

# Town of Melbourne Beach

## PUBLIC NOTICE

### AGENDA

## PLANNING & ZONING BOARD MEETING TUESDAY, May 2, 2023 @ 6:30 pm COMMUNITY CENTER – 509 OCEAN AVENUE

#### **Board Members:**

Chairman David Campbell  
Vice-Chairman Kurt Belsten  
Member April Evans  
Member Douglas Hilmes  
Member Daniel Gonzalez

#### **Alternate Board Members**

Alternate Dan Harper  
Alternate Gabor Kishegyi

#### **Staff Members:**

Town Manager Elizabeth Mascaro  
Town Clerk Amber Brown  
Town Attorney Clifford Repperger  
Building Official Robert Bitgood

PURSUANT TO SECTION 286.0105, FLORIDA STATUTES, THE TOWN HEREBY ADVISES THE PUBLIC THAT: In order to appeal any decision made at this meeting, you will need a verbatim transcript of the proceedings. It will be your responsibility to ensure such a record is made. Such person must provide a method for recording the proceedings verbatim as the Town does not do so.

In accordance with the Americans with Disability Act and Section 286.26, Florida Statutes, persons needing special accommodations for this meeting shall, at least 5 days prior to the meeting, contact the Office of the Town Clerk at (321) 724-5860 or Florida Relay System at 711.

**1. CALL TO ORDER**

**2. ROLL CALL**

**3. APPROVAL OF MINUTES**

A. March 7, 2023 minutes

**4. NEW BUSINESS**

A. Site plan approval for 415 Sixth Ave – new home

**5. PUBLIC HEARINGS**

**6. OLD BUSINESS**

**7. PUBLIC COMMENT**

Please limit comments to items that are not on the agenda

**8. REPORTS: TOWN MANAGER AND TOWN ATTORNEY**

**9. ITEMS TO BE ADDED TO THE AGENDA FOR FUTURE MEETINGS**

**10. ADJOURNMENT**

# Town of Melbourne Beach

## MINUTES

### PLANNING & ZONING BOARD MEETING TUESDAY, MARCH 7, 2023 @ 6:30 pm COMMUNITY CENTER – 509 OCEAN AVENUE

#### **Board Members:**

Chairman David Campbell  
Vice-Chairman Kurt Belsten  
Member April Evans  
Member Douglas Hilmes  
Member Daniel Gonzalez  
Alternate Dan Harper  
Alternate Gabor Kishegyi

#### **Staff Members:**

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**1. CALL TO ORDER**

Chairman David Campbell called the meeting to order at 6:31 p.m.

**2. ROLL CALL**

Town Clerk Amber Brown conducted the roll call

**Present:**

Chairman David Campbell  
 Vice-Chairman Kurt Belsten  
 Member April Evans  
 Member Douglas Hilmes  
 Alternate Dan Harper  
 Alternate Gabor Kishegyi

**Staff Present:**

Town Manager Elizabeth Mascaro  
 Town Attorney Clifford Repperger  
 Building Official Robert Bitgood  
 Town Clerk Amber Brown

**Absent:**

Member Daniel Gonzalez

**3. APPROVAL OF MINUTES**

A. February 7, 2023 minutes

**Member April Evans made a motion to approve the February 7, 2023 minutes; Vice Chairman Kurt Belsten seconded; Motion carried 5-0.**

**4. NEW BUSINESS**

A. Site plan approval for 401 Atlantic St – garage addition

Alternate Dan Harper asked about this site plan requesting a coastal construction variance as well.

Building Official Robert Bitgood spoke about all coastal construction having to get Board of Adjustment approval prior to going to Planning and Zoning.

Site Civil Engineer Clayton Bennett spoke about the coastal construction line and the 1986 line. The Town and DEP require a variance for any construction seaward of the 1986 line which was approved at the Board of Adjustment meeting last month.

Member April Evans asked to include some type of documentation that the Board of Adjustment approved the variance in future packets.

**Member April Evans moved to approve the site plan for 401 Atlantic St subject to the execution of the variance; Vice Chairman Kurt Belsten seconded; Motion carried 5-0.**

B. Site plan approval for 214 Surf Rd – building addition

**Member April Evans moved to approve the site plan for 214 Surf Rd; Vice Chairman Kurt Belsten seconded; Motion carried 5-0.**

C. Site plan approval for 210 Second Ave – cabana accessory structure

**Member Douglas Hilmes moved to approve the site plan for 210 Second Ave; Member April Evans seconded; Motion carried 5-0.**

D. Site plan approval for 320 Avenue A – garage accessory structure

Alternate Dan Harper asked if the accessory structure can be wider than the main residence.

Building Official Robert Bitgood spoke about the accessory structure can be wider it just cannot be taller or have more square footage than the primary structure and has to meet the setbacks.

Member Douglas Hilmes asked about the rear setback being 16.08, but doesn't it need to be at least 25 feet.

Chairman David Campbell spoke about the setback being 25 feet for the main structure and 15 for accessory structures.

**Member Douglas Hilmes moved to approve the site plan for 320 Avenue A; Member April Evans seconded; Motion carried 5-0.**

## 5. PUBLIC HEARINGS

A. Second reading of Ordinance 2023-01 – Landscaping and Trees Section 9A

Town Attorney Clifford Repperger read Ordinance 2023-01

**AN ORDINANCE OF THE TOWN OF MELBOURNE BEACH, BREVARD COUNTY, FLORIDA, AMENDING; APPENDIX “A” OF THE TOWN CODE OF ORDINANCES OF MELBOURNE BEACH, THE LAND DEVELOPMENT CODE; AMENDING CHAPTER 9A REGARDING LANDSCAPING AND TREES; SPECIFICALLY AMENDING SECTION 9A-4, PERMIT REQUIRED FOR CUTTING DOWN TREE; SPECIFICALLY AMENDING SECTION 9A-5, APPLICATION FOR PERMIT; REVIEW OF APPLICATION; SPECIFICALLY AMENDING SECTION 9A-6, ON-SITE INSPECTION; SPECIFICALLY AMENDING SECTION 9A-7, MINIMUM TREE PLANTINGS; SPECIFICALLY AMENDING SECTION 9A-10, EXCEPTIONS; SPECIFICALLY AMENDING SECTION 9A-12, PENALTY; AMENDING ARTICLE IV, CHAPTER 7A, SUPPLEMENTARY DISTRICT REGULATIONS; SPECIFICALLY AMENDING SECTION 7A-53, FENCES AND WALLS; SPECIFICALLY AMENDING SECTION 7A-58, VISION CLEARANCE AT CORNERS; PROVIDING A SEVERABILITY/INTERPRETATION CLAUSE; PROVIDING FOR**

**CODIFICATION; PROVIDING FOR REPEAL OF CONFLICTING ORDINANCES AND RESOLUTIONS; PROVIDING FOR AN EFFECTIVE DATE; AND PROVIDING AN ADOPTION SCHEDULE.**

Town Attorney Clifford Repperger spoke about this ordinance having the first reading at the last Planning and Zoning Board meeting and it being tabled until this meeting. Then it went for the first reading to the Town Commission in February where it was passed subject to the recommendation from Planning and Zoning at the second reading. Town Attorney Clifford Repperger spoke about the amendments to the ordinance and the changes after first reading at the Town Commission Meeting

- Amends Section 9A-4 to require permitting, removal standards, and exempt trees posing an unacceptable risk in accordance with Florida Law.
- Amends Section 9A-5 regarding number of tree removal plans required.
- Amends Section 9A-6 to provide for dimensions for replacement trees and justification for removal permits.
- Amends Section 9A-7 to revise minimum tree plantings for new construction and to add maintenance and replacement requirements.
- Amends Section 9A-10 to provide for clarified exemptions in accordance with State Law.
- Amends Section 9A-12 to provide for enhanced penalties for mature tree removal without a permit.
- Amends Section 7A-53 to allow for fences/walls extending beyond the front building line on residential lots abutting A1A and Oak Street south of Ocean Avenue to be erected to a maximum height of six (6) feet with required plantings and corner lot limitations.

Town Attorney Clifford Repperger spoke about the yellow highlighted sections being the modifications from the Town Commission on the first reading.

- 9A-4 modified the language regarding unacceptable risk
- 9A-6 additional language was added to clarify unreasonably restricts
- 9A-7 added section (d) Maintenance of trees and landscaping
- 7A-53 added section (iii) regarding gates not encroaching into any right-of-way

Chairman David Campbell asked if sea grapes are considered a tree and if someone had to take out a lot of them to build their house would they have to replace all of them to the point of not having any room to build.

Building Official Robert Bitgood spoke about sea grapes having offshoots from the main tree that would not be counted. Knowing trees and how to count them is important.

Alternate Dan Harper spoke about some confusion regarding tree density, so he thinks there should be a definition of tree density. Having a replacement of tree for tree puts a tough burden on the resident. Would add oak for oak replacement. Staying with the current guidance would give the building department latitude to

work with the resident. As far as the penalties go the dollar amount should be specified. Safeguard oaks but allow existing homes some flexibility.

Kurt Belsten asked about section 9A-12 which uses the words similar tree, what is a similar tree.

Town Attorney Clifford Repperger spoke about the intent of this section is to allow Code Enforcement to qualify it for enhanced penalties.

Chairman David Campbell spoke about striking the words similar tree. Our code does not specify what trees are allowed and what trees are not, or where to go to find that information.

Alternate Gabor Kishegyi spoke about listing what trees need a permit.

Building Official Robert Bitgood spoke about state statutes defining what trees are good, and if the Town made a list it would be exhaustive.

Vice Chairman Kurt Belsten spoke about just specifying the penalty for mature oak trees and no penalties for other trees.

Chairman David Campbell, Member Douglas Hilmes, Alternate Dan Harper, and Member April Evans were in agreeance to remove penalties for all trees other than mature oak trees.

Town Attorney Clifford Repperger spoke about the enhanced fine is to allow the special magistrate to consider enhanced penalties. This does not mean there will be a \$5,000.00 penalty for removing a tree. It gives the magistrate the authority to levy a penalty up to that amount based on the circumstances that would be presented in a separate hearing process by which the violator would be given due process and notice and opportunity to be heard and a hearing. Then the magistrate would consider first if there is a violation in the first place then if there is a violation then what the penalty should be. The special magistrate is an independent individual that functions like a judge in code enforcement hearings. When staff, the enforcement official, brings a case they have to provide the homeowner a notice of violation and notice of hearing. Then a hearing is held and the Town presents the case and the respondent has the opportunity to address it and provide counter-evidence and be represented by counsel similar to a mini-trial at the end the magistrate would find that there is or is not a violation and what the penalty would be.

Alternate Dan Harper proposed a change to section 9A-7c to remove the sentence "any trees that are removed for new construction shall be replaced by the same or similar species" Recommends defining density as trees per square foot of permeable area and maintaining it before and after construction.

Town Attorney Clifford Repperger spoke about in practice this will be part of the site plan approval.

The Board agreed to recommend the following changes: limit the penalty to mature oaks, define tree density, and remove the first sentence in section 9A-7c.

Member Douglas Hilmes spoke about the fence/wall section 7A-53(2) that allows for a six-foot wall all the way up to the water. He is concerned about a six-foot concrete wall being allowed up to the water line and obstructing the view of neighbors. A lot of other municipalities only allow a four-foot fence within twenty-five feet of the water line and we should have that as well.

Town Attorney Clifford Repperger read 7A-53(9) and spoke about the Town Commission did not have any directive to amend that section, so this is what the current code is.

Member Douglas Hilmes spoke about adding a section specific to fences/walls along the side property lines that within twenty-five feet of the waterway there is a maximum height of four feet.

**Alternate Dan Harper made a motion to change 9A-12 to have a penalty for mature oak trees only, and to modify section 9A-7c to eliminate the first sentence about any trees so it is just applicable to oak trees, add a definition for tree density with the proposed definition of trees per square foot of permeable area, modify 7A-53(2)a to say fences on side property lines for the last 25 feet for properties on any body of water may only be erected for up to four feet; Vice Chairman Kurt Belsten seconded; Motion carried 5-0.**

B. Second reading of Ordinance 2023-02 – Second Kitchens

Town Attorney Clifford Repperger read Ordinance 2023-02

**AN ORDINANCE OF THE TOWN OF MELBOURNE BEACH, BREVARD COUNTY, FLORIDA, AMENDING; APPENDIX “A” OF THE TOWN CODE OF ORDINANCES OF MELBOURNE BEACH, THE LAND DEVELOPMENT CODE; AMENDING SECTION 1A-3 TO ADD THE DEFINITION FOR KITCHEN OR KITCHEN FACILITY; AMENDING CHAPTER 7A REGARDING SECOND KITCHENS; SPECIFICALLY AMENDING SECTION 7A-31, SECTION 7A-32, AND SECTION 7A-33 TO PERMIT SECOND KITCHENS IN 1-RS, 2-RS, AND 3-RS ZONING DISTRICTS; CREATING SECTION 7A-72 TO PROVIDE SUPPLEMENTARY DISTRICT REGULATIONS FOR SECOND KITCHENS IN SINGLE FAMILY RESIDENTIAL DISTRICTS; PROVIDING A SEVERABILITY/INTERPRETATION CLAUSE; PROVIDING FOR CODIFICATION; PROVIDING FOR REPEAL OF CONFLICTING ORDINANCES AND RESOLUTIONS; PROVIDING FOR AN EFFECTIVE DATE; AND PROVIDING AN ADOPTION SCHEDULE.**

Town Attorney Clifford Repperger spoke about this ordinance being considered during the February 7, 2023 Planning and Zoning meeting and the Board voted to recommend approval of the proposed ordinance. The ordinance then went to the Town Commission which passed the ordinance on the first reading on February 15, 2023. The ordinance that is in this package is different than what the Board



previously saw. Between the February Planning and Zoning meeting and the Town Commission meeting, we reviewed the original directives from the Town Commission and received feedback from the Commissioners on the version that was presented which needed to be amended to match the Commission's directives. The amended version allows for the second kitchen to be in separate quarters that are connected by a common wall or common roof. Right now you cannot have separate dwelling quarters on any lot, but you can have them as long as it is connected to the principal structure with a common wall or common roof line. He read the revised section 7A-72(1). The question about the allowance of a second kitchen turning a single-family dwelling unit into a multifamily dwelling unit was brought to the Town Commission who requested to have the Town Planner Corey O'Gorman look into that concern.

