23	
ECE23-0173	442 RIVER VW	Short Term Rental Violations	Open - First Letter Sent	Staff	06/22/23	
ECE23-0174	400 AVENUE B	Short Term Rental Violations	Open - First Letter Sent	Staff	06/22/23	
ECE23-0176	311 FIRST AVE	Short Term Rental Violations	Open - First Letter Sent	Public - walk In	06/28/23	

Total # of Enforcements: 12

Enforcement List

-Closed 5/26-6/30/23

07/07/2023

1/1

Enforcement #	Address	Category	Status	Origin	Filed	Closed
ECE22-0122	213 THIRD AVE	Lawns - Overgrowth	Closed - No Violations Found	Staff	10/20/22	05/26/23
ECE22-0151	305 FOURTH AVE	Trailers, Boats, and Recreational Vehicles	Closed - No Violations Found	Staff	12/06/22	05/26/23
ECE22-0154	1500 PINE ST	Trailers, Boats, and Recreational Vehicles	Closed - No Violations Found	Staff	12/14/22	05/26/23
ECE22-0160	406 BANYAN WAY	Trailers, Boats, and Recreational Vehicles	Closed - No Violations Found	Staff	12/30/22	05/26/23
ECE23-0161	605 RIVERSIDE DR	Abandoned/Junk Vehicles	Closed - Complied		05/15/23	06/15/23
ECE23-0163	404 COLONY ST	Lawns - Garbage & Trash	Closed - Complied	Staff	05/26/23	06/03/23
ECE23-0164	904 OAK ST	Signs	Closed - Complied	Staff	05/30/23	05/30/23
ECE23-0165	401 OCEAN AVE	Signs	Closed - Complied	Staff	05/30/23	06/01/23
ECE23-0166	303 SURF RD	Commercial Vehicle Storage	Closed - Complied	Staff	06/03/23	06/12/23
ECE23-0168	400 MAGNOLIA AVE	Trees and Landscaping	Closed - No Violations Found	Public - Phone	06/09/23	06/09/23
ECE23-0172	504 COLONY ST	Short Term Rental Violations	Closed - Complied	Public - Phone	06/22/23	06/28/23

Total # of Enforcements: 11



Town of Melbourne Beach



Fire Department

MONTHLY REPORT - June 2023

Incident Response

For the month of June 2023, the Melbourne Beach Volunteer Fire Department responded to 19 calls for service. The average number of responding volunteer personnel per paged out call for the month was 8.

Breakdown:

- 13 Fire/Rescue 911 Calls (Paged out)
- 1 Special Event Standby (Pineappleman Triathlon)
- 1 Public Service Incident (Residential Smoke Detector Assistance)
- 4 Fire Inspections

Department Membership

- 1 Fire Chief (*Full-Time*)
- 1 Maintenance Technician (*Part-Time*)
- 23 Certified Volunteer Firefighters
- 8 Support Services Volunteers
- 1 Administrative Volunteer
- 1 Volunteer Fire Chaplain
- 1 Probationary Volunteer

Notable Incidents

- 06/02/2023 – MBVFD Water Rescue Team & Fire-1 assisted Florida Fish & Wildlife Commission with the recovery of a derelict vessel on the south beaches.
- 06/08/2023 – Squad 58 & Fire-1 responded to a child stuck in an infant swing at Ryckman Park. Swing disassembled and child extricated, no medical need.
- 06/28/2023 – Engine 58 & Fire-1 responded automatic-aid to Indialantic for brush fire. MBVFD units canceled en-route by Truck 57.

Notable Events

The Department provided standby water rescue & EMS coverage for the Pineappleman Triathlon event in Melbourne Beach. There were no remarkable incidents during the event.

First Responders from Melbourne Beach, Indialantic, and Indian Harbour Beach joined together for a multi-agency training event with pilots from HealthFirst's First Flight, Brevard County Sheriff's Office, and the Florida Fish & Wildlife Commission to discuss local public safety air assets and how we can work together as a unified team on critical medical and search & rescue incidents. Thanks to the Brevard County Sherriff's Office and HealthFirst's First Flight for bringing out some of their rotary-wing aircraft to show our crews, and thanks to local photographer Julian Leek for getting some great photos!

The Fire Department hosted & instructed many community courses in June; including a bleeding control course for lifeguards from Brevard County Ocean Rescue, a CPR/First Aid certification course for employees from a local business, the Fire Prevention Merit Badge course for a local Boy Scout of America Troop, and the State volunteer firefighter certification program for recruits from Melbourne Beach & Indian Harbour Beach.

The Fire Department partnered with the Melbourne Beach Police Department to host their Movies in the Park event in the fire station garage due to severe weather.

Fire Department leadership continues to work with the Volunteer Firefighters Association Board of Directors and multiple marine contractors to discuss potential ideas and funding options for the construction of a dock & boat lift for the Fire Department's marine rescue boat. While the community has been overwhelmingly supportive about the concept, feedback and concerns about the location are being taken into consideration and alternative solutions are being investigated.

Melbourne Beach VFD

Melbourne Beach, FL

This report was generated on 7/14/2023 3:22:12 PM



Incident Address and Type for Date Range (Landscape)

Incident Status(s): All Incident Statuses | Start Date: 06/01/2023 | End Date: 06/30/2023

INCIDENT #	DATE	LOCATION TYPE	ADDRESS	INCIDENT TYPE	ALARM	CLEARED SCENE
2023-88	06/02/2023		1010 Atlantic ST , Melbourne Beach, FL, 32951	Special type of incident, other	06/02/2023 10:37	06/02/2023 11:23
2023-89	06/02/2023		4835 S Hwy A1A , Melbourne Beach, FL, 32951	Assist police or other governmental agency	06/02/2023 11:15	06/02/2023 13:04
2023-90	06/04/2023		519 Ocean AVE , Melbourne Beach, FL, 32951	Cover assignment, standby, moveup	06/04/2023 06:03	06/04/2023 10:03
2023-91	06/05/2023		300 Ocean AVE , Melbourne Beach, FL, 32951	Special type of incident, other	06/05/2023 10:12	06/05/2023 11:31
2023-92	06/06/2023		2207 Atlantic ST , Melbourne Beach, FL, 32951	Alarm system sounded due to malfunction	06/06/2023 22:54	06/06/2023 23:50
2023-93	06/07/2023		504 Colony ST , Melbourne Beach, FL, 32951	Arcing, shorted electrical equipment	06/07/2023 21:43	06/07/2023 22:12
2023-94	06/08/2023		509 Ocean AVE , Melbourne Beach, FL, 32951	Extrication of victim(s) from building/structure	06/08/2023 11:29	06/08/2023 12:08
2023-95	06/08/2023		2207 Atlantic ST , Melbourne Beach, FL, 32951	Alarm system sounded due to malfunction	06/08/2023 17:44	06/08/2023 18:15
2023-96	06/08/2023		610 Citrus CT , Melbourne Beach, FL, 32951	Public service	06/08/2023 18:47	06/08/2023 19:14
2023-97	06/10/2023		2207 Atlantic ST , Melbourne Beach, FL, 32951	Alarm system sounded due to malfunction	06/10/2023 17:09	06/10/2023 17:46
2023-98	06/11/2023		2207 Atlantic ST , Melbourne Beach, FL, 32951	Alarm system sounded due to malfunction	06/11/2023 15:35	06/11/2023 16:04
2023-99	06/12/2023		315 Ocean AVE , Melbourne Beach, FL, 32951	Arcing, shorted electrical equipment	06/12/2023 10:00	06/12/2023 10:24
2023-100	06/14/2023		324 Avenue B , Melbourne Beach, FL, 32951	Smoke scare, odor of smoke	06/14/2023 21:42	06/14/2023 21:59
2023-101	06/15/2023		419 Ocean AVE , Melbourne Beach, FL, 32951	Arcing, shorted electrical equipment	06/15/2023 06:23	06/15/2023 06:58
2023-102	06/15/2023		321 Ocean AVE , Melbourne Beach, FL, 32951	Special type of incident, other	06/15/2023 08:45	06/15/2023 11:18
2023-103	06/21/2023		103 Riverside DR , Melbourne Beach, FL, 32951	Alarm system activation, no fire - unintentional	06/21/2023 09:44	06/21/2023 09:58
2023-104	06/23/2023		2051 Atlantic ST , Melbourne Beach, FL, 32951	Special type of incident, other	06/23/2023 08:53	06/23/2023 15:13
2023-105	06/26/2023		1005 Atlantic , Melbourne Beach, FL, 32951	Smoke detector activation due to malfunction	06/26/2023 04:03	06/26/2023 06:59
2023-106	06/28/2023		1304 S Miramar AVE , Indialantic, FL, 32903	Dispatched & cancelled en route	06/28/2023 19:12	06/28/2023 19:21