Town Attorney Clifford Repperger read part of Corey O'Gorman's response "Based on the above, with the 2<sup>nd</sup> kitchen either architecturally integrated into the existing single-family home or connected by a common wall or common roof it is consistent with the definition of the principal structure and would not be an accessory structure. In addition, with the restrictions including service by a single water / electric meter and residency by no more than one family, this is consistent with the definition of a "dwelling unit" constituting a single unit. Consequently, as written the proposed addition of a 2<sup>nd</sup> kitchen would remain a single-family home as defined by the Town Code and would not result in the conversion of single-family homes into multi-family structures."

Alternate Dan Harper spoke about his concern of people turning it into a vacation rental. Who polices the homestead provision.

Town Attorney Clifford Repperger spoke about the Property Appraiser being responsible for homestead exemptions.

Member Douglas Hilmes spoke about his concern with section 7A-72(3) conflicting with State Law.

Town Attorney Clifford Repperger spoke about not being able to prohibit them or regulate the duration due to State Law. The Town adopted a regulatory ordinance that requires registration of vacation rentals. Owner-occupied properties are exempt from the Town's vacation rental ordinance and can do short-term rentals without having to register. This ordinance is allowing for second kitchens on the property, but if you don't meet the requirements you cannot have the second kitchen.

Building Official Robert Bitgood spoke about anyone being able to rent out any space even just a room within the principal structure.

Town Attorney Clifford Repperger spoke about the Town Commissions' directive was always to allow for the second kitchen in the separate living quarters. You can currently have separate living quarters connected to the principal structure you just cannot have a kitchen. This would allow for the second kitchen.

**Vice Chairman Kurt Belsten made a motion to approve Ordinance 2023-02 second kitchens; Member April Evans seconded; Motion carried 3-2 with Alternate Dan Harper and Member Douglas Hilmes dissenting.**

6. OLD BUSINESS
7. PUBLIC COMMENT
8. REPORTS: TOWN MANAGER AND TOWN ATTORNEY
9. ITEMS TO BE ADDED TO THE AGENDA FOR FUTURE MEETINGS
10. ADJOURNMENT

**Member April Evans moved to adjourn; Vice Chairman Kurt Belsten seconded; Motion carried 5-0.**

The meeting adjourned at 8:01 p.m.

ATTEST:

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David Campbell, Chairman

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Amber Brown, Town Clerk



**TOWN OF MELBOURNE BEACH  
DEVELOPMENT APPLICATION**

**I. SUBMITTAL REQUIREMENTS:**

1. Fees per current schedule.
2. Deed to property.
3. Pre-Application meeting is mandatory. Contact the Building Official or Building Clerk to submit information required and to schedule a pre-application meeting.
4. Application deadlines are determined annually by the Boards and will be provided at the pre-application meeting.
5. All applicants must complete pages 1-3 and the section(s) as applicable to the request (refer to section II. below). All materials listed in the applicable sections must be provided, and fees paid.

**II. REQUEST:**

- |                                                                                    |                                                                            |
|------------------------------------------------------------------------------------|----------------------------------------------------------------------------|
| <input type="checkbox"/> Land Use Plan Amendment                                   | <input type="checkbox"/> Rezoning                                          |
| <input type="checkbox"/> Special Exception                                         | <input type="checkbox"/> Coastal Construction Variance                     |
| <input type="checkbox"/> Variance                                                  | <input type="checkbox"/> Appeal (Application must be filed within 30 days) |
| <input checked="" type="checkbox"/> Site Plan Review Single Family (1RS, 2RS, 3RS) | <input type="checkbox"/> Site Plan Review Multifamily (4RM, 5RMO)          |
| <input type="checkbox"/> Site Plan Review Commercial (6B, 7C, 8B, 9I)              | <input type="checkbox"/> Amendment to the Land Development Code            |
|                                                                                    | <input type="checkbox"/> Other (specify) _____                             |

**III. PROPERTY INFORMATION:**

General Location: \_\_\_\_\_

Address: 415 Sixth Ave, Melbourne Beach, FL 32951

Parcel Number(s): 28-38-07-FY-32-3

Area (in acreage): .31 Area (in square feet): 13,503.60

Current Zoning: 0010 - Vacant Residential Land Proposed Zoning: \_\_\_\_\_

Current Future Land Use: \_\_\_\_\_ Proposed Future Land Use: \_\_\_\_\_

Brief Description of Application: We demoed the home that was on the lot and we are rebuilding a new home

Date of Mandatory Pre-Application Meeting (attach meeting minutes if applicable): ASAP



**IV. APPLICANT INFORMATION:**

Property Owner

Name: BGL Investments LLC

Phone: 321-508-2152

Address: 2087 Samo Rd

Fax: \_\_\_\_\_

Melbourne, FL 32935

Email: jason@stanleyhomesinc.com

Applicant (if other than property owner)

Name: \_\_\_\_\_

Phone: \_\_\_\_\_

Address: \_\_\_\_\_

Fax: \_\_\_\_\_

\_\_\_\_\_

Email: \_\_\_\_\_

**V. OWNER AUTHORIZATION:\***

The undersigned hereby affirms the following:

1. That I/we are the fee simple title owner/contract purchaser (circle one) of the property described in this application.
2. That I/we have read and understands the entire application and concurs with the request.
3. That I/we have appointed the Applicant to represent the application, and empowers the Applicant to accept any and all conditions of approval imposed by the Town of Melbourne Beach.

Signature: *Denise Stanley*

Date: 3/6/2023

Print Name: Denise Stanley

Title: Vice President

\*Must sign in front of notary.

State of Florida  
County of Brevard.

The foregoing application is acknowledged before me this 6<sup>th</sup> day of March, 2023 by Denise Stanley Florida Dr. Lic. who is/are personally known to me, or who has/have produced as identification.

*Kim R. Kotsifas*  
Signature of Notary Public, State of Florida



**VI. APPLICANT CERTIFICATION:\***

I/we affirm and certify that I/we understand and will comply with the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the application and support documents are fully complete and comply with the requirements of the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the statements and/or diagrams made on any paper or plans submitted here with are true to the best of my/our knowledge and belief that this application, attachments and application filing fees become part of the official public record of the Town of Melbourne Beach, Florida and are not returnable or refundable.

Under penalties of perjury, I/we declare that I/we have read the foregoing application and that to the best of my/our knowledge and belief the facts stated in the application are true.

Signature: [Handwritten Signature] Date: 3/6/2023

Print Name: Denise Stanley Title: Vice President

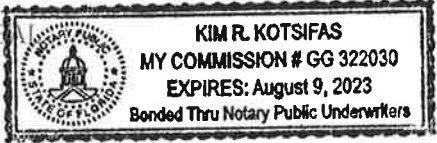
\*Must sign in front of notary.

State of Florida  
County of Brevard.

The foregoing application is acknowledged before me this 6 day of March, 2023, by Denise Stanley, Florida Drivers license who is/are personally known to me, or who has/have produced a Florida Drivers license as identification.

[Handwritten Signature]  
Signature of Notary Public, State of Florida

NOTARY SEAL



**VII. PROJECT DESCRIPTION:**

Describe Application: We demoed the home that was on the lot and we are rebuilding a new home

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
Provide attachment if more space is needed.

Describe Existing Conditions: Vacant Land

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
Provide attachment if more space is needed.

### Site Plan for Single Family Development

A site plan must be reviewed and evaluated by the Town Engineer, Building Official and or Zoning Official and Planning and Zoning Board and approved by the Town Commission. The applicant shall provide the following in support of their application for site plan approval of a single family home:

1. Narrative description of proposed improvements and demolitions.
2. Two (2) Sealed Surveys of the existing conditions prepared by a professional surveyor. All elevations should be NGVD/DAVD or Comparable for FEMA reference. (Include Lot Dimensions, Square footage & Coverage Percentage)
  - a. All existing structures (including but not limited to outbuildings, sheds, pools, etc), major features, trees and fences shall be fully dimensioned, including the height of all structures and the distance between principal and accessory structures on site and the distance between structures and driveways, and property or lot lines.
3. Two (2) Professionally prepared plans in compliance with Ordinance 2019-06 showing the following:
  - a. Name, location, owner, and designer of the proposed development and the intended use
  - b. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties
  - c. Date, north arrow, and graphic scale (not less than one inch equals 20 feet)
  - d. Location of all property lines, existing streets adjacent to the subject property, easements, as well as proposed driveways and general lot layout
  - e. All existing and/or proposed structures, major features, and fences shall be fully dimensioned, including the height of all structures and the distance between principal and accessory structures on site and the distance between structures and driveways, and property or lot lines
  - f. Site data providing all information needed to confirm compliance with zoning regulations including "required" and "provided" information:
    - i. Proposed principal use and/or any proposed accessory uses
    - ii. Lot size and dimensions
    - iii. Lot coverage to include square footage of primary structure, pool, decks, driveways, accessory buildings, walkways, patios, paver areas, concrete (must demonstrate all impervious areas).
    - iv. Proposed living area square footage (e.g., square footage under air), and square footage of any other spaces including garage, covered entries, covered porches, screen rooms, etc.
    - v. Number of enclosed parking spaces
    - vi. Setbacks from all property lines
    - vii. Number of stories
    - viii. Floor plan – a fully dimensioned floor plan shall be provided depicting all existing and/or proposed spaces corresponding to the square footages on the site data breakdown above.
    - ix. Architectural elevations of each building façade professionally prepared plan drawn to scale and depicting the height dimension of the proposed structure, construction, or expansion or redevelopment thereof.
    - x. Landscaping & irrigation plan
4. Drainage Site Plan showing flow paths and retention areas to meet certification requirements. (3A-80 & 7A-51.1)

**Ten (10) 11X17 Complete sets of plans (all information as outlined in item 3 above) including a copy of the survey both existing and proposed and the Drainage Site Plan.**

### Site Plan for duplex, multi-family, and/or commercial

A site plan must be reviewed and evaluated by the Town Engineer, Building Official and or Zoning Official and Planning and Zoning Board and approved by the Town Commission. The applicant shall provide the following in support of their application for site plan approval of a single family home:

1. Narrative description of proposed improvements and demolitions.
2. Survey of the existing conditions prepared by a professional surveyor. All elevations should be NGVD/NAVD or Comparable for FEMA reference. (Include Lot Dimensions, Square footage & Coverage)
  - a. All existing structures (including but not limited to outbuildings, sheds, pools, etc), major features, trees and fences shall be fully dimensioned, including the height of all structures and the distance between principal and accessory structures on site and the distance between structures and driveways, and property or lot lines.
3. Two (2) Professionally prepared plans in compliance with Ordinance 2019-06 showing the following:
  - a. Name, location, owner, and designer of the proposed development and the intended use
  - b. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties
  - c. Date, north arrow, and graphic scale (not less than one inch equals 20 feet)
  - d. Location of all property lines, existing streets adjacent to the subject property, easements, as well as proposed driveways and general lot layout
  - e. All existing and/or proposed structures, major features, and fences shall be fully dimensioned, including the height of all structures and the distance between principal and accessory structures on site and the distance between structures and driveways, and property or lot lines
  - f. Site data providing all information needed to confirm compliance with zoning regulations including "required" and "provided" information:
    - i. Proposed principal use and/or any proposed accessory uses
    - ii. Lot size and dimensions
    - iii. Lot coverage to include square footage of primary structure, pool, decks, driveways, accessory buildings, walkways, patios, paver areas, concrete (must demonstrate all impervious areas).
    - iv. Proposed living area square footage (e.g., square footage under air), and square footage of any other spaces including garage, covered entries, covered porches, screen rooms, etc.
    - v. Number of enclosed parking spaces
    - vi. Setbacks from all property lines
    - vii. Number of stories
    - viii. Height of structure
    - ix. Floor plan – a fully dimensioned floor plan shall be provided depicting all existing and/or proposed spaces corresponding to the square footages on the site data breakdown above.
    - x. Architectural elevations of each building façade professionally prepared plan drawn to scale and depicting the height dimension of the proposed structure, construction, or expansion or redevelopment thereof.
    - xi. Landscaping and irrigation plan
4. Drainage Site Plan showing flow paths and retention areas to meet certification requirements. (3A-80 & 7A-51.1)
5. Ten (10) 11X17 Complete sets of plans (all information as outlined in item 3 above) including a copy of the survey both existing and proposed and the Drainage Site Plan.



## TOWN OF MELBOURNE BEACH

### Administrative Procedure

#### *Development Application Processing*

#### 1. PURPOSE

The purpose of this administrative procedure is to ensure that the development application processing is predictable for applicants; that regulations are uniformly and equitably enforced; and that all applications are complete and comply with applicable sections of the land development regulations prior to processing for public hearing.

#### 2. APPLICABILITY

This administrative procedure shall apply to all applications which require submission of a site plan for review by Town Staff, Planning & Zoning Board, Board of Adjustment, and/or Town Commission, including but not necessarily limited to the following:

- Applications for site plan approval of single-family homes as per Section 7A-51/7A-51.1
- Applications for site plan approval for multi-family, commercial, institutional and all other site plans as per Section 7A-51/7A-51.1
- Applications for plat approval (Land Use and Rezoning)
- Applications for Special Exception
- Applications for Variance or Coastal Variance
- Applications for Appeal (Mandatory Pre-Application Meeting does not apply)

#### 3. MANDATORY PRE-APPLICATION MEETING

Prior to formally submitting any application to the Town staff, the applicant is required to schedule a pre-application meeting. The purpose of the pre-application meeting is for the applicant to review conceptual or preliminary project information with Building Department Staff and receive information about the process to present to the appropriate Board.

Submit one (1) original plan and schedule with staff a pre-application meeting.

#### 4. FORMAL APPLICATION

After the Pre-Application meeting, the applicant may make a formal application; the process shall include the following steps:

1. Submittal – the applicant shall provide the application along with the required information, plans and copies.
2. Review for sufficiency – the Building Official or designee will review for sufficiency to ensure that all of the required information and documents are provided. If this review finds that the application does not address all required items, an email or letter will be prepared detailing those missing items and sent to the applicant via email or letter within ten (10) working days.
3. Submit revisions –The Building Official or designee will review the revisions within five (5) working days of submittal, and once it is confirmed by staff that the plans and submittal documents are sufficient for review, a notice by email or letter will be sent to the applicant.



4. Preparation of staff report – the Building Official or designee will prepare a report to the Planning & Zoning Board or Board of Adjustment describing the project and compliance with applicable Town Codes.
5. Public Hearing – as appropriate to the application type, the submittal documents and staff report will be transmitted to the Planning & Zoning Board, Board of Adjustment and/or Town Commission for public hearing. As provided in the Town Code, the appropriate reviewing body will approve, approve with conditions, or deny the application after consideration of the staff report, testimony of the applicant and of the general public.
6. Building permits – only after approval by the appropriate reviewing body will the Applicant be allowed to submit for a building permit.