Location Type is only filled in when it is marked Intersection, Directions, or National Grid on Basic Info 3.



Melbourne Beach VFD

Melbourne Beach, FL

This report was generated on 7/14/2023 3:23:13 PM



Personnel Count per Incident for Date Range

Start Date: 06/01/2023 | End Date: 06/30/2023

INCIDENT				NUMBER OF PEOPLE		
NUMBER	DATE	INCIDENT TYPE	FDID	ON APPARATUS	NOT ON APPARATUS	TOTAL
2023-88	6/2/2023 10:37:06	900 - Special type of incident, other	19112	1	0	1
** 2023-89	6/2/2023 11:15:34	551 - Assist police or other governmental agency	19112	9	3	12
2023-90	6/4/2023 06:03:14	571 - Cover assignment, standby, moveup	19112	12	3	15
2023-91	6/5/2023 10:12:43	900 - Special type of incident, other	19112	1	0	1
** 2023-92	6/6/2023 22:54:31	735 - Alarm system sounded due to malfunction	19112	5	4	9
** 2023-93	6/7/2023 21:43:41	445 - Arcing, shorted electrical equipment	19112	3	3	6
** 2023-94	6/8/2023 11:29:53	351 - Extrication of victim(s) from building/structure	19112	2	3	5
** 2023-95	6/8/2023 17:44:33	735 - Alarm system sounded due to malfunction	19112	7	6	13
2023-96	6/8/2023 18:47:53	553 - Public service	19112	3	8	11
** 2023-97	6/10/2023 17:09:40	735 - Alarm system sounded due to malfunction	19112	3	2	5
** 2023-98	6/11/2023 15:35:19	735 - Alarm system sounded due to malfunction	19112	4	4	8
** 2023-99	6/12/2023 10:00:45	445 - Arcing, shorted electrical equipment	19112	4	4	8
** 2023-100	6/14/2023 21:42:52	651 - Smoke scare, odor of smoke	19112	5	5	10
** 2023-101	6/15/2023 06:23:57	445 - Arcing, shorted electrical equipment	19112	4	3	7
2023-102	6/15/2023 08:45:43	900 - Special type of incident, other	19112	1	0	1
** 2023-103	6/21/2023 09:44:29	745 - Alarm system activation, no fire - unintentional	19112	1	5	6
2023-104	6/23/2023 08:53:18	900 - Special type of incident, other	19112	1	0	1
** 2023-105	6/26/2023 04:03:51	733 - Smoke detector activation due to malfunction	19112	3	1	4
** 2023-106	6/28/2023 19:12:45	611 - Dispatched & cancelled en route	19112	3	7	10

TOTAL # OF INCIDENTS: 19

AVERAGES:

3.8

3.2

7.0

Total # of incidents
paged out for
volunteer response: 13

** Without EMS Assist or Service Calls:
(Paged out calls only)

4.1

3.8

7.9

Only REVIEWED incidents included

Note: 900 series "Special Incidents" include fire inspections performed.





Melbourne Beach Police Department

Monthly Report

June 2023



Operations:

In June 2023, The Department responded to 1213 calls for service and 267 house checks.

Activity:

- 25 Citations / 34 Written Warnings
- 93 Traffic Stops
- 113 Traffic Enforcement
- 3 Traffic Complaint
- 51 Parking Citations

Our radar trailer continues to be placed in various locations throughout the Town.

PD News

- The Police Department has lost and found miscellaneous items that have been brought into the department, for example, keys, sunglasses, and children's toys. These items were found at our beach accesses and Rychman Park. If you believe you may have lost things, come to the Police Department during business hours Monday – Friday, 8 am to 5 pm.
- We are continuing our beach patrol, on the weekends through the end of August. The Melbourne Beach Officers will patrol our beach, the accesses, and the parks to remind beachgoers of Rip Currents and any parking concerns.
- Movie in the Park was held inside the MBVFD due to rain. Thank you again Chief Brown for modifying the bays for this event.
- Officer Sullivan will attend SRO training next month at Eastern Florida State College.

Stops Signs on Riverside at Avenue A and Sunset:

I have received emails and phone calls from residents complaining about vehicles speeding and passing on Riverside Drive between Andrews and Avenue A. I have also witnessed a car passing another in that area. As a result, I have directed my officers to concentrate on that area for violations. Additionally, we posted the F.S.S. for Passing in a no-passing zone on the message board for several weeks, along with a fine amount.

I had the Stalker speed trailer set up at the intersection of Riverside Drive and Avenue A from June 6, 2023, thru July 3, 2023, to collect data on speed, vehicle count, and average speed in that area.

Here is the statistical traffic analysis that was taken by our Stalker portable speed trailer.

The posted speed on Riverside Drive is 25 mph

Avenue A and Riverside: Start 6/7/2023 8:07 am - Stop 6/15/2023 11:11 am

Total vehicles: 12,868

Average speed: 29.6 mph

Average speed 10 mph over the limit: 35.4pmh 623 cars

Under limit: 7157 cars

Max speed: 69 mph (possible sprinkler)

Avenue A and Riverside: Start 6/15/2023 11:15 am – Stop 6/26/2023 7:29 am

Total vehicles: 12,412

Average speed 10 mph over the limit: 29.1 399 cars

Under limit: 5811 cars 46%

Over limit: 6601 cars 54%

Max speed: 75 mph (possible sprinkler)

Avenue A and Riverside: Start 6/26/2023 7:33 am – Stop 7/3/2023 8:38 am

Total vehicles: 8,161

Average speed 10 mph over the limit: 34.1 89 cars

Under limit: 7124 cars 87%

Over limit: 1037 cars 13%

Max speed: 68 mph (possible sprinkler)

Note: Directed Traffic Enforcement (MBPD Officers) Traffic stops, Warnings, and Citations from 6/7/2023 – 7/6/2023 in this area.