#### **5. SITE PLAN AMENDMENTS**

Any changes to the approved site plan which increase square footage, traffic or parking demand or patterns, propose to change or reduce screening or buffering to lower intensity uses, or other similar changes which affect development intensity/density or impacts on adjacent uses shall require resubmittal and review.



# TOWN OF MELBOURNE BEACH

BREVARD COUNTY'S OLDEST BEACH COMMUNITY ESTABLISHED 1883

## Site Plan Review

### Applicable Codes

Town of Melbourne Beach Land Development Code

Current Florida Building Code

**Date: 3-14-23**

**Owner: Denise Stanley**

**Owner Address: 2087 Sarno Rd. Melbourne Fl. 32935**

**Site Address: 415 Sixth Ave. Melbourne Bch. Fl. 32951**

**Parcel ID: 28-38-07-FY-32-3**

**Zoning: 3RS                  Zoning District 3RS**

**Project: New Residential Home**

**Reference: Town of Melbourne Beach Code of Ordinances: 7A-33.**

**Request: Approval by the Planning and Zoning Board and the Town Commission for**

**Staff Review:**

- 1).The project is: Residential New Home
- 2). The Building Lot Zoning District requirements of min. lot area, width and depth.
  - Lot area is 13,500' sq. ft. (min. 10,000 sq. ft.)
  - Lot width is 90' (min. 90 ft.)
  - Lot depth is 150' (min. 100 ft.)
- 3). Lot coverage has a maximum of 30% for principle structure.
  - Lot coverage per plan is: 26.7%
  - Footprint of Primary Structure is 3,603 sq. ft. with the new Home.
  - Max allowed for Primary Structure is 3,950 sq. ft. for Lot Area of 13,500 sq. ft.
  - Minimum pervious area per lot is 30%. Pervious area is 41.9 %
- 4). Structure maximum height for zoning district is 28 ft.
  - The proposed height provided is \_\_\_\_\_ from FFE.
  - Flood Zone: 27'1" \_\_\_\_\_

**5). Zoning District Setback requirements**

<b>Proposed Primary Structure Rear Setback</b>	<b>29'1"</b>	<b>(min. 25 ft.)</b>
<b>Proposed Primary Structure Front Setback</b>	<b>is 25'</b>	<b>(min. 25 ft.)</b>
<b>Proposed Primary Structure West Side Setback</b>	<b>15'</b>	<b>(min. 15 ft.)</b>
<b>Proposed Primary Structure East Side Setback</b>	<b>15'</b>	<b>(min. 15 ft.)</b>

**6). Sediment and erosion control measures shall be met and approved by the Building Official in accordance with the Town of Melbourne Beach's Code of Ordinances, Chapter 27 Stormwater and the current Florida Building Code.**

**7). On-site stormwater retention control measures shall be met and approved by the Building Official in accordance with the Town of Melbourne Beach's Code of Ordinances, Chapter 27 Stormwater and the current Florida Building Code.**

**8). Town Engineer will submit a review of the drainage plan per Ordinance 2019-06. The Town Engineer will require a final inspection before a Certificate of Occupancy will be issued. This applies to new home construction and construction values greater than 50% of the existing structure. Minimum landscaping standards will be met.**

**Based on the above review, I find the proposed site plan for the referenced property is in compliance with The Town of Melbourne Beach Code of Ordinances.**

**Robert Bitgood  
Building Official**

**320 Avenue A**

<b>IMPERVIOUS</b>		<b>PERVIOUS</b>	
Primary Structure	3,603	Shed space	
Pool	1,440	Open areas	
Decks		Other	
Driveway			
Accessory Bldg			
Concrete areas	412	<b>TOTAL PERVIOUS</b>	<b>42</b>
Paver areas, Driveway	2,385		
Other			
<b>TOTAL IMPERVIOUS</b>	<b>58.10%</b>	<b>Lot Total Sq Footage</b>	<b>13,500</b>
		<b>TOTAL % PERVIOUS</b>	<b>42%</b>

# STORMWATER REPORT

FOR

**415 SIXTH AVENUE RESIDENCE**

MELBOURNE BEACH, FLORIDA

PREPARED BY:



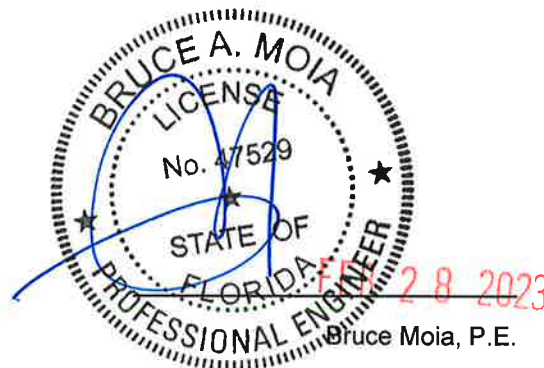
CIVIL ■ STRUCTURAL ■ SURVEYING ■ ENVIRONMENTAL

1250 W. Eau Gallie Blvd., Unit L  
Melbourne, Florida 32935  
321.253.1510 ■ Fax: 321.253.0911  
[www.mbveng.com](http://www.mbveng.com)

CA#3728

CERTIFICATE OF AUTHORIZATION NUMBER: 3728

ENGINEERS PROJECT #: 21-1121



Bruce Moia, P.E.

FL PE #47529

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1. VICINITY MAP
2. LOCATION MAP
3. INTRODUCTION
4. EXISTING CONDITIONS
5. POST DEVELOPMENT CONDITIONS
6. REQUIRED TREATMENT VOLUME

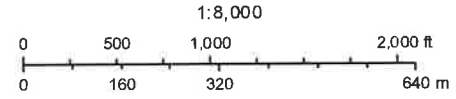
## APPENDICES

- A. DATA & CALCULATIONS
- B. SOILS REPORT



**1.0**

**VICINITY MAP**



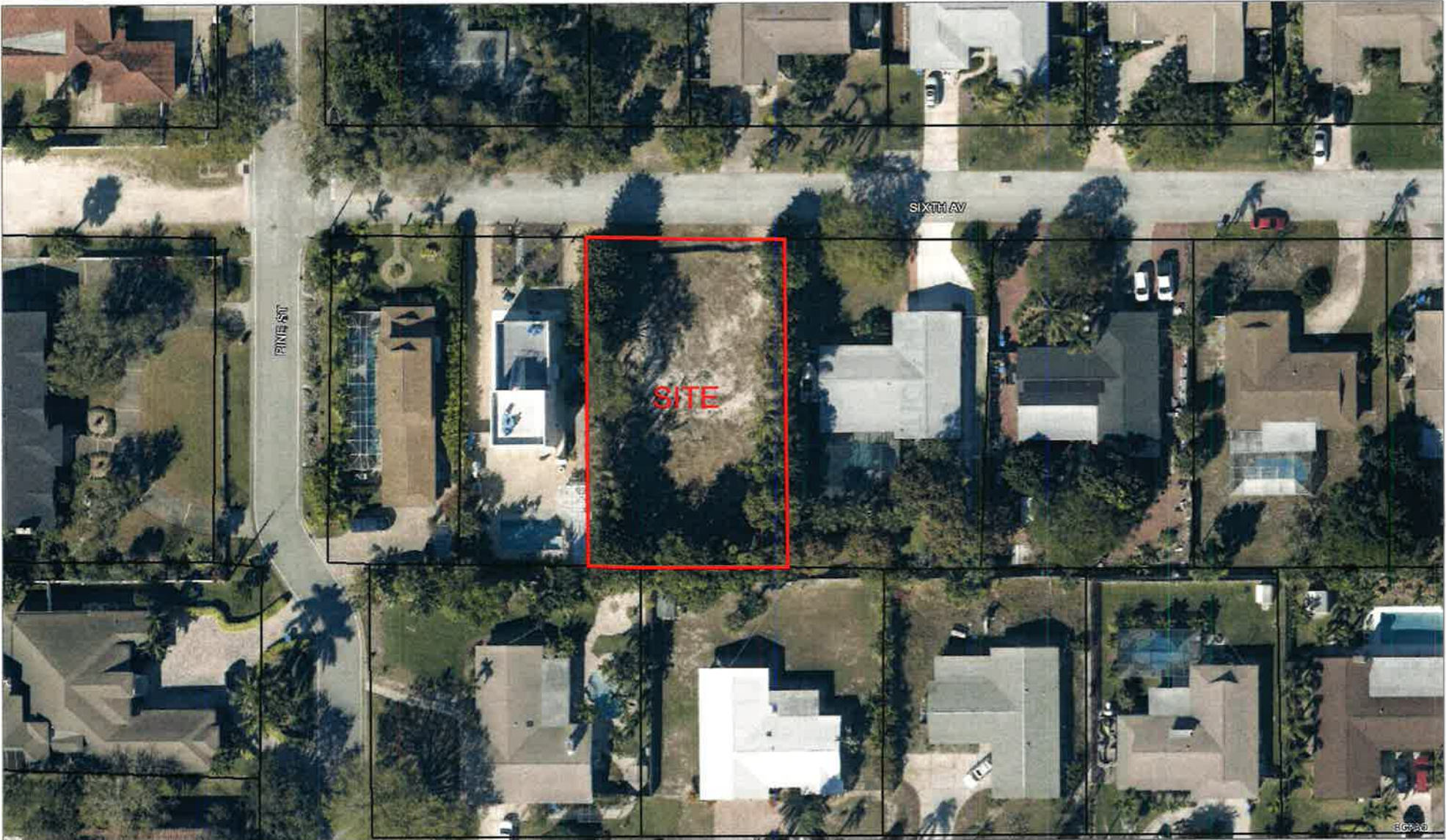
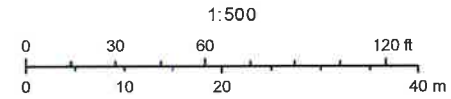
All BCPAO maps and/or map applications are maintained for assessment and illustrative purposes only and do not represent surveys, plats, or any other legal instrument. Likewise, measurement and location tools are for assessment and illustrative purposes only and do not necessarily reflect real-world conditions. Due to the nature of Geographic Information Systems (GIS) and cadastral mapping, map layers may not precisely align and may not represent precise location, shape, and/or legal boundaries. Only a Florida-licensed surveyor can determine legally-relevant property boundaries, elevation, distance, area, and/or location in Florida.

Map created December 12, 2022 (map data dates may vary)



**2.0**

**LOCATION MAP**



All BCPAO maps and/or map applications are maintained for assessment and illustrative purposes only and do not represent surveys, plats, or any other legal instrument. Likewise, measurement and location tools are for assessment and illustrative purposes only and do not necessarily reflect real-world conditions. Due to the nature of Geographic Information Systems (GIS) and cadastral mapping, map layers may not precisely align and may not represent precise location, shape, and/or legal boundaries. Only a Florida-licensed surveyor can determine legally relevant property boundaries, elevation, distance, area, and/or location in Florida.

Map created December 12, 2022 (map data dates may vary)

### **3.0 Introduction**

The goal of this report is to detail requirements of the stormwater treatment system for the proposed improvements. The proposed Stanley Residence improvements include a new single family house located at 415 Sixth Avenue in the Town of Melbourne Beach, Florida.

### **4.0 Existing Conditions**

The majority of the site has existed as an undeveloped lot of open grass void of trees. In reviewing the existing drainage patterns of the property, the property currently drains toward 6<sup>th</sup> Avenue for collection.

### **5.0 Proposed Conditions**

The proposed site improvements involve the construction of a single family house and one large drainage treatment area to provide for treatment volume required on the lot. Stormwater runoff created by the new impervious surface for this project will be collected on-site via overland flow and directed through the city swale to treat the stormwater runoff. The swale is proposed to continue to discharge to 6<sup>th</sup> avenue for collection as in the predevelopment condition. An additional component to the treatment volume provided is the permeability available within the existing soil area under the stormwater swale above the seasonal high water table. This volume is calculated based on the area of the swales, the depth to the season high water table and the porosity as estimated for the site. See soils report prepared by KSM dated December 29, 2022 for soils and water table information.

### **6.0 Required Treatment Volume Calculations**

A complete summary report has been provided in the attachments to include volume calculations for each swale provided to ensure the Town of Melbourne Beach requirements are met for the required treatment volume. Also included in those calculations is the value for soil permeability onsite. The following considerations were included in the evaluation.

- 8" of runoff from a 10yr/24 hour storm event has been provided over the lot area through a combination of surface and soil permeability.
- Welaka Sand has been determined to be the soils mapped according to the Soil Survey Map of Brevard County.
- A Season High Water Table of 24" below ground surface has been utilized to determine the minimum elevation of the pond bottom, which is to be a minimum of 12" above the SHWT elevation. An average of 18" is provided.