15 Traffic stops on Riverside Drive

4 Citations

3 Written Warnings

8 Verbal warnings

20 Directed patrols

23 Traffic stops on Ocean Ave (500 Blk). This is where the Officer stopped the vehicle for a violation on Riverside.

8 Citations

6 Written warnings

9 Verbal warnings

20 Directed patrols.

Traffic crashes, D.U.I.'s and Hit and Runs from 12/29/2018 – 7/10/2023 400 Riverside Drive to 519 Ocean Avenue

17 total

As you can see in the final report from 6/26/2023 to 7/3/23, the total number of vehicles has decreased, and I would attribute some of that to "no school/summer break."

I firmly believe those stop signs will reduce the number of vehicles driving on Riverside and minimize speeding. Most importantly, the safety of our pedestrians/bicyclists that travel in that area.

The Melbourne Beach Police Officers and I are committed to community policing and keeping our Town safe, which is our #1 priority.

Please see the attachments:

- Speed Trailer report
- Sergeant's monthly reports

Stay Safe, Chief Melanie Griswold



MELBOURNE BEACH POLICE DEPARTMENT
Jason Hinchman
Sergeant

507 Ocean Ave, Melbourne Beach, FL 32951
Phone: (321) 723-4343 Fax: (321)725-3253



Monthly Report June 2023

House Checks: 186

- 06/01- Domestic verbal in the 300 block of South Palm Avenue. The male and female that live at that residence were in a verbal argument.
- 06/09- Battery in the 300 block of Ocean Avenue. The male victim had injuries to his face and refused medical. The victim also refused to pursue charges. The suspect was unknown and was not able to be located. The case is closed.
- 06/09- Stalking in the 200 block of Third Avenue. Capias was filed and sent to the State Attorney's Office.
- 06/10- Assist other agency (DCF) in the 200 block of Third Avenue. Officers stood by while DCF conducted their investigation.
- 06/16- Traffic crash in the 1700 block of Atlantic Street (1) vehicle involved. No injuries were reported, and the vehicle was towed due to extensive damage.
- 06/17- Domestic verbal in the 700 block of Riverside Drive. Father and daughter were in a verbal disturbance. Nothing physical took place. Parties were separated.



MELBOURNE BEACH POLICE DEPARTMENT
Jason Sadler
Sergeant

507 Ocean Ave, Melbourne Beach, FL 32951
Phone: (321) 723-4343 Fax: (321)725-3253



Sgt. Sadler Monthly Report June 2023

- 6/3-** Stalking in the 200 blk of Third Avenue. Case closed as information only.
- 6/3-** Petit Theft in the 200 blk of Third Avenue. Capias filed on suspect.
- 6/5-** Traffic crash in the 400 blk of Ocean Avenue. Truck backed up into a mailbox. No injuries or major damage.
- 6/6-** Domestic disturbance in the 300 blk of Avenue A between male and female. The disturbance was verbal only.
- 6/6-** Traffic Crash in the area of Ocean Avenue and Riverside Drive. Vehicle struck a tree after driving off the roadway. No injuries and the vehicle was towed due to damage.
- 6/6-** Assisted the Brevard County Sheriff's Office with a death investigation in the 2500 blk of Highway A1A. Case turned over to BCSO for investigation.
- 6/11-** Trespass warning issued to a male in the 900 blk of Oak Street.
- 6/11-** Trespass warning issued to a male in the 900 blk of Oak Street.
- 6/14-** Female arrested for a warrant out of Brevard County for Grand theft in the 900 blk of Oak Street. Female turned over to BCSO.
- 6/19-** Traffic crash in the 900 blk of Oak Street. Truck backed into a small pole. No injuries or major damage.
- 6/19-** Trespass warning issued to a male in the 900 blk of Oak Street.
- 6/20-** Retail theft in the 900 blk of Oak Street. Prosecution declined.
- 6/20-** Crash investigation in the 300 blk of First Avenue. Truck backed into a mailbox. No injuries or major damage.
- 6/27-** Reckless driver identified in the 300 blk of Ocean Avenue. 2.0 grams of marijuana seized

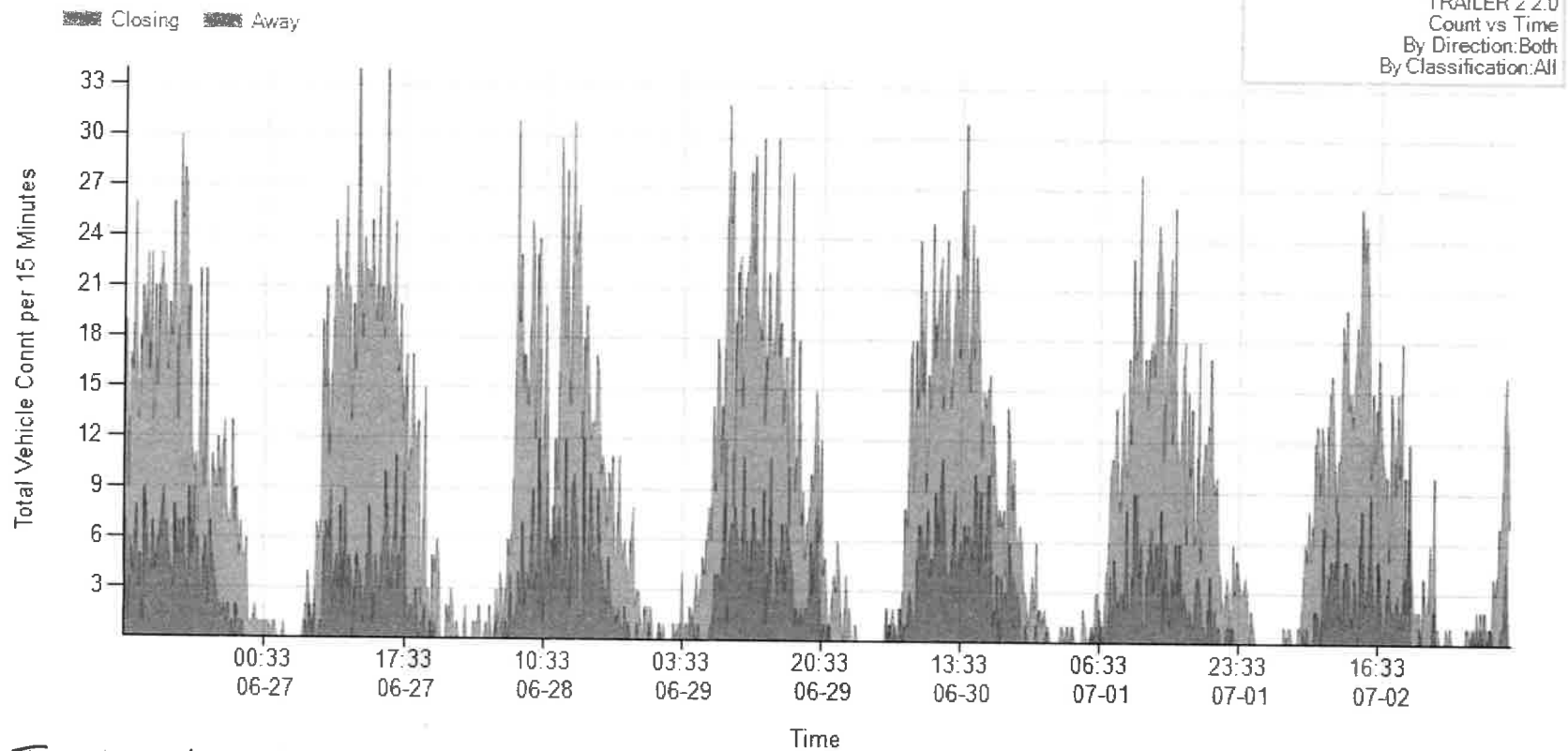
for destruction.