## **APPENDIX A**

### **DATA & CALCULATIONS**

**STORMWATER CALCULATIONS****Post-Development Drainage Basin Data: Type A Soils**

<b>Cover Type</b>	<b>Area (acres)</b>	<b>Coefficient</b>
Impervious	0.18	0.9
Pervious	0.13	0.2
Total/Weighted	0.31	0.6

**Overall Lot Area = (150' x 90') = 13,500 cu. ft.**

**Required Treatment Volume = 8 Inches over Lot Area = 9,000 cu. ft.**

**Stage / Storage Volume of Retention Swale:**

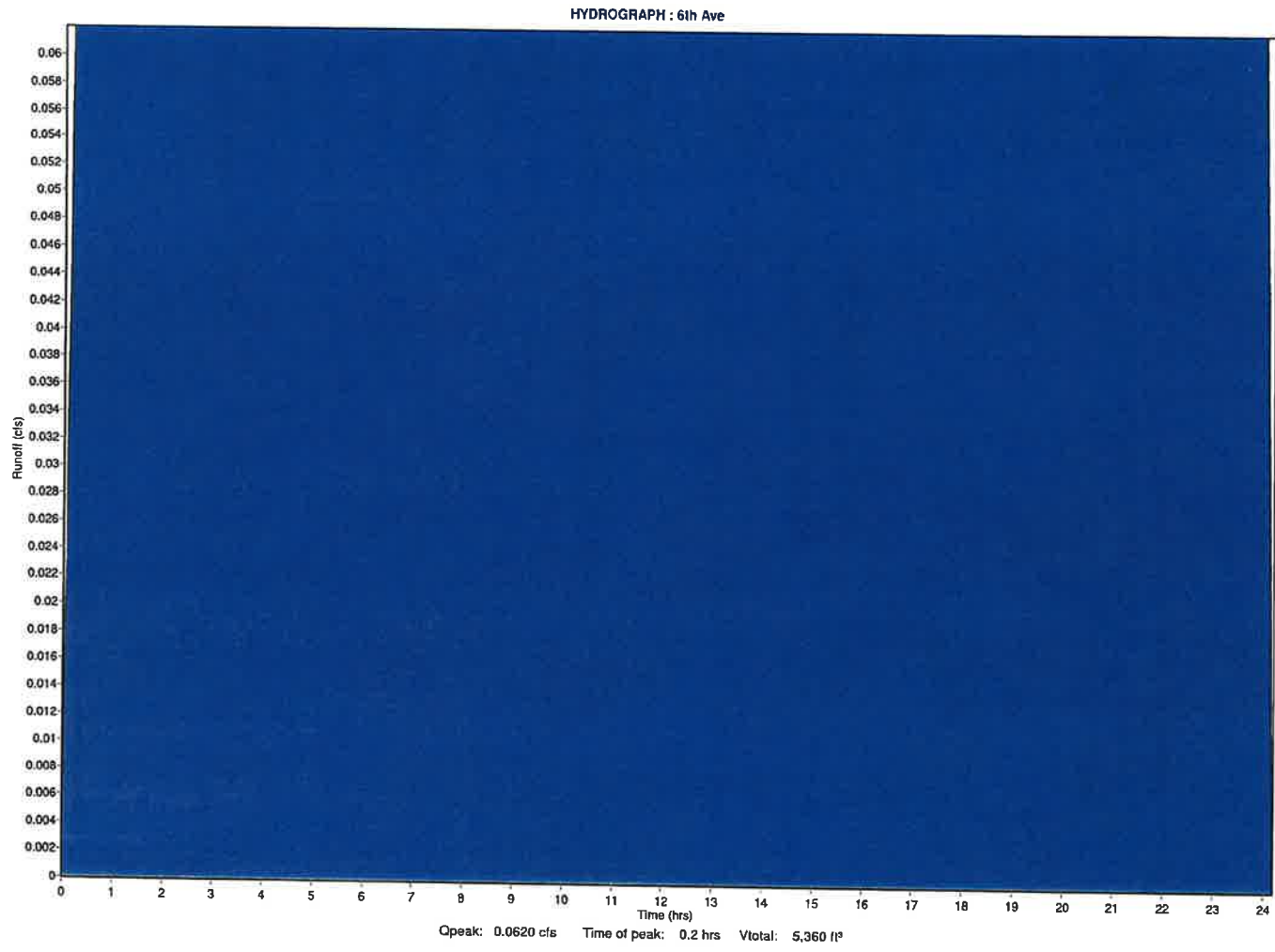
<b>Elevation (Feet)</b>	<b>Area (Sq. Ft)</b>	<b>Volume (Cu. Ft.)</b>	<b>Cumm. Volume (Cu. Ft.)</b>
6.50	2,960	627	1,028
6.25	2,256	401	401
6.00	1,152	0	0

# MODRET

## HYDROGRAPH DATA INPUT - RATIONAL HYDROGRAPH METHOD

**Project Name : 6th Ave**

Contributing Basin Area	0.31 ac.
Runoff Coefficient C	0.60
Time of Concentration	10.00 min.
Rainfall Depth	8.00 in.
Storm Duration	24.00 hrs



# MODRET

## SUMMARY OF UNSATURATED & SATURATED INPUT PARAMETERS

**PROJECT NAME : 6th Ave**  
**POLLUTION VOLUME RUNOFF DATA USED**  
**UNSATURATED ANALYSIS INCLUDED**

Pond Bottom Area	1,152.00 ft <sup>2</sup>
Pond Volume between Bottom & DHWL	1,028.00 ft <sup>3</sup>
Pond Length to Width Ratio (L/W)	10.00
Elevation of Effective Aquifer Base	-9.00 ft
Elevation of Seasonal High Groundwater Table	4.50 ft
Elevation of Starting Water Level	6.00 ft
Elevation of Pond Bottom	6.00 ft
Design High Water Level Elevation	6.50 ft
Avg. Effective Storage Coefficient of Soil for Unsaturated Analysis	0.08
Unsaturated Vertical Hydraulic Conductivity	30.60 ft/d
Factor of Safety	2.00
Saturated Horizontal Hydraulic Conductivity	33.30 ft/d
Avg. Effective Storage Coefficient of Soil for Saturated Analysis	0.30
Avg. Effective Storage Coefficient of Pond/Exfiltration Trench	1.00

**Hydraulic Control Features:**

	Top	Bottom	Left	Right
<b>Groundwater Control Features - Y/N</b>	N	N	N	N
Distance to Edge of Pond	0.00	0.00	0.00	0.00
Elevation of Water Level	0.00	0.00	0.00	0.00
<b>Impervious Barrier - Y/N</b>	N	N	N	N
Elevation of Barrier Bottom	0.00	0.00	0.00	0.00



# MODRET

## TIME - RUNOFF INPUT DATA

PROJECT NAME: 6TH AVE

STRESS PERIOD NUMBER	INCREMENT OF TIME (hrs)	VOLUME OF RUNOFF (ft <sup>3</sup> )
Unsat	0.19	138.24
1	1.00	5,221.76
2	0.58	0.00
3	0.58	0.00
4	0.58	0.00
5	0.58	0.00
6	0.58	0.00
7	0.58	0.00
8	0.58	0.00
9	0.58	0.00
10	0.58	0.00
11	0.58	0.00
12	0.58	0.00
13	0.58	0.00
14	0.58	0.00
15	0.58	0.00
16	0.58	0.00
17	0.58	0.00
18	0.58	0.00
19	0.58	0.00
20	0.58	0.00
21	0.58	0.00
22	0.58	0.00
23	0.58	0.00
24	0.58	0.00
25	0.58	0.00
26	0.58	0.00
27	0.58	0.00
28	0.58	0.00

# MODRET

## SUMMARY OF RESULTS

PROJECT NAME : 6th Ave

CUMULATIVE TIME (hrs)	WATER ELEVATION (feet)	INSTANTANEOUS INFILTRATION RATE (cfs)	AVERAGE INFILTRATION RATE (cfs)	CUMULATIVE OVERFLOW (ft <sup>3</sup> )
00.00 - 0.00	4.500	0.000 *		
			0.00000	
0.00	4.500	0.36408		
			0.36408	
1.19	7.850	0.36408		0.00
			0.36408	
1.77	7.477	0.36408		0.00
			0.36408	
2.36	7.104	0.28145		0.00
			0.19882	
2.94	6.900	0.16398		0.00
			0.12913	
3.53	6.768	0.11926		0.00
			0.10939	
4.11	6.656	0.10210		0.00
			0.09480	
4.70	6.559	0.08916		0.00
			0.08353	
5.28	6.473	0.07902		0.00
			0.07452	
5.87	6.397	0.07083		0.00
			0.06715	
6.45	6.328	0.06407		0.00
			0.06100	
7.04	6.266	0.05839		0.00
			0.05579	
7.62	6.208	0.05356		0.00
			0.05133	
8.21	6.156	0.04940		0.00

# MODRET

## SUMMARY OF RESULTS

PROJECT NAME : 6th Ave

CUMULATIVE TIME (hrs)	WATER ELEVATION (feet)	INSTANTANEOUS INFILTRATION RATE (cfs)	AVERAGE INFILTRATION RATE (cfs)	CUMULATIVE OVERFLOW (ft <sup>3</sup> )
			0.04747	
8.79	6.107	0.04578		0.00
			0.04409	
9.38	6.062	0.04261		0.00
			0.04113	
9.96	6.020	0.03981		0.00
			0.03849	
10.26	6.000	0.03732		0.00
			0.03614	
11.13	5.944	0.03509		0.00
			0.03403	
11.72	5.909	0.03308		0.00
			0.03213	
12.30	5.876	0.03126		0.00
			0.03040	
12.89	5.845	0.02961		0.00
			0.02883	
13.47	5.815	0.02811		0.00
			0.02739	
14.06	5.787	0.02672		0.00
			0.02606	
14.64	5.760	0.02545		0.00
			0.02484	
15.23	5.735	0.02428		0.00
			0.02371	
15.81	5.711	0.02319		0.00
			0.02267	
16.40	5.687	0.02218		0.00

# MODRET

## SUMMARY OF RESULTS

PROJECT NAME : 6th Ave

CUMULATIVE TIME (hrs)	WATER ELEVATION (feet)	INSTANTANEOUS INFILTRATION RATE (cfs)	AVERAGE INFILTRATION RATE (cfs)	CUMULATIVE OVERFLOW (ft <sup>3</sup> )
			0.02170	
16.98	5.665	0.02125		0.00
			0.02079	
17.57	5.644	0.02037		0.00
			0.01995	
18.15	5.624	0.01955		0.00
			0.01916	
18.74	5.604	0.01879		0.00
			0.01842	
19.32	5.585	0.01807		0.00
			0.01772	
19.91	5.567	0.01740		0.00
			0.01707	
20.49	5.549	0.01676		0.00
			0.01645	
21.08	5.533	0.01616		0.00
			0.01587	
21.66	5.516	0.01560		0.00
			0.01532	
22.25	5.501	0.01507		0.00
			0.01481	
22.83	5.485	0.01456		0.00
			0.01432	
23.42	5.471	0.01408		0.00
			0.01385	
24.00	5.457			0.00

Maximum Water Elevation: 7.850 feet @ 1.19 hours

Recovery @ 10.259 hours

\* Time increment when there is no runoff

Maximum Infiltration Rate: 15.300 ft/day

## **APPENDIX B**

### **SOILS REPORT**

Headquarters  
11345 U.S. Highway 1  
Sebastian, FL. 32958  
Orlando  
723 Progress Way  
Sanford, FL. 32771



Mailing  
P.O. Box 78-1377  
Sebastian, FL. 32978  
Phone: 772-589-0712  
C.A. # 5693  
KSMengineering.net

Stanley Homes & General Const. Inc.  
Jason Stanley  
2087 Sarno Rd., Ste #200  
Melbourne, Florida 32935

December 29, 2022

Re: **415 Sixth Avenue**  
**Melbourne Beach, Florida**  
**KSM Project #: 2211140-p**

Dear Mr. Stanley:

As requested, KSM performed a site investigation at the above referenced property. The intent of our investigation was to estimate specific aquifer parameters at certain test locations.

#### Scope of Work and Professional Service Agreement:

The scope of work and the agreement to perform a geotechnical exploration was provided by KSM's December 13, 2022, proposal to Stanley Homes Inc, in care of Mr. Jason Stanley.

#### Site Description:

Location & Physiography – The project site was located in Melbourne Beach, Florida. At the time of drilling, the site was found to be fairly flat. Surface elevation data available via Google Earth indicates that the land surface was approximately 6 to 7 feet NGVD. There were scattered pieces of concrete as a result of the prior demolition, and vegetation on the site consisted mostly of light surface ground cover vegetation.

NRCS Surficial Soil Information – Mapping of this area of Florida that was performed by the USDA, Natural Resources Conservation Service (NRCS) indicates that the following USDA soil mapping units were identified:

- **72: Welaka Sand - Welaka sand**

For additional information, please refer to the attached soil survey map.

#### Project Description:

The following information is based, in part, on our review of the Boundary Survey plan sheet, which was provided to KSM by Kane Surveying, Inc., dated November 14, 2022. If this document has been superseded, or if any changes have been made to this plan sheet, please contact KSM to submit the current plan sheets, so we can make any adjustments and revise this report, if and as necessary.

Residential Structure and Pool - It is our understanding that a single-story, single-family residence and pool are planned to be constructed on the site.

415 Sixth Avenue  
Melbourne Beach, Florida  
KSM Project #: 2211140-p



The scope of our study consisted of the following tasks:

1. Performed soil borings within the approximate limits of the site.
2. Measured the depth to the surface of the groundwater body at each boring.
3. Performed in-field "Usual Open Hole Test" procedures, at selected locations within the proposed site.
4. Collected soil samples necessary to estimate aquifer parameters.
5. Reviewed the soil samples and field soil boring logs (by a geotechnical engineer) in our laboratory.
6. Evaluated the discovered subsurface conditions with respect to the proposed project and prepared recommendations delineating estimated aquifer parameters.
7. Prepared this report to document our findings.

Site Investigation:

Subsurface Testing – KSM's site investigation program consisted of performing the following exploration operations and field tests:

- One (1) Standard Penetration Test (SPT) boring, which was terminated at an approximate depth of 15 feet below the existing ground surface. The boring was performed within the approximate limits of the site.
- One (1) Hand Auger (HA) boring, which was terminated at an approximate depth of 6 feet below the existing ground surface. The boring was performed within the approximate limits of the site.

SPT Boring – The SPT boring was performed in general accordance with procedures described in ASTM D-1586.

HA Boring – The HA boring was performed using a bucket auger tool to advance the borehole and to return disturbed samples of the soils. The drilling was performed in general accordance with the procedures delineated in ASTM D1452.

Soil Classification – The field soil boring logs and recovered soil samples were transported to KSM's office from the project site. Following the completion of the field exploration activities, visual and tactile examination of the soil samples was performed by a geotechnical engineer to identify the engineering classification of the soil samples that were obtained in the field exploration. The visual classification of the samples was performed in general accordance with the current United Soil Classification System (ASTM D 2487).

415 Sixth Avenue  
Melbourne Beach, Florida  
KSM Project #: 2211140-p



General Subsurface Soil Classification Summary – The following table outlines the general subsurface conditions that were encountered during our investigation. Refer to the boring logs and location map for specific information regarding our interpretation of the field boring logs.

Generalized Soil Profile	
Approximate Depth Below Grade (Feet)	Discovered Subsurface Conditions
0 to 12	Loose to medium-dense fine sand and fine sand with shell fragments
12 to 15	Medium-dense fine sand with cemented shell

Groundwater Surface Depths – Following the completion of each soil boring, the groundwater contained in the borehole was allowed to attain an equilibrium level, and the approximate depth to the surface of the groundwater was measured from existing ground surface. The measured depth was recorded in the field log. The depth to the surface of the groundwater was encountered at approximate depths ranging from 3.8 to 4.0 feet below existing grade. The variation of the depth to the surface of the groundwater is partly attributed to the variation of the land surface altitudes on the site. We anticipate that the water table will rise approximately 2 feet or less during the wet season.

The records of the soils encountered, the penetration resistances, and groundwater levels are documented on the attached boring logs.