6/27- Petit theft of a cell phone in the 300 blk of Ocean Avenue. Case pending investigation.

6/28- Suspicious person identified in the area of Ocean Avenue and Atlantic Street. Small marijuana joint confiscated for destruction.

- Total House Checks - 81

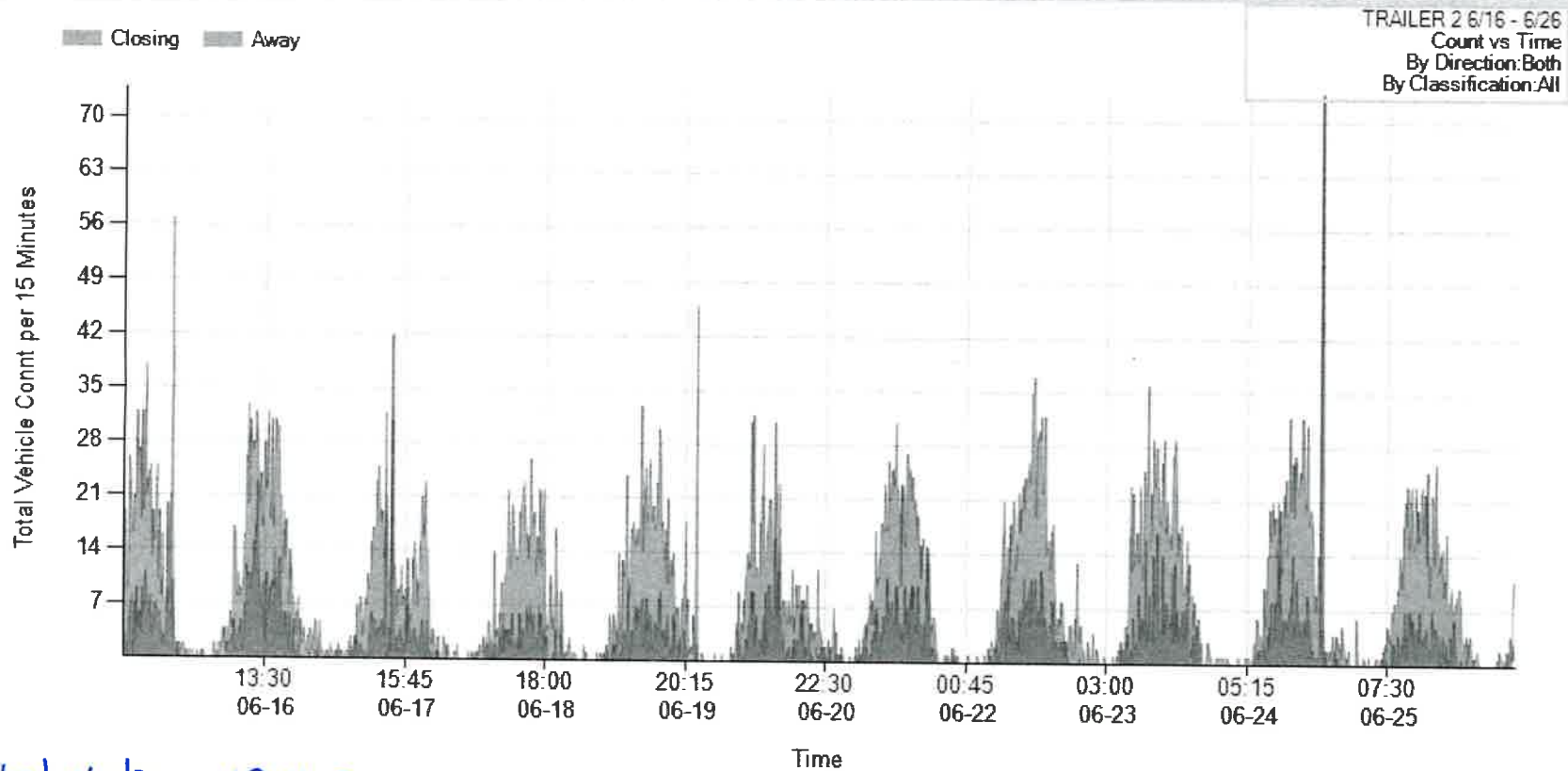
Survey Name	TRAILER 2.2.0	Location	RIVERSIDE DR/ AVENUE A,...	Speed Unit	Miles/Hour
Start	2023-06-26 07:33	Traffic Direction	Undefined	Speed Limit	30
Stop	2023-07-03 08:38	Zone	Normal	Min Speed Threshold	10
Operator		Min Following Time	0.0	Max Speed Threshold	120
Survey Direction	Both	Time Resolution	1	Speed Resolution	1



Total Veh 8161

Under Limit Count	7124	87%	Minimum Speed	8	MPH	10 mph Pace	22 - 31	MPH
Over Limit Count	1037	13%	Maximum Speed	68	MPH	Standard Deviation	4	MPH
10 Over Limit Count	89	1%	85Speed Percentile	30	MPH	Average Speed Over Limit	34.1	MPH

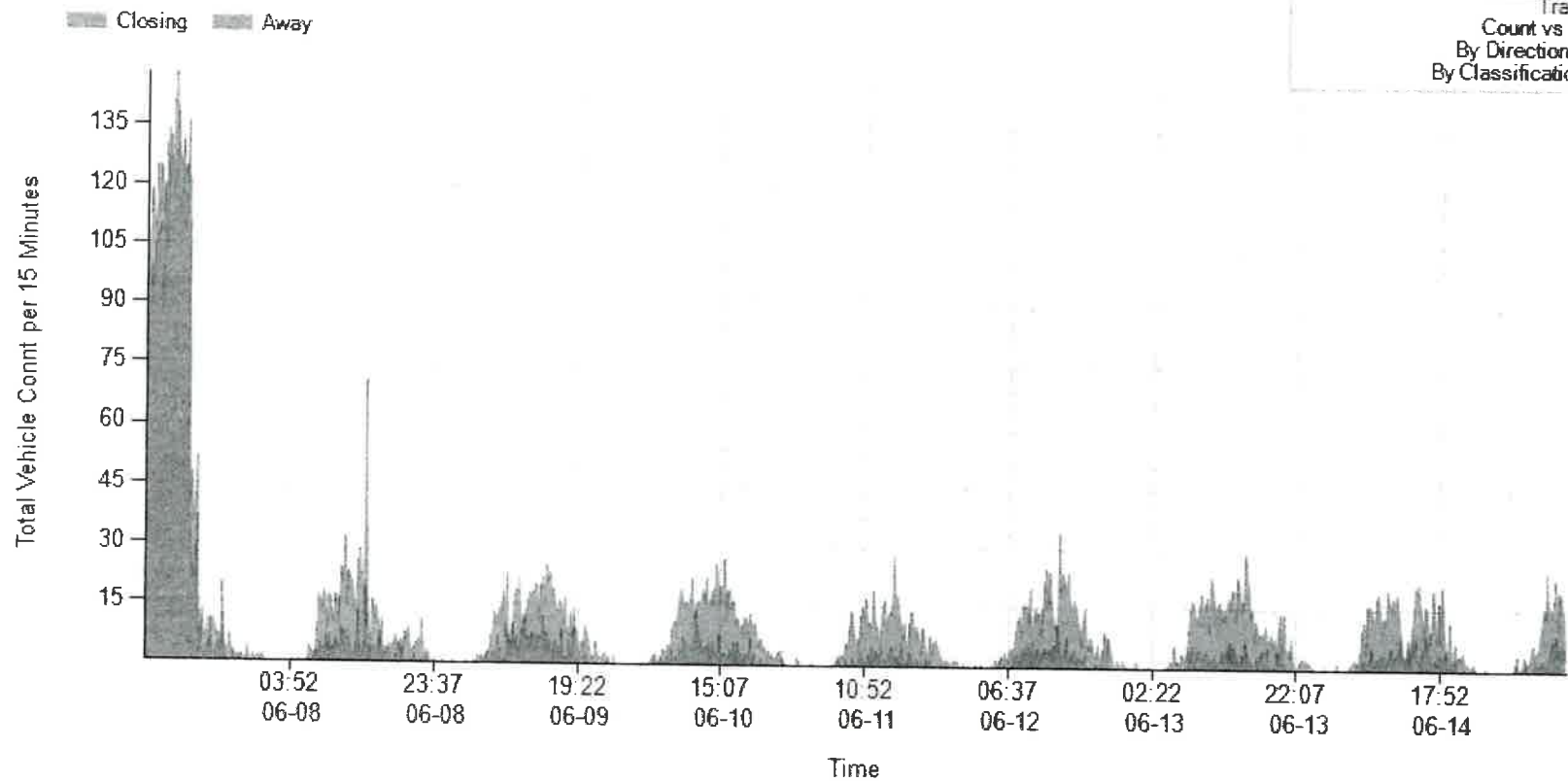
Survey Name	TRAILER 2 6/16 - 6/26	Location	AVENUE A/ RIVERSIDE DR,...	Speed Unit	Miles/Hour
Start	2023-06-15 11:15	Traffic Direction	Undefined	Speed Limit	25
Stop	2023-06-26 07:29	Zone	Normal	Min Speed Threshold	10
Operator		Min Following Time	0.0	Max Speed Threshold	120
Survey Direction	Both	Time Resolution	1	Speed Resolution	1