Estimated Aquifer Parameters:

Factor of Safety – KSM has not applied a factor of safety to the estimated aquifer parameters within this report. The Engineer of Record is responsible for applying the appropriate factor(s) of safety to the estimated aquifer parameters contained within this report for use in their design. For any stratum where the estimated flow rate exceeds 10 inches per hour (20 feet per day), we recommend that a design flow rate equal to 10 in/hr (20 ft/day) is used.

Seasonal Groundwater Fluctuation – The following table indicates the recorded measurement taken from the existing grade to the encountered groundwater table for each test location along with our estimated depth normal wet season water table and normal dry season water table depths (below existing grade) for the test location. The measurements were taken after the borings were performed and the groundwater table was allowed to stabilize.

Estimated Normal Season Groundwater Table Fluctuation				
EX. 167. COMB ELEV.	Test Location (See Location Plan)	Depth (feet,') Below Existing Grade		
		Measured Encountered Groundwater Table	Estimated Normal Wet Season Water Table	Estimated Normal Dry Season Water Table
6.6	P-1, PB-1	3.8' <i>2.23</i>	2.0' <i>2.46</i>	5.0'
6.7	P-2, PB-2	4.0' <i>2.21</i>	2.3' <i>2.44</i>	5.3'



415 Sixth Avenue  
Melbourne Beach, Florida  
KSM Project #: 2211140-p



In-Field Testing – At the test location, a Usual Condition Test was performed in general conformance with the South Florida Water Management District described procedures for the 'Usual Open-Hole Test' method.

In-Field Testing – Estimated Aquifer Parameters	
Test Location (See Location Plan)	Hydraulic Conductivity (CFS/SF- Ft Head)
P-1	$7.8 \times 10^{-4}$
P-2	$7.8 \times 10^{-4}$

Laboratory Testing and Professional Judgement – Selected samples obtained from our site investigation were tested in our laboratory in general accordance with ASTM D2434.

Laboratory Testing – Estimated Aquifer Parameters			
Test Location (See Location Plan)	Horizontal Flow Rate (in/hr)	Vertical Flow Rate (in/hr)	Layer Depth (in)
P-1	33.3	30.6	6 – 26
	--	37.7	26 – 48
	--	10.3	48 – 60
P-2	38.5	33.5	0 – 44
	--	10.0	44 – 72

Flow Restrictive Stratum – Based on the results of our testing, we did not encounter a layer that exhibited the qualities of a flow restrictive stratum and should be assumed to be located at an approximate depth of 6 feet below existing grade in the tested locations.

Hydrologic Soil Group Classification – The hydrologic soil group classification was estimated based on our interpretation of the estimated aquifer parameters and guidance provided by the USDA National Engineering Handbook.

Hydrologic Soil Group Classification	
Test Location (See Location Plan)	Hydrologic Soil Group
P-1	A
P-2	A

Fillable Porosity – KSM estimates a fillable porosity of 30% can be used for the test locations.

415 Sixth Avenue  
Melbourne Beach, Florida  
KSM Project #: 2211140-p



Closure:

Recommendations and Opinions – The Designated Engineer of Record should attach this report to the Final Report that is part of the Permit.

The estimated aquifer parameters are based, in part, on our understanding of published peer reviewed resources and our interpretations and evaluations of the discoveries of our site investigation and lab results. If additional geotechnical parameters or recommendations are desired, please contact our office. Upon request KSM will provide a scope and fee for any requested additional services.

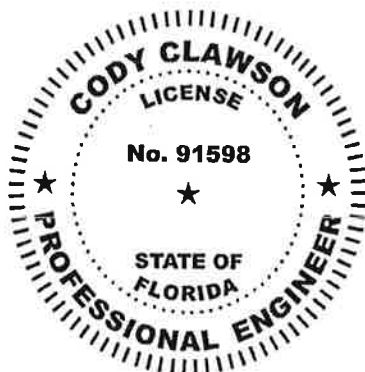
Standard of Care - This report has been prepared in accordance with generally accepted soil and foundation engineering practices based on the results of the test borings and the assumed loading conditions. The procedural standards noted in this report are in reference to methodology in general. In some cases, variations to methods were applied because of local practice or professional judgement. No warranties, either expressed or implied, are intended or made. This report does not reflect any variations which may occur between the borings. If variations appear evident during the course of construction, it would be necessary to re-evaluate the recommendations of this project.

Limitations - Environmental conditions, wetland delineation, karst activity, water quality, and municipal requirements are not a part of this report.

We are pleased to have been of assistance to you in this phase of your project. When we may be of further service to you or should you have any questions, please feel free to contact the office.

Respectfully,

*Robert Maxwell*  
Robert T. Maxwell, E.I.  
Geotechnical Engineer  
Florida E.I. No. 1100024249



This item has been electronically signed and sealed by Cody Clawson, P.E. FL Lic. 91598 on the date stated directly to the right using a digital signature.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Digitally  
signed by Cody  
C Clawson  
Date:  
2023.01.04  
11:53:36 -05'00'

Cody C. Clawson, P.E.  
Geotechnical Engineer  
Florida Lic. No. 91598

CCC/cv/RTM

Email to: [jason@stanleyhomesinc.com](mailto:jason@stanleyhomesinc.com)



KSM Engineering & Testing  
 P.O. Box 78-1377  
 Sebastian, FL 32978  
 Tel: (772)-589-0712  
 Fax: (772)-589-6469

**BORING NUMBER HA-1**  
 PAGE 1 OF 1

CLIENT Stanley Homes & General Const. Inc. PROJECT NAME 415 Sixth Avenue  
 PROJECT NUMBER 2211140-p PROJECT LOCATION Melbourne Beach, Florida  
 DATE STARTED 12/21/22 COMPLETED 12/21/22 GROUND ELEVATION \_\_\_\_\_ HOLE SIZE \_\_\_\_\_ inches  
 DRILLING CONTRACTOR \_\_\_\_\_ GROUND WATER LEVELS:  
 DRILLING METHOD \_\_\_\_\_ ∇ AT TIME OF DRILLING 3.8 ft  
 LOGGED BY DP CHECKED BY CCC AT END OF DRILLING \_\_\_\_\_  
 NOTES See Attached Location Plan AFTER DRILLING \_\_\_\_\_

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY % (RQD)	BLOW COUNTS (N VALUE)	PENETROMETER	DRY UNIT WT. (pcf)	▲ SPT N VALUE ▲					
								20	40	60	80		
0		Yellowish Brown Sand				20							
5	∇	Light Brown Sand with Some Shell Fragments				24							
						22							
						28							
						37							
						41							

Bottom of borehole at 6.0 feet.

GEOTECH|BH PLOTS - GINT STD US LAB.GDT - 12/29/22 09:10 - K:\KSM FILES\22 DOCS (KSM-SERVER)\2211140\SOIL INVESTIGATION\2211140-P.GPJ



KSM Engineering & Testing  
 P.O. Box 78-1377  
 Sebastian, FL 32978  
 Tel: (772)-589-0712  
 Fax: (772)-589-6469

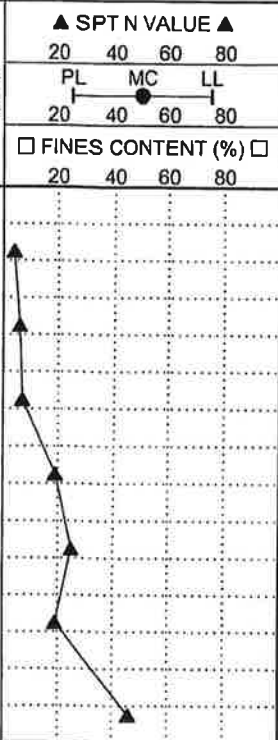
**BORING NUMBER PB-1**

PAGE 1 OF 1

CLIENT Stanley Homes & General Const. Inc. PROJECT NAME 415 Sixth Avenue  
 PROJECT NUMBER 2211140-p PROJECT LOCATION Melbourne Beach, Florida  
 DATE STARTED 12/27/22 COMPLETED 12/27/22 GROUND ELEVATION \_\_\_\_\_ HOLE SIZE \_\_\_\_\_ inches  
 DRILLING CONTRACTOR \_\_\_\_\_ GROUND WATER LEVELS:  
 DRILLING METHOD Split Spoon Sample ∇ AT TIME OF DRILLING 3.8 ft  
 LOGGED BY DP/EK CHECKED BY CCC AT END OF DRILLING --  
 NOTES See Attached Location Plan AFTER DRILLING --

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY % (RQD)	BLOW COUNTS (N VALUE)	PENETROMETER	DRY UNIT WT. (pcf)	▲ SPT N VALUE ▲				
								20	40	60	80	
0		Dark Gray Sand with Traces of Roots										
		Light Brown Sand	SS		1-2-2 (4)							
		Yellowish Brown Sand	SS		2-3-3 (6)							
5	∇	Light Brown Sand with Some Shell Fragments	SS		3-3-4 (7)							
			SS		6-8-11 (19)							
10			SS		11-12-13 (25)							
		Light Brown Sand with Cemented Shell	SS		7-8-11 (19)							
15			SS		17-21-25 (46)							

Bottom of borehole at 15.0 feet.



GEOTECH BH PLOTS - GINT STD US LAB.GDT - 12/29/22 09:10 - K:\KSM FILES\22 DOCS (KSM-SERVER)\2211140\SOIL INVESTIGATION\2211140-P.GPJ



KSM Engineering & Testing  
 P.O. Box 78-1377  
 Sebastian, FL 32978  
 Tel: (772)-589-0712  
 Fax: (772)-589-6469

**BORING NUMBER PB-2**  
 PAGE 1 OF 1


CLIENT Stanley Homes & General Const. Inc. PROJECT NAME 415 Sixth Avenue  
 PROJECT NUMBER 2211140-p PROJECT LOCATION Melbourne Beach, Florida  
 DATE STARTED 12/21/22 COMPLETED 12/21/22 GROUND ELEVATION \_\_\_\_\_ HOLE SIZE \_\_\_\_\_ inches  
 DRILLING CONTRACTOR \_\_\_\_\_ GROUND WATER LEVELS:  
 DRILLING METHOD \_\_\_\_\_ ∇ AT TIME OF DRILLING 4.0 ft  
 LOGGED BY DP CHECKED BY CCC AT END OF DRILLING --  
 NOTES See Attached Location Plan AFTER DRILLING --

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY % (RQD)	BLOW COUNTS (N VALUE)	PENETROMETER	DRY UNIT WT. (pcf)	▲ SPT N VALUE ▲			
								20	40	60	80
0		Yellowish Brown Sand						PL	MC	LL	
5		Light Brown Sand with Some Shell Fragments						20	40	60	80
								□ FINES CONTENT (%) □			
								20	40	60	80

Bottom of borehole at 6.0 feet.

GEOTECH BH PLOTS - GINT STD US LAB.GDT - 12/29/22 09:10 - K:\KSM FILES\22 DOCS (KSM-SERVER)\2211140\SOIL INVESTIGATION\2211140-P.GPJ