total veh 12,412

Under Limit Count	5811	46%	Minimum Speed	6	MPH	10 mph Pace	21 - 30	MPH
Over Limit Count	6601	54%	Maximum Speed	75	MPH	Standard Deviation	5	MPH
10 Over Limit Count	399	3%	85Speed Percentile	30	MPH	Average Speed Over Limit	29.1	MPH

Survey Name	Trailer 2	Location	avenue A/Riverside dr,Melbo...	Speed Unit	Miles/Hour
Start	2023-06-07 08:07	Traffic Direction	Undefined	Speed Limit	30
Stop	2023-06-15 11:11	Zone	Normal	Min Speed Threshold	10
Operator		Min Following Time	0.0	Max Speed Threshold	120
Survey Direction	Both	Time Resolution	1	Speed Resolution	1



Total Vehicle Count	12868	100%	Average Speed	29.6	MPH	In Pace Count	6232	48%
Under Limit Count	7157	55%	Minimum Speed	5	MPH	10 mph Pace	25 - 34	MPH
Over Limit Count	5711	45%	Maximum Speed	69	MPH	Standard Deviation	6	MPH
10 Over Limit Count	623	4%	85Speed Percentile	36	MPH	Average Speed Over Limit	35.4	MPH

Town Commission Meeting

Section: New Business
Meeting Date: July 19, 2023
From: Marivi Walker, Commissioner
RE: Bike Lane on Riverside Drive

Background Information:

Add a designated bike lane along Riverside Drive in conjunction with the re-pavement project.

Recommendation:

Consider adding a designated bike lane along Riverside Drive in conjunction with the re-pavement project.

Attachments:

Attachments:	Proposal from All Dry / awaiting other proposals
Date Prepared:	7/13/23
Prepared By:	Tom Davis
Meeting Date:	7-19-23

Agenda Category:

	Proclamations & Awards		Public Hearings
	Presentations		Old Business
	Boards & Committees	x	New Business
	Consent		Other:

Subject:	Mold clean up of Community Center
Recommended Action:	Proceed with complete cleanup asap
Background Information:	<p>It has been discovered that there is mold inside the Community Center. Investigation with the Coast Air personnel identified the likely contributors to the high increase the humidity level in that building. Contributors: the air box on the top of the air handlers is very old and likely allowing outside air to enter and be blown into the building, a water drain pipe on the air handlers had become dislodged and letting the water drain inside the enclosed area where they are housed. The fan on the ac was turned to run constantly which meant it was pumping the moist air from the area of the air handlers.</p> <p>Also on numerous occasions the school group using the Community Center on Thursdays were opening all the doors for the entire day. This allowed humidity to build up all day. On occasions I have also noticed that renters were leaving the doors stand open.</p> <p>As a results of all these factors both the AC company and the mold cleaning company believe that is the cause of the appearance of mold.</p>

Town Commission Meeting

Section: New Business
Meeting Date: July 19, 2023
From: Elizabeth Mascaro, Town Manager
RE: Request for Intent to Proceed

Background Information:

The Building Department has received an application from Djon Pepaj to amend his current Binding Lot Agreement. The application requests a move of his current restaurant parking lot to the next lot over, owned by Mr. Pepaj, to the West. Should the Commission agree to the Amendment, the Town Attorney would then amend the current Binding Lot Agreement, notice a public hearing and bring back to the Commission for approval during the September regular Town Commission Meeting.

Recommendation:

Consider the request to amend the Binding Lot Agreement. Give consent to the Town Attorney to legally amend the Binding Lot Agreement, if the Commission is in agreement to move forward.

Attachments:

Application for Amendment to the Binding Lot Agreement.



TOWN OF MELBOURNE BEACH

Administrative Procedure

Development Application Processing

1. PURPOSE

The purpose of this administrative procedure is to ensure that the development application processing is predictable for applicants; that regulations are uniformly and equitably enforced; and that all applications are complete and comply with applicable sections of the land development regulations prior to processing for public hearing.

2. APPLICABILITY

This administrative procedure shall apply to all applications which require submission of a site plan for review by Town Staff, Planning & Zoning Board, Board of Adjustment, and/or Town Commission, including but not necessarily limited to the following:

- Applications for site plan approval of single-family homes as per Section 7A-51/7A-51.1
- Applications for site plan approval for multi-family, commercial, institutional and all other site plans as per Section 7A-51/7A-51.1
- Applications for plat approval (Land Use and Rezoning)
- Applications for Special Exception
- Applications for Variance or Coastal Variance
- Applications for Appeal (Mandatory Pre-Application Meeting does not apply)

3. MANDATORY PRE-APPLICATION MEETING

Prior to formally submitting any application to the Town staff, the applicant is required to schedule a pre-application meeting. The purpose of the pre-application meeting is for the applicant to review conceptual or preliminary project information with Building Department Staff and receive information about the process to present to the appropriate Board.

Submit one (1) original plan and schedule with staff a pre-application meeting.

4. FORMAL APPLICATION

After the Pre-Application meeting, the applicant may make a formal application; the process shall include the following steps:

1. Submittal – the applicant shall provide the application along with the required information, plans and copies.
2. Review for sufficiency – the Building Official or designee will review for sufficiency to ensure that all of the required information and documents are provided. If this review finds that the application does not address all required items, an email or letter will be prepared detailing those missing items and sent to the applicant via email or letter within ten (10) working days.
3. Submit revisions –The Building Official or designee will review the revisions within five (5) working days of submittal, and once it is confirmed by staff that the plans and submittal documents are sufficient for review, a notice by email or letter will be sent to the applicant.