 **LOCATION OF SOIL TESTING**

**PROJECT:** 415 Sixth Avenue, Melbourne Beach, Florida

**SHEET 1 OF 2**  
**PERMIT #:**  
**PROJECT #:** 2211140-p

**KSM ENGINEERING AND TESTING**

**DRAWN BY:** C.V.  
**DESIGNED BY:** C.C.C.  
**DATE:** 20221229  
**SCALE:** NOT TO SCALE



# USDA SOILS SURVEY

72—Welaka sand

PROJECT: 415 Sixth Avenue, Melbourne Beach, Florida

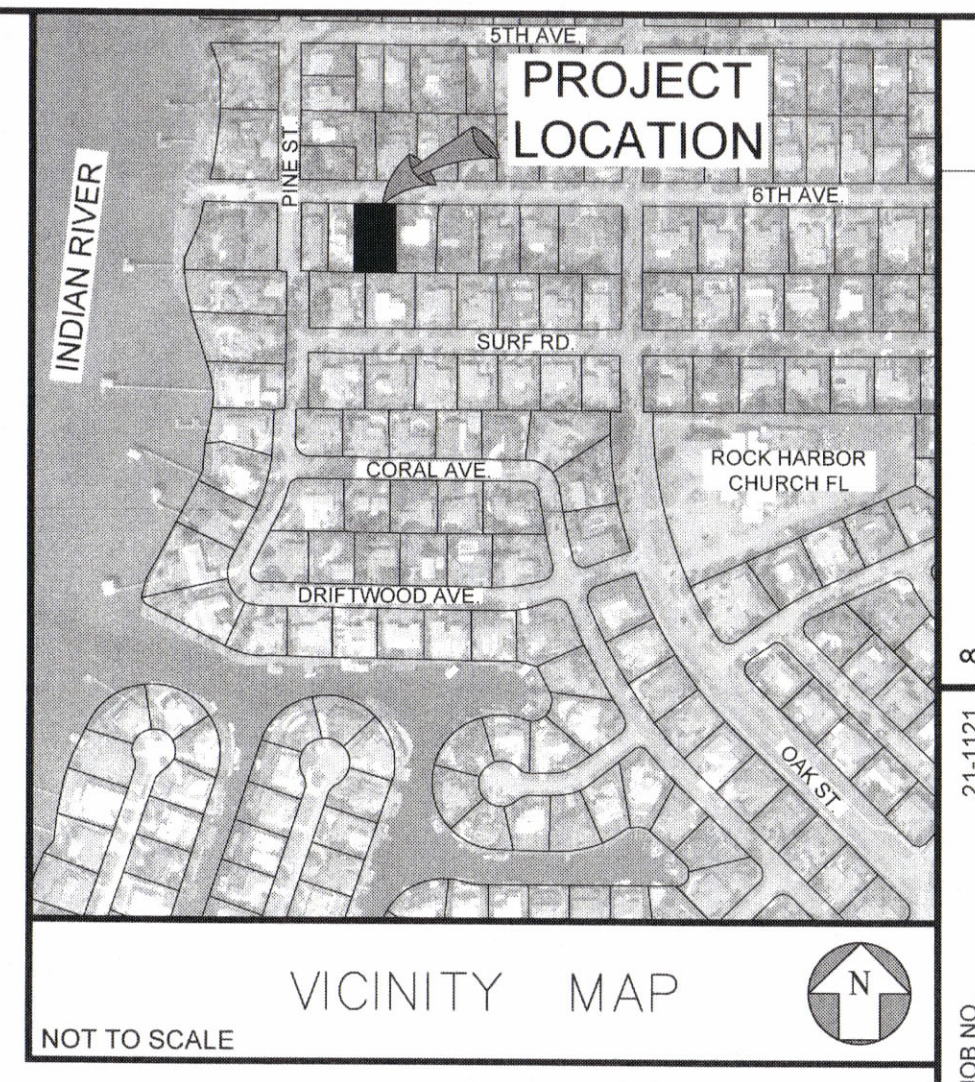
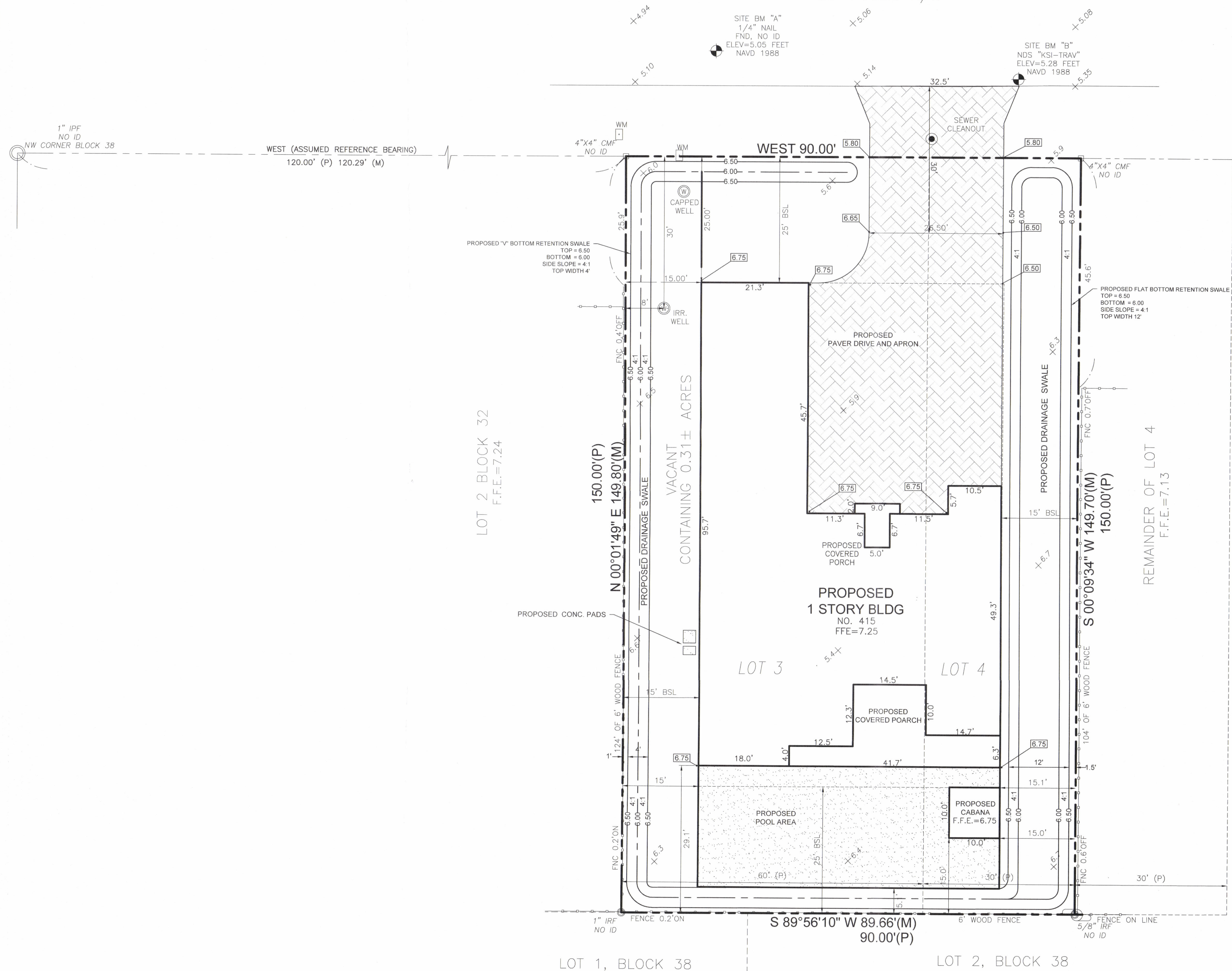
SHEET 2 OF 2  
PERMIT #:  
PROJECT #: 2211140-soils

**KSM** ENGINEERING  
**KSM** AND TESTING

DRAWN BY: C.V.  
DESIGNED BY: C.C.C.  
DATE: 20221229  
SCALE: NOT TO SCALE

# SIXTH AVENUE

50' PUBLIC R/W



NO.	DATE	REVISIONS
1	2/27/2023	DATE ISSUED
2	2/27/2023	CHECKED
3	2/27/2023	DATE
4		DESIGNED
5		DRAWN
6		BAM
7		RMS
8		DATE

## SITE INFORMATION

APPLICANT:  
STANLEY HOMES

SITE DESCRIPTION:  
LOT 3 AND THE WEST 1/2 OF LOT 4, BLOCK 32, WILCOX PLAT OF MELBOURNE BEACH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1 PAGES 58. PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.

SURVEY  
REFER TO BOUNDARY AND TOPOGRAPHIC SURVEY PROVIDED BY KANE SURVEY INC.

## FINISHED FLOOR NOTE

- ALL BUILDINGS SHALL BE CONSTRUCTED WITH THE LOWEST FINISHED FLOOR ELEVATION (F.F.E.) AT LEAST 18" ABOVE THE CROWN OF THE HIGHEST STREET PERPENDICULAR TO THE FOUNDATION TO WHICH THE PROPERTY ABUTTS. (5.35 + 1.5 = 6.85 min.)
- SITE IS LOCATED IN FEMA FLOOD ZONE "X" NO ADDITIONAL FLOOD REQUIREMENTS.

## ELEVATION NOTE

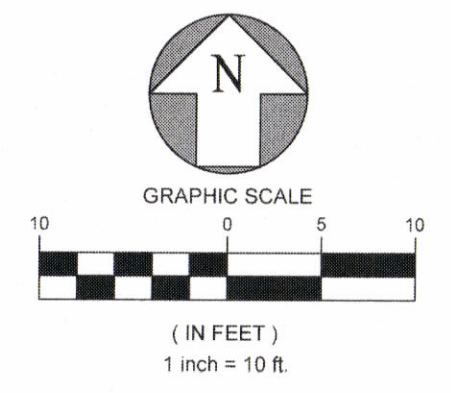
- ELEVATION OF THE HIGHEST POINT OF ROOF OF MAIN STRUCTURE = 34.33'
- ELEVATION OF THE HIGHEST POINT OF ROOF OF POOL CABANA = 20.50'

## AREA CALCULATIONS

1. SITE AREA	= 13,500 S.F.	= 100.00%
2. IMPERVIOUS AREAS:		
a. RESIDENCE	= 3,803 S.F.	= 26.7%
b. POOL AND DECK/CABANA	= 1,440 S.F.	= 10.7%
c. PORCHES	= 412 S.F.	= 3.0%
d. DRIVEWAY AND PADS	= 2,385 S.F.	= 17.7%
TOTAL	= 7,840 S.F.	= 58.1%
3. PERVIOUS AREAS:	= 5,660 S.F.	= 41.9%

## LEGEND

- PROPOSED PAVERS
- PROPOSED CONCRETE
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING WELL
- EXISTING WOOD FENCE
- PROPOSED CONTOUR
- CONCRETE MONUMENT FOUND
- FINISHED FLOOR ELEVATION
- IRON ROD FOUND
- NO IDENTIFICATION



72 HOURS BEFORE DIGGING  
CALL TOLL FREE  
**811**  
Know what's below.  
Call before you dig.

**MBV ENGINEERING, INC.**  
MOA BOWLES VILLAMAZAR & ASSOCIATES  
CIVIL & STRUCTURAL SURVEYING & ENVIRONMENTAL  
1250 W. PAU GALLE BLVD. SUITE 111  
MELBOURNE, FLORIDA 32935  
P. 321-253-1510 F. 321-253-0911  
VERO: 772-566-0035 FT PEECIE: 772-566-5665 PALM CITY: 772-426-9989

415 SIXTH AVE.  
MELBOURNE BEACH, FLORIDA

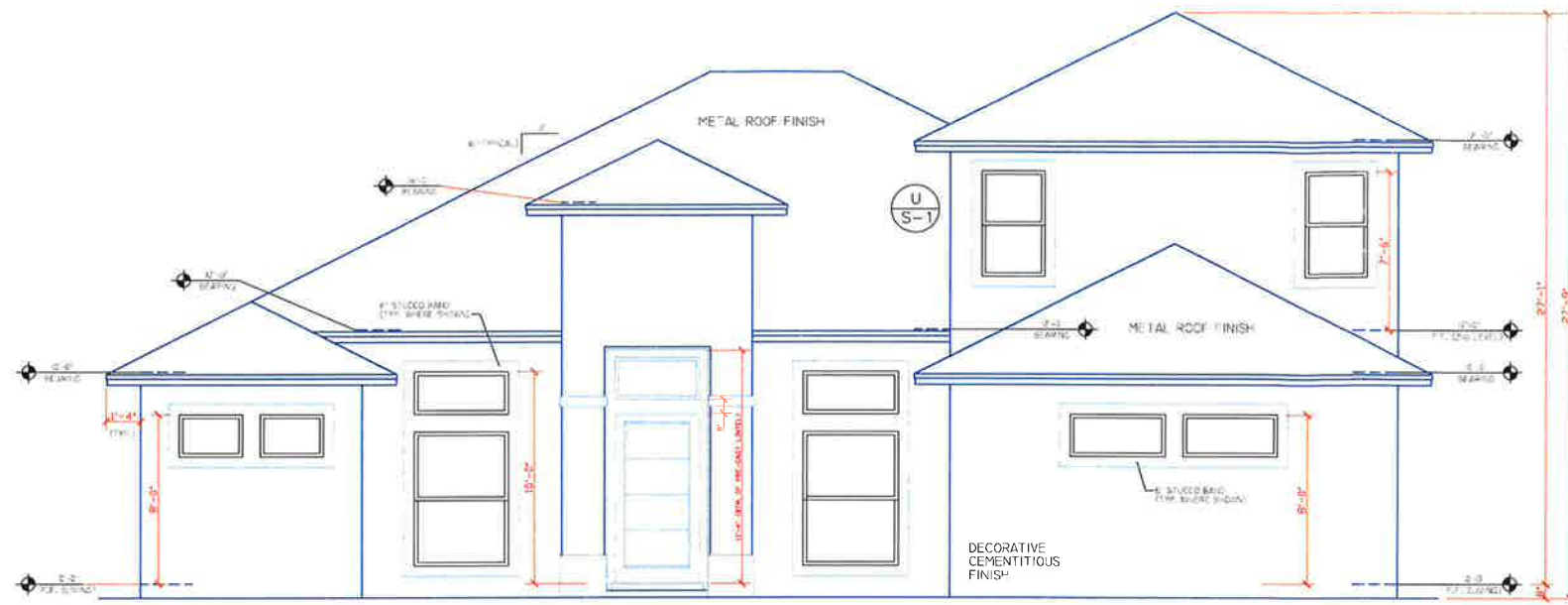
STANLEY RESIDENCE LOT DRAINAGE  
FLORIDA

BRUCE A. MOIA  
LICENSE No. 47529  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

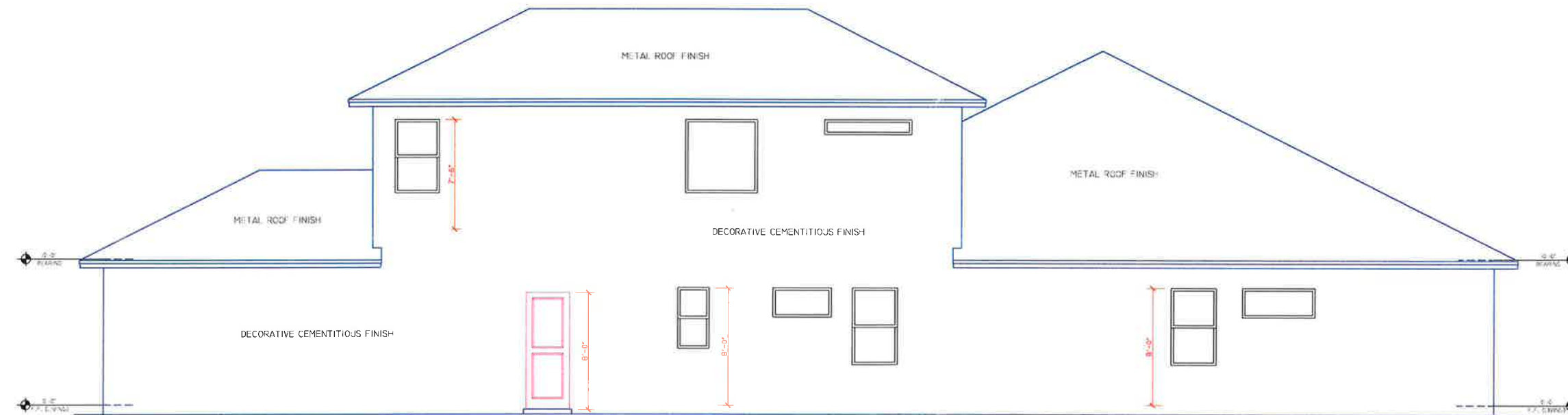
BRUCE A. MOIA  
FL P.E. #47529  
DATE 2/27/2023  
**C-1**  
2/27/2023  
21-1121  
PERMITTING SET

PROJECT: 151 STANLEY HOMES LOT DRAINAGE CAD/SCALE: 415 SIXTH AVE MELBOURNE FL 32935  
 DATE: 2/27/2023 10:48 AM





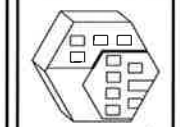
FRONT ELEVATION  
SCALE: 1/4"=1'-0"



RIGHT ELEVATION  
SCALE: 1/4"=1'-0"

REVISIONS	
ISSUED ***	
***	
***	

215 PALM BLVD ROAD SUITE 6  
PALM BEACH, FL 33405  
TEL: (321) 724-0740  
FAX: (321) 944-4206  
EMAIL: DPRECHET@ECSO  
@FLORIDA.COM