4. Preparation of staff report – the Building Official or designee will prepare a report to the Planning & Zoning Board or Board of Adjustment describing the project and compliance with applicable Town Codes.
5. Public Hearing – as appropriate to the application type, the submittal documents and staff report will be transmitted to the Planning & Zoning Board, Board of Adjustment and/or Town Commission for public hearing. As provided in the Town Code, the appropriate reviewing body will approve, approve with conditions, or deny the application after consideration of the staff report, testimony of the applicant and of the general public.
6. Building permits – only after approval by the appropriate reviewing body will the Applicant be allowed to submit for a building permit.

5. SITE PLAN AMENDMENTS

Any changes to the approved site plan which increase square footage, traffic or parking demand or patterns, propose to change or reduce screening or buffering to lower intensity uses, or other similar changes which affect development intensity/density or impacts on adjacent uses shall require resubmittal and review.



**TOWN OF MELBOURNE BEACH
DEVELOPMENT APPLICATION**

I. SUBMITTAL REQUIREMENTS:

1. Fees per current schedule.
2. Deed to property.
3. Pre-Application meeting is mandatory. Contact the Building Official or Building Clerk to submit information required and to schedule a pre-application meeting.
4. Application deadlines are determined annually by the Boards and will be provided at the pre-application meeting.
5. All applicants must complete pages 1-3 and the section(s) as applicable to the request (refer to section II. below). All materials listed in the applicable sections must be provided, and fees paid.

II. REQUEST:

- | | |
|---|--|
| <input type="checkbox"/> Land Use Plan Amendment | <input type="checkbox"/> Rezoning |
| <input checked="" type="checkbox"/> Special Exception | <input type="checkbox"/> Coastal Construction Variance |
| <input type="checkbox"/> Variance | <input type="checkbox"/> Appeal (Application must be filed within 30 days) |
| <input type="checkbox"/> Site Plan Review Single Family (1RS, 2RS, 3RS) | <input type="checkbox"/> Site Plan Review Multifamily (4RM, 5RMO) |
| <input type="checkbox"/> Site Plan Review Commercial (6B, 7C, 8B, 9I) | <input type="checkbox"/> Amendment to the Land Development Code |
| | <input type="checkbox"/> Other (specify) _____ |

III. PROPERTY INFORMATION:

General Location: Near corner of Riverside Drive and Ocean Av.

Address: 520 Ocean Ave and 518 Ocean Ave, Melbourne Beach, FL

Parcel Number(s): 28-38-07-01-3-20 and 28-38-07-01-3-19

Area (in acreage): 0.2 and 0.41 Area (in square feet): 26572 sf

8B - Residential

Current Zoning: Business District Proposed Zoning: same

8B - Residential

Current Future Land Use: Business District Proposed Future Land Use: same

Brief Description of Application: We request to approval to shift the Special Exception approval from 518 Ocean Avenue to 520 Ocean Avenue and to build the new parking lot with similar dimensions to the existing parking lot.

Date of Mandatory Pre-Application Meeting (attach meeting minutes if applicable): May 4, 2023

IV. APPLICANT INFORMATION:

Property Owner

Name: CHA LLC AND DCH, LLC

Phone: 321-591-7406

Address: 249 5th Avenue

Fax: _____

Indialantic, FL 32903

Email: 1000djon@gmail.com

Applicant (if other than property owner)

Name: Erin Trauger, P.E.

Phone: 321-652-5316

Address: 2210 Front Street, Suite 204

Fax: _____

Melbourne, FL 32901

Email: Erin.Trauger@gmail.com

V. OWNER AUTHORIZATION:*

The undersigned hereby affirms the following:

- 1. That I/we are the fee simple title owner/contract purchaser (circle one) of the property described in this application.
- 2. That I/we have read and understands the entire application and concurs with the request.
- 3. That I/we have appointed the Applicant to represent the application, and empowers the Applicant to accept any and all conditions of approval imposed by the Town of Melbourne Beach.

Signature: *Djon Pepay*

Date: 5/30/23

Print Name: DJON PEPAY

Title: OWNER

*Must sign in front of notary.

State of Florida
County of Brevard.

The foregoing application is acknowledged before me this 30 day of May, 2023, by Djon Pepay who is/are personally known to me or who has/have produced _____ as identification.

Abigail Rae Moll
Signature of Notary Public, State of Florida



VI. APPLICANT CERTIFICATION:*

I/we affirm and certify that I/we understand and will comply with the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the application and support documents are fully complete and comply with the requirements of the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the statements and/or diagrams made on any paper or plans submitted here with are true to the best of my/our knowledge and belief that this application, attachments and application filing fees become part of the official public record of the Town of Melbourne Beach, Florida and are not returnable or refundable.

Under penalties of perjury, I/we declare that I/we have read the foregoing application and that to the best of my/our knowledge and belief the facts stated in the application are true.

Signature: [Handwritten Signature]

Date: 5/30/23

Print Name: Erin Trauger, P.E.

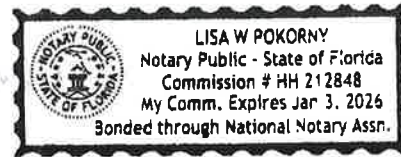
Title: PE Engineer

*Must sign in front of notary.

State of Florida
County of Brevard.

The foregoing application is acknowledged before me
this 30 day of May, 2023, by Erin Trauger
who is/are personally known to me, or who has/have produced FDL
as identification.

[Handwritten Signature]
Signature of Notary Public, State of Florida



VII. PROJECT DESCRIPTION:

Describe Application: See attached.

Provide attachment if more space is needed.

Describe Existing Conditions: See attached.

Provide attachment if more space is needed.

Environmental/Natural/Historical Impacts – the applicant must provide information on the impacts of the proposed amendment to the Land Development Code on environmental/natural/historical resources including but not limited to wetlands, soils posing severe limitations to development, unique habitat, endangered wildlife and/or plant species, flood prone areas, and coastal zones/dune systems.

n/a

Provide attachment if more space is needed.

Public notification – Payment for all appropriate processing fees and charges will be made at the time of the application and at any other time as set forth by the Town Commission or Resolution. Payment by the applicant shall include all costs necessary for giving of any public notice as required by state or local law.

*** Provide twelve (12) copies of the completed application and all supporting documentation.**

Special Exception*

Site and architectural plans elevations of all faces of a building and an overhead view shall be submitted with all special exception applications that include a **new building(s), facade renovations, or substantial improvements to an existing building**. The drawings shall be submitted in color and at the minimum shall include:

- Sealed and signed survey of existing improvements. All elevations should be NGVD/NAVD or Comparable for FEMA reference. (Include Lot Dimensions, Square footage & Coverage Percentage)
- Architectural elevations showing:
 - Proposed architectural style.
 - Exterior construction material specifications.
 - Color charts.
- A site plan pursuant to the requirements of Section 7A-51/7A-51.1.
- Structure dimensions and setbacks from all property lines.
- Refuse service area location.
- Mechanical outdoor equipment location.
- Master outdoor lighting plan.
- Screening devices.
- Master signage plan.
- Master landscaping and irrigation plan.
- Wall or fence details.
- Stormwater Management

Narrative – the applicant shall provide a narrative that explains how the use and the development will be compatible with surrounding uses in its function, its hours of operation, the type and amount of traffic to be generated, building size and setbacks, its relationship to land values and other factors that may be used to measure compatibility.

See attached.

Provide attachment if more space is needed.

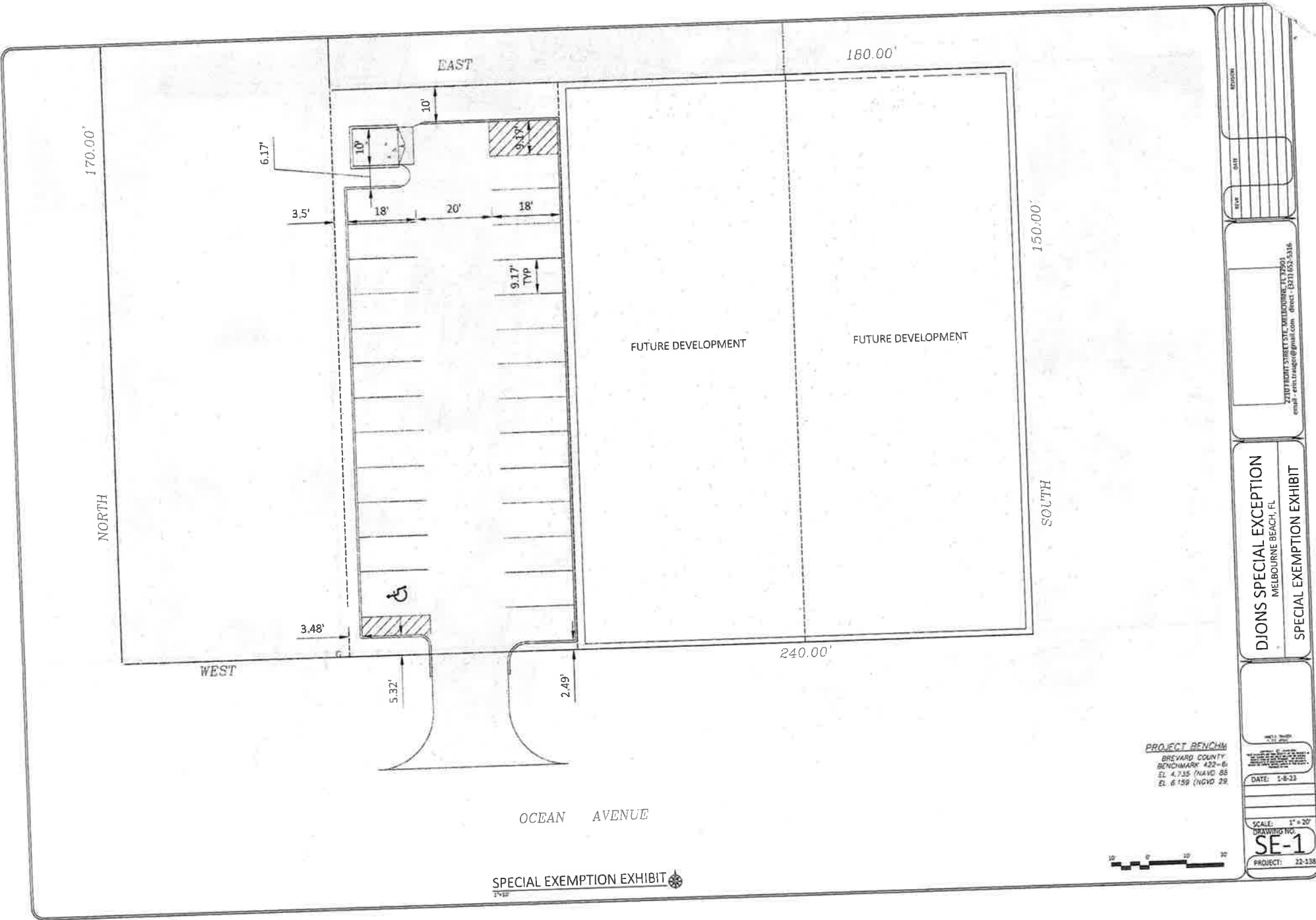
Special Exception Applications for space in an **existing building** must provide the following information:

- Survey of existing improvements.
- Architectural elevations showing:
 - Existing/proposed architectural style.
 - Existing/proposed exterior construction material specifications.
 - Existing/proposed exterior color.
- A site plan showing any proposed site improvements as described pursuant to the requirements of Section 7A-51/7A-51.1.
- Structure dimensions and setbacks from all property lines.
- Existing/proposed refuse service area location.
- Existing/proposed mechanical outdoor equipment location.

- Existing/proposed outdoor lighting layout.
- Existing/proposed screening and buffering.
- Existing/proposed signage.
- Existing/proposed landscaping and irrigation.
- Existing/proposed Wall or fence details.
- Stormwater Management

Public notification – As required by code for the respective applications, the applicant must provide a map showing the subject site and all properties within a 500' radius. The applicant must also provide self-addressed envelopes with the Town's return address for each property owner within that 500' radius for purposes of providing notice to property owners of record. A sign must also be posted on the property within the timeframes required to provide additional public notification as required by Code.

*** Provide twelve (12) copies of the completed application and twelve (12) 11X17 copies of all supporting documentation.**



PROJECT BENCHMARK
 BREVARD COUNTY
 BENCHMARK 422-6
 EL. 4.735 (NAVD 85)
 EL. 6.159 (NGVD 29)

DATE: 1-8-23
 SCALE: 1" = 20'
 DRAWING NO.
SE-1
 PROJECT: 22-138

DIONS SPECIAL EXEMPTION
 MELBOURNE BEACH, FL
SPECIAL EXEMPTION EXHIBIT

2210 FRONT STREET, STE. 100, MELBOURNE, FL 32951
 email - erictrauge@gmail.com direct (321) 653-5316

SPECIAL EXEMPTION EXHIBIT



Town Commission Meeting

Section: New Business
Meeting Date: July 19, 2023
From: PW Director Tom Davis
RE: Creation of a Veterans Memorial Park

Background Information:

The only Veterans recognition memorial that the Town currently has is a small granite marker at the flag pole at Town Hall. We found that between Town Staff Members and their families, there are 96 persons who served. I suspect that there are many residents who also proudly served Our Country in the military. We do not know the number of our Residents who served or who have family members who served but I suspect we would be surprised at how high that number would be.

With the number of visitors we have in our Town, I feel certain that a significant number of Veterans and/or family members of Veterans compose those visitors. A memorial park would be a nice addition. Circle Park is a large open area that is vacant of any equipment or structures. If we were to place a nice memorial in that park I feel that would be a more appropriate "recognizable" show of appreciation for those who served.

Recommendation:

Approval to proceed with a plan to create a Veterans Park for our Town.

Attachments:

Photos of some memorials





Town Manager Report for July 2023

1. Building Official and I met with Cynthia from Veritas to discuss the possibility of Veritas filling in for the Building Official while on vacation, etc.
2. Met with Clearwave Fiber to discuss their entrance into the Greater Melbourne fiber optics market and the impact to our residents.
3. Received a request from the Girl Scouts to develop Triangle Park. The approval would include a pathway planted with succulents since there isn't a water source at the park. A more detailed plan will be provided in the fall when the Girl Scout meetings resume.
4. Attended the excellent 4th of July event sponsored by the Melbourne Beach Fire Associations.
5. Met with Town Attorney Repperger, Building Official Bitgood and resident Warren Mall to discuss variance orders, corner lot setbacks and public records requests.
6. Attended Planning and Zoning meeting for one site plan review (passed).
7. Attended budget workshop.
8. Installed historical photos in the dormitory side of the old Post Office.