**EDC**  
ENGINEERING AND DESIGN CONCEPTS, INC.

SFR FOR:  
**415 SIXTH AVE.**  
MELBOURNE BEACH, FL 32951

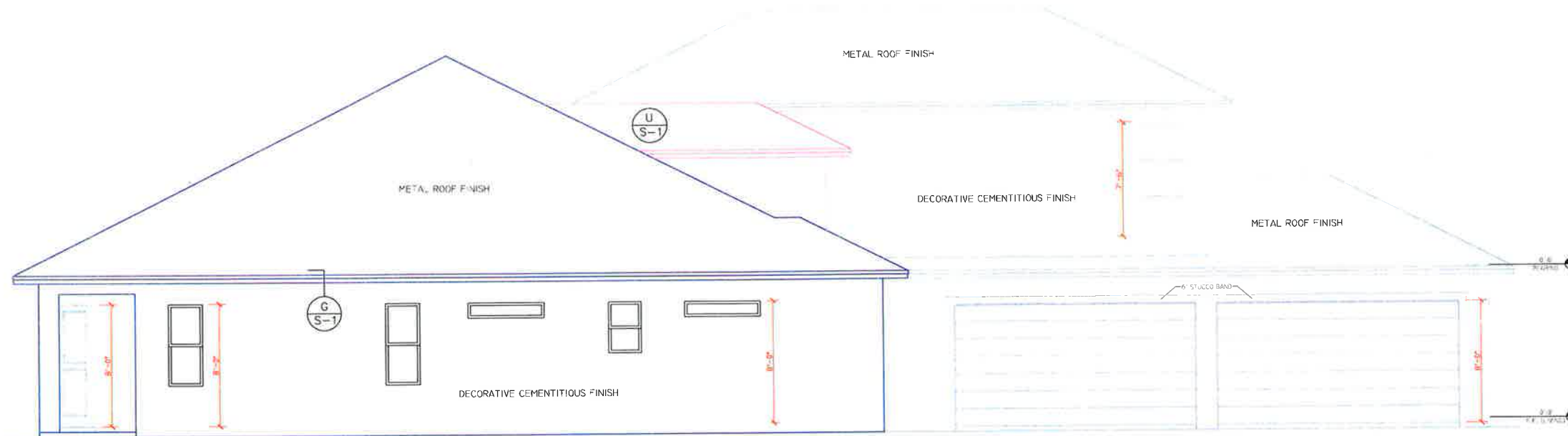
**STANLEY  
HOMES**

ENGINEER OF RECORD  
EDWARD F. SHINSKIE, PE  
4707 WILD TURKEY ROAD  
MIMS, FLORIDA 32754  
FLORIDA PER # 47915

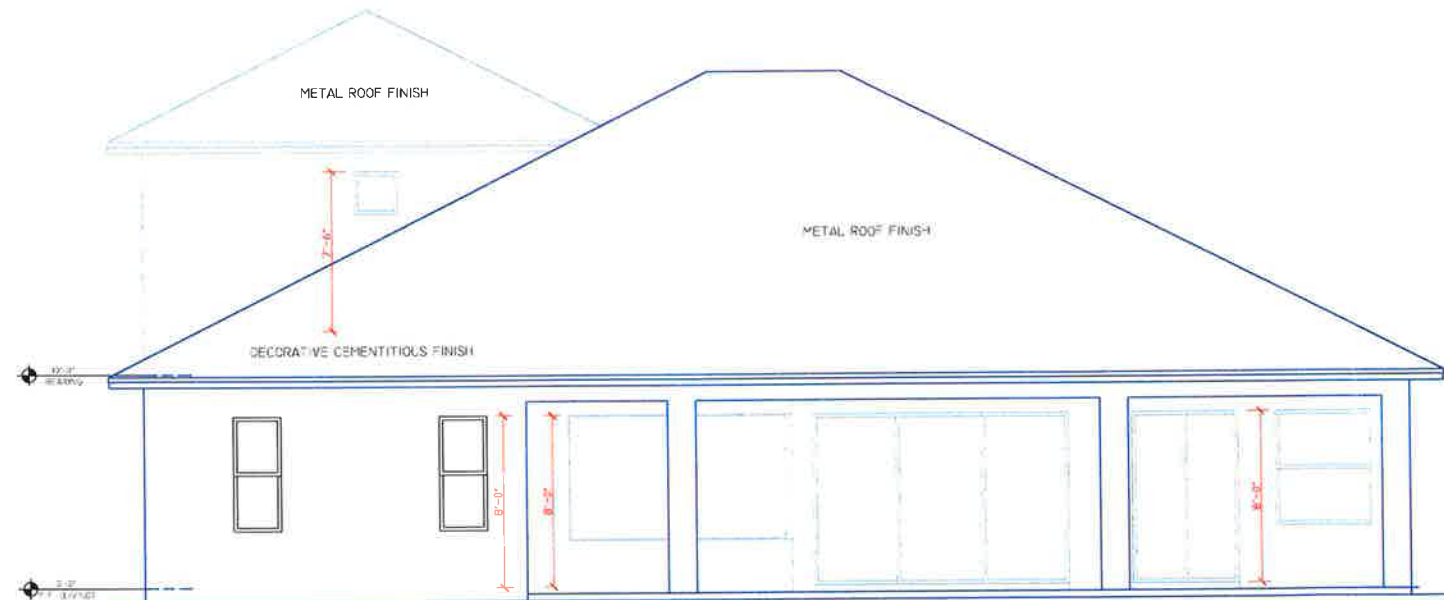
**AI**  
SHEET 1 OF 12  
DRAWN BY:  
DANIEL FRECHETTE

DESIGN CRITERIA	
FULLY ENCLOSED	
WIND SPEED	160 MPH
EXPOSURE	D
BUILDING CATEGORY	TWO (2)

GENERAL NOTES  
1. THESE DRAWINGS WERE PREPARED WITH THE ASSUMPTION THE CONTRACTOR/OWNER/BUILDER IS AN INDIVIDUAL OR COMPANY WITH KNOWLEDGEABLE OF COMMON CONSTRUCTION PRACTICES.  
2. THE CONTRACTOR/OWNER/BUILDER SHALL REVIEW DRAWINGS FOR ACCURACY AND INTERPRETATION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO CONSTRUCTION.  
3. THE FOUNDATION PLAN SHALL BE VERIFIED BY THE CONTRACTOR/OWNER/BUILDER TO CORRESPOND WITH THE FINAL ENGINEERED (TIES AND JOINT) DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE, DIMENSIONS AND LOCATIONS OFF ALL ITEMS SHOWN ON THIS PLAN ARE SUBJECT TO CHANGE WITH WRITTEN PRIOR APPROVAL OF ENGINEER OF RECORD.  
D.J. NO. SCALE DRAWINGS



**LEFT ELEVATION**  
SCALE: 1/4"=1'-0"



**REAR ELEVATION**  
SCALE: 1/4"=1'-0"

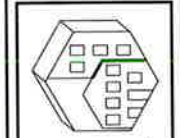
**GENERAL NOTES**

1. THESE DRAWINGS WERE PREPARED WITH THE ASSUMPTION THE CONTRACTOR/BUILDER IS KNOWLEDGEABLE OF COMMON CONSTRUCTION PRACTICES.
2. THE CONTRACTOR/BUILDER SHALL REVIEW DRAWINGS FOR ACCURACY AND INTERPRETATION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO CONSTRUCTION.
3. THE FOUNDATION PLAN SHALL BE VERIFIED BY THE CONTRACTOR/BUILDER TO CORRESPOND WITH THE FINAL ENGINEERED TRUSS LAYOUT. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE DIMENSIONS AND LOCATIONS OF ALL ITEMS SHOWN ON THIS PLAN ARE SUBJECT TO CHANGE WITH WRITTEN PRIOR APPROVAL OF ENGINEER OF RECORD.

DO NOT SCALE DRAWINGS

REVISIONS	

2115 PALM BAY ROAD, STE. 6  
PALM BAY, FL 32909  
TEL: (321) 724-0740  
FAX: (321) 911-7206  
EMAIL: DFRICHETTE@EPC-FL.COM



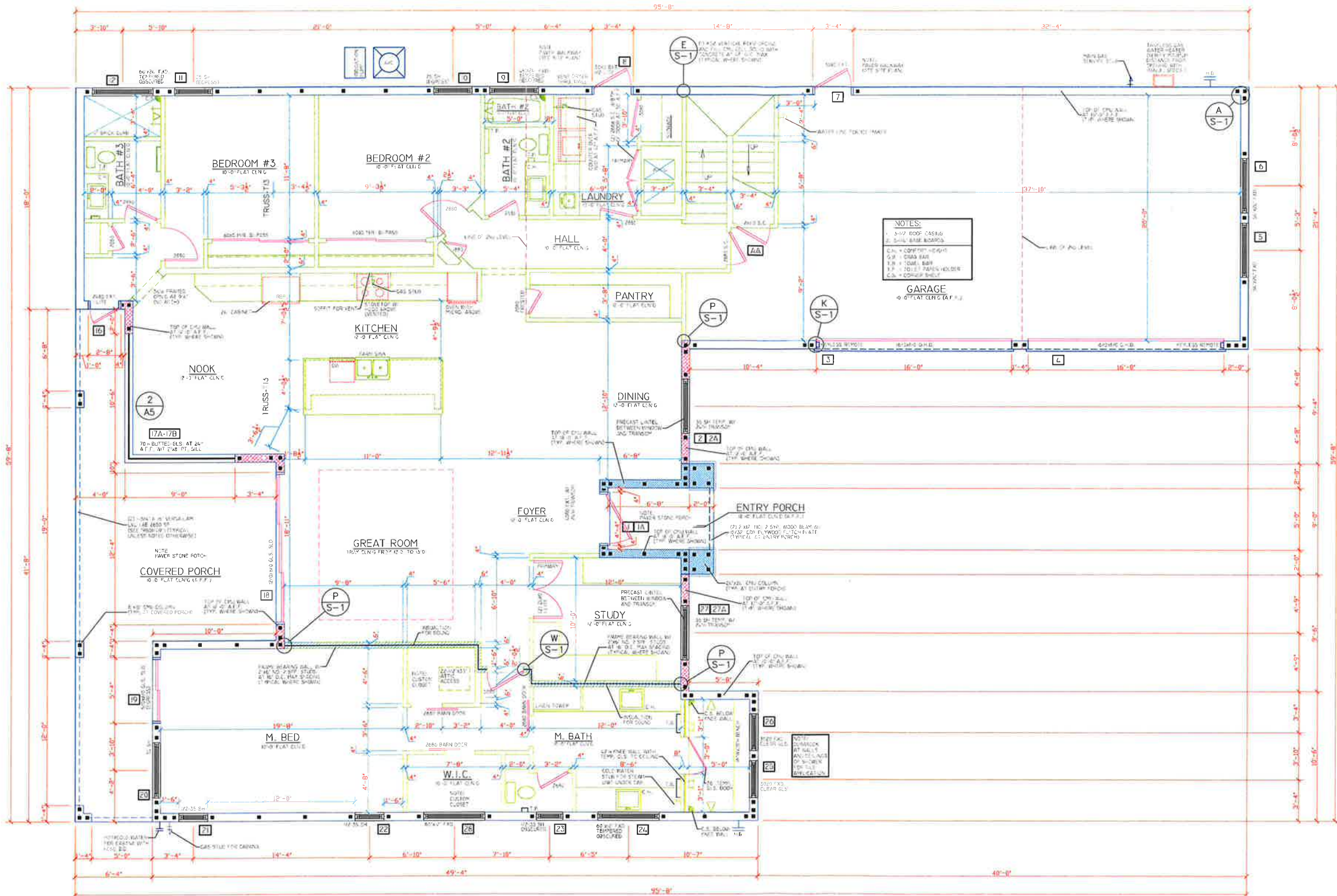
**EEDC**  
ENGINEERING AND DESIGN CONCEPTS, INC.

SFR FOR:  
**415 SIXTH AVE.**  
MELBOURNE BEACH, FL 32951

**STANLEY HOMES**

ENGINEER OF RECORD  
EDWARD F. SHINSKIE, PE  
4707 WILD TURKEY ROAD  
MIMS, FLORIDA 32754  
FLORIDA PE# 47515

**A2**  
SHEET 2 OF 12  
DRAWN BY:  
DANIEL FRENCHETTE



**1ST LEVEL FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**AA** MIN. 1-3/8" SQ. ID CORE  
20 MINUTE FIRE RATED  
DOOR

**BB** ATTIC ACCESS PANEL  
OR ATTIC STAIR ENCLOSURE  
MUST HAVE A 20 MINUTE  
FIRE RATING, TYPICAL.

**NOTE:** COORDINATE ALL ROUGH OPENINGS FOR EXTERIOR  
DOORS AND WINDOWS WITH MANUFACTURER'S SPECS.

**CABINETRY NOTE:**  
CABINET LAYOUT SHOWN AT KITCHEN, BATHROOMS, AND ANY OTHER  
LOCATIONS ARE DIAGNOSTIC ONLY. COORDINATE FINAL CABINET  
DESIGN WITH OWNER/BUILDER PRIOR TO ANY FABRICATION/INSTALLATION.

AREA TABULATION (11-11-22)	
1ST LEVEL LIVING	2722 SQ.FT.
2ND LEVEL LIVING	755 SQ.FT.
<b>TOTAL LIVING</b>	<b>3477 SQ.FT.</b>
GARAGE	882 SQ.FT.
COVERED PORCH	379 SQ.FT.
ENTRY	5 SQ.FT.
<b>TOTAL</b>	<b>4789 SQ.FT.</b>

**GENERAL NOTES**

- THESE DRAWINGS WERE PREPARED WITH THE ASSUMPTION THE CONTRACTOR/OWNER/BUILDER IS KNOWLEDGEABLE OF COMMON CONSTRUCTION PRACTICES.
- THE CONTRACTOR/OWNER/BUILDER SHALL REVIEW DRAWINGS FOR ACCURACY AND INTERPRETATION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO CONSTRUCTION.
- THE FOUNDATION PLAN SHALL BE VERIFIED BY THE CONTRACTOR/OWNER/BUILDER IN CONJUNCTION WITH THE FINAL ENGINEERED TRUSS PLAN.
- CONSTRUCTION SHALL TAKE PRECEDENCE OVER SCALE. DIMENSIONS AND LOCATIONS OF ALL ITEMS SHOWN ON THIS PLAN ARE SUBJECT TO CHANGE WITH WRITTEN PRIOR APPROVAL OF ENGINEER OF RECORD.
- DO NOT SCALE DRAWINGS.

**REVISIONS**

1	
2	
3	
4	
5	
6	

210 PALM BLVD. ROAD, STE. 6  
PALM BEACH, FL 33480  
TEL: (321) 774-0740  
FAX: (321) 914-4706  
EMAIL: DFR@HETTELCO.COM  
@HETTELCO.COM

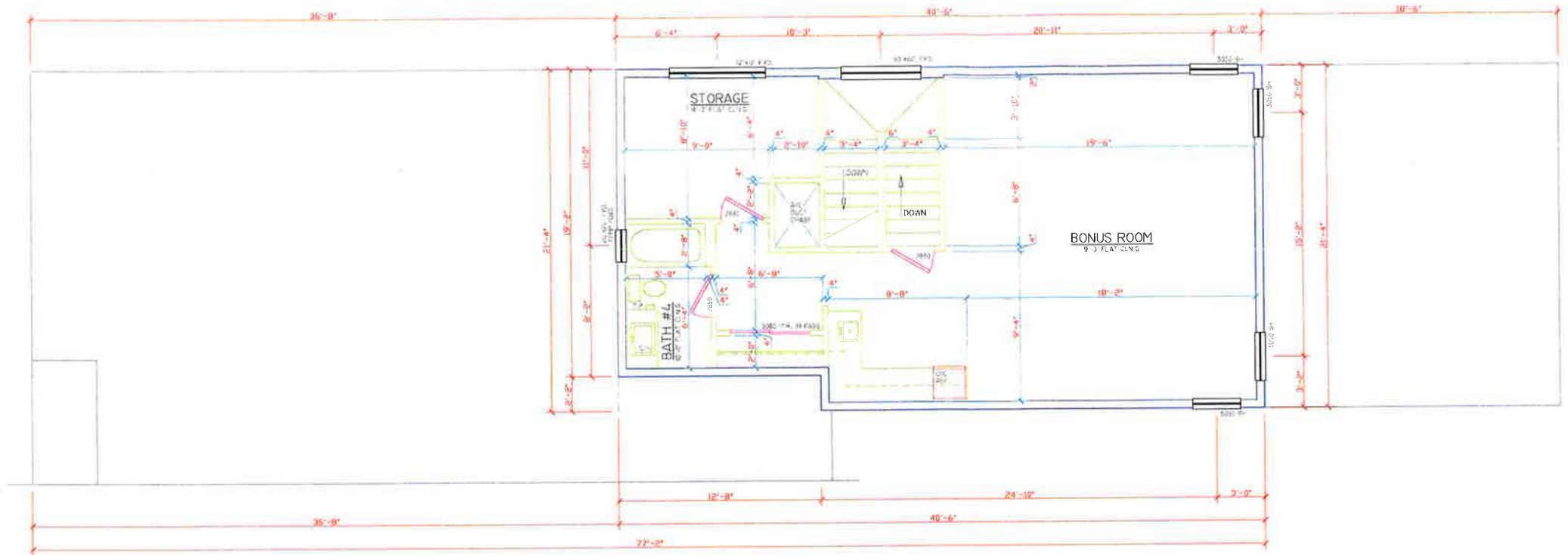
**HEDC**  
ENGINEERING AND DESIGN CONCEPTS, INC.

SFR FOR:  
**415 SIXTH AVE.**  
MELBOURNE BEACH, FL 32951

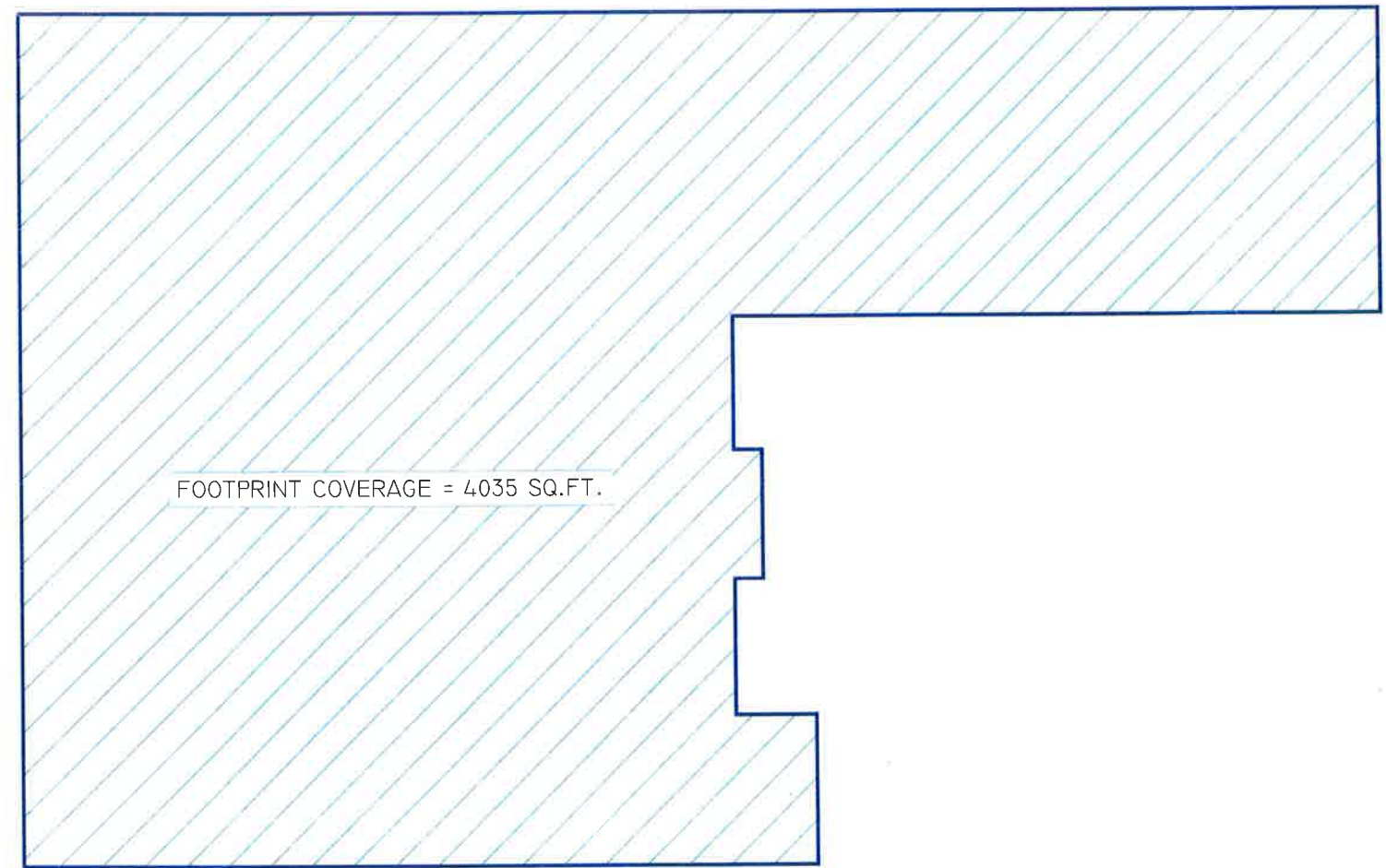
**STANLEY  
HOMES**

ENGINEER OF RECORD  
EDWARD F. SHINSKIE, PE  
4707 WILD TURKEY ROAD  
MIMS, FLORIDA 32754  
FLORIDA PE# 47515

**A3**  
SHEET 3 OF 12  
DRAWN BY:  
DANIEL FRECHETTE



2ND LEVEL FLOOR PLAN  
SCALE: 1/4" = 1'-0"

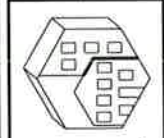


FOOT PRINT  
NOT TO SCALE

GENERAL NOTES  
 1. THESE DRAWINGS WERE PREPARED WITH THE ASSUMPTION THE CONTRACTOR/OWNER BUILDER IS RESPONSIBLE FOR COMMON CONSTRUCTION PRACTICES.  
 2. THE CONTRACTOR/OWNER BUILDER SHALL REVIEW DRAWINGS FOR ACCURACY AND INTERPRETATION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO CONSTRUCTION.  
 3. THE CONTRACTOR/OWNER BUILDER SHALL BE RESPONSIBLE FOR THE CORRESPONDING TO THE FINAL ENGINEERED TRUSS AND JOIST DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE DIMENSIONS AND LOCATIONS OF ALL ITEMS SHOWN IN THIS PLAN ARE SUBJECT TO CHANGE WITH WRITTEN PRIOR APPROVAL OF ENGINEER OF RECORD.  
 4. DO NOT SCALE DRAWINGS

NO.	REVISIONS

215 PALM BAY ROAD STE. 6  
 PALM BAY, FL 32909  
 TEL: (321) 724-0740  
 FAX: (321) 914-4706  
 EMAIL: DFRICHETTE@EDC-FL.COM  
 @EDC-FL.COM



**EDC**  
 ENGINEERING AND DESIGN CONCEPTS, INC.

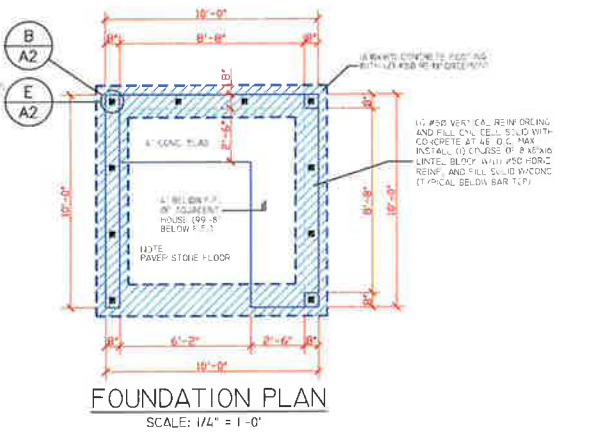
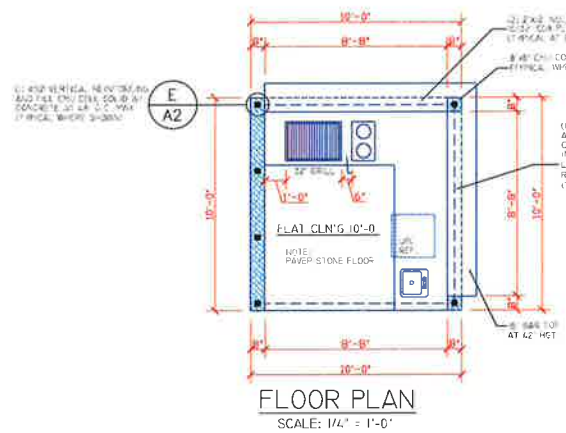
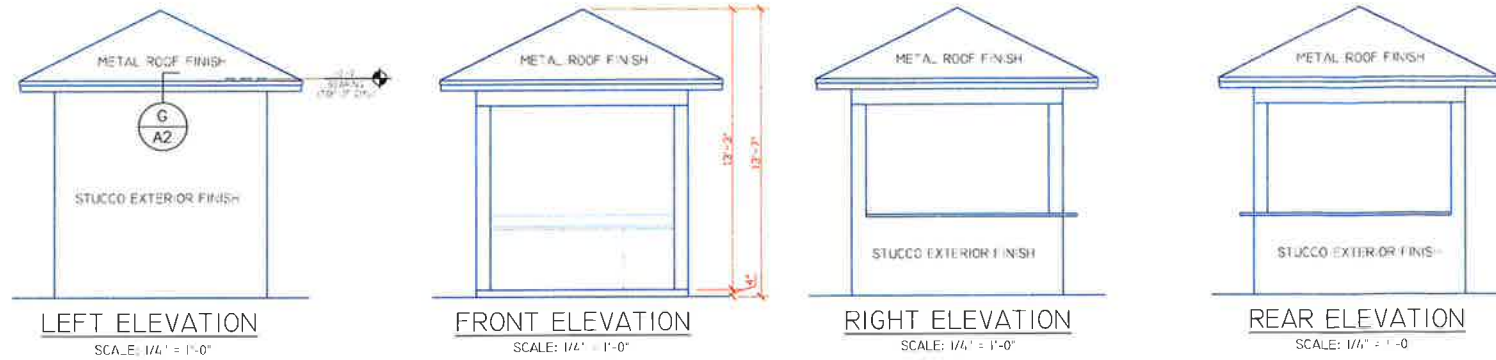
SFR FOR:  
 415 SIXTH AVE.  
 MELBOURNE BEACH, FL 32951

**STANLEY HOMES**

ENGINEER OF RECORD  
 EDWARD F. SHINSKIE, PE  
 4707 WILD TURKEY ROAD  
 MIAMI, FLORIDA 33175  
 FLORIDA PE# 47515

**A4**

SHEET 4 OF 12  
 DRAWN BY: DANIEL FRICHETTE



THE MAIN WIND RESISTANCE FOR THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2020 FLORIDA RESIDENTIAL BUILDING CODE (FBC) AND LATEST ADOPTED SUPPLEMENTS TO THE FBC. THE WIND LOADS ASSOCIATED WITH A MINIMUM WIND SPEED OF 140 MPH PER HOUR IS POSSIBLE 1" DI. STRUCTURE.

THE COMPONENTS AND CLADDING HAVE BEEN SELECTED AND THE DESIGN APPROVED IN ACCORDANCE WITH THE DESIGN AND SHEET CATEGORIES IN ACCORDANCE WITH THE 2020 FLORIDA RESIDENTIAL BUILDING CODE (FBC) AND LATEST ADOPTED SUPPLEMENTS TO THE FBC. THE WIND LOADS ASSOCIATED WITH A MINIMUM WIND SPEED OF 140 MPH PER HOUR IS POSSIBLE 1" DI. STRUCTURE.

1. ULTIMATE WIND SPEED (160 MPH PER HOUR MINIMUM, WIND SPEED = 140 MPH) PER HOUR
2. WIND PROTECTIVE FACTOR (F) = 0.8 (PARTIALLY ENCLOSED)
3. WIND EXPOSURE = EXPOSURE B
4. INTERNAL PRESSURE COEFFICIENT = 0.55 (1.25)
5. COMPONENTS & CLADDING = G.E. 155.1, 155.6.155

**ROOF FLASHING:** APPROVED METAL FLASHING, VINYL FLASHING, SELF-ADHERED MEMBRANES AND MECHANICALLY ATTACHED FLEXIBLE FLASHING SHALL BE APPLIED SINGLE-FASHION OR IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. METAL FLASHING SHALL BE CORROSION RESISTANT. FLUOR-APPLIED MEMBRANES USED AS FLASHING SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. ALL FLASHING SHALL BE APPLIED IN A MANNER TO PREVENT THE ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. SELF-ADHERED MEMBRANES USED AS FLASHING SHALL COMPLY WITH ANMA 711. ALL EXTERIOR PENETRATION PRODUCTS SHALL BE SEALED AT THE JUNCTURE WITH THE BUILDING WALL WITH A SEALANT COMPLYING WITH ANMA 800 OR ASTM C920 CLASS 25 GRADE IS OR GREATER FOR PROPER JOINT