JJULY 2023 TASK LIST

ITEM	OPENED	DUE DATE	CLOSED	REQUESTOR	ASSIGNED TO
<i>Evaluate street ends for suitability for kayak and paddleboard launch</i>	4/5/2023	6/28/2023	6/28/2023	Wyatt Hoover	
DATE	DIRECTION/NOTES				
5/17/2023	Public Works Director – Provided photos and spoke about the street ends First through Sixth which has large coquina rocks. Fifth Ave is the best option.				
4/5/2023	Added to Action Items – Have Town Staff look at and evaluate the remaining street end accesses for suitability to add resources for kayaks and paddleboards				
ITEM	OPENED	DUE DATE	CLOSED	REQUESTOR	ASSIGNED TO
<i>Parking Stickers</i>	3/15/2023	7/19/2023		Wyatt Hoover	
DATE	DIRECTION/NOTES				
6/28/2023	Town Manager – Waiting on the mockup, concept is smaller, circle, one color background with the year on it. Look into why they turn brown				
4/19/2023	Town Manager – When people come in they are being told that the sticker is switching to a yearly sticker; the new sticker will be smaller and have a solid color with the year. Bring a draft of the sticker in June.				
3/15/2023	Added to Action Items – Timing for when residents can start requesting the new sticker, look at alternate vendors for the sticker for higher quality, and how to differentiate the sticker from year to year.				
ITEM	OPENED	DUE DATE	CLOSED	REQUESTER	ASSIGNED TO
S.E.A. PROJECT	2/17/2021	7/19/2023		Mayor Hoover	Town Manager
Date	Directions/Notes				
3/15/2023	Put on the Town Commission Workshop				
1/18/2023	Town Manager – Waiting on the concept drawings from Bowman.				
11/16/2022	TM – Next step is the concept drawings and sidewalks Corey Runte – Get a quote from the Town’s secondary civil engineering company				
9/21/2022	Waiting to hear back from BSE				
7/20/2022	TM – The workshop is scheduled for August 24 th at 6:30 pm.				

JJULY 2023 TASK LIST

6/15/2022	Town Manager – Spoke with Neal, 2 proposed dates in August, bring final date next month				
5/18/2022	Town Manager – additional parking spots are done, planting in Bicentennial Park was done, new poles along Ocean Ave are in the works. The next big-ticket item is underground retention for stormwater Mayor Hoover – FDOT will be doing their portion of A1A fiscal year 2026. Schedule a public workshop in July.				
04/20/2022	Town will have a tent during Founders Day to discuss the S.E.A. Vision and get feedback from the residents. Waiting on estimates for new Town signs from Fast Signs. Flowers planted at the very north end of Bi-Centennial. Flowers also planted around Ryckman House. Established 4 more spaces for golf cart parking.				
2/16/2022	Town Manager Mascaro has met with the resident volunteer and they are currently working on the plan – she will provide another update again in March. Mayor Hoover suggested researching FDOT funding for Bicentennial Park and making it an entrance to the Town with a more impressive sign.				
1/17/2022	Vision statement was approved. An update will be given at February RTCM.				
12/15/2021	Update at January RTCM with Dix Height information.				
10/20/2021	Discussed during meeting in depth. Update at Nov. RTCM				
9/15/21	Currently working on RFP for gardening services and will present it at next RTCM as an agenda item. TM has not been able to make contact with Susan Hall				
8/18/2021	Added landscaping of Parks to Action item – and discussed RFP for landscaping services				
7/21/2021	Check in with Susan (include VM Barton) and update at August RTCM				
6/16/2021	Commission will no longer pursue FDOT grant but will continue research of other funding and grants.				
4/21/2021	Commission approved increasing payment. Grant will be awarded in June. Update July RTCM				
3/17/2021	VM Barton researched FDOT landscape grant. Commission approved \$5,000 to begin landscape design process with an architectural designer. Discuss at April TCW and April RTCM.				
2/17/2021	Explore grants, etc. Discuss at TCW on March 3, 2021				
12/2/2020	<i>Mayor Hoover suggested they do the necessary research and reach out to landlords and business owners, starting with the area east of the traffic light on both sides of the road north and south – and then meet again to discuss in February. Plan for workshops with business owners and PNZ involvement</i>				
12/16/2020	<i>Commissioner Walters requested the Town research a better microphone system, including the option of wireless microphones. He feels the sound quality of the current microphones is very poor. Dual timers were also requested by the Commission (we have one and need one more).</i>				
ITEM	OPENED	DUE DATE	CLOSED	REQUESTER	ASSIGNED TO

JJULY 2023 TASK LIST

Options and costs for live streaming	9/21/2022	7/19/2023		Joyce Barton	Town Clerk
DATE	DIRECTION/NOTES				
5/17/2023	Town Clerk – Working with a company that assists with RFPs and finding companies that do the work.				
3/15/2023	Town Clerk – Spoke with an individual who is familiar with audio/visual equipment and wanted to get a feel for the price range prior to spending time looking into products. Commission decided to send this out for RFP.				
1/18/2023	Town Clerk – Contacted several companies who advised not interested, cannot get the products, or didn't respond. Will start contacting individuals that use audio visual equipment rather than companies.				
11/16/2022	Town Clerk - contacted other municipalities to see how they stream and what they use and also reaching out to private companies. This item ties into the upgrades to the audio system that was approved, but not done yet to make sure the systems are compatible.				
9/21/2022	Added to Action Items				
ITEM	OPENED	DUE DATE	CLOSED	REQUESTOR	ASSIGNED TO
Sixth Ave boat ramp improvements	8/17/2022	8/16/2023		Commissioner Runte	Town Manager/ PW Director
DATE	DIRECTION/NOTES				
6/28/2023	Look into grant opportunities				
3/15/2023	Put on the Town Commission Workshop				
2/15/2023	Tom Davis- met with Bowman Engineering at Sixth Ave boat ramp to get them to draw something up				
1/18/2023	Tom Davis – installed the geogrid and painted the wall, considering installing a kayak rack Commissioner Corey Runte – come up with future vision plans and get concept drawings/proposals to beautify it and address parking				
11/16/2022	Joyce Barton – Spoke about possible grant options Corey Runte – Research funding options Mayor Hoover – Start with fixing the seawall				
9/21/2022	Discussed under new business agenda item D.				
8/17/2022	Research what the exact issue is with parking that prevents the Town from getting grant money				

JJULY 2023 TASK LIST

ITEM	OPENED	DUE DATE	CLOSED	REQUESTOR	ASSIGNED TO
<i>Lifeguard coverage</i>	<i>3/15/2023</i>	<i>9/20/2023</i>		Wyatt Hoover	
DATE	DIRECTION/NOTES				
<i>6/28/2023</i>	Town Manager – Met with County Manager, waiting on the County Commission. Corey Runte – Asked to look into the cost of having our own lifeguard program.				
<i>5/17/2023</i>	Town Manager – Fire Chief Gavin Brown is the liaison for this. Right now the Brevard County Commission is looking into it				
<i>3/15/2023</i>	Added to Action Items – Fact finding related to funding from other municipalities, open a dialogue with Indialantic, reach out to US Lifesaving Association and Florida Beach Patrol to see what other heavy-traffic beaches are doing, make sure flag signs are up to date, options and costs to get a lifeguard at our beach year round.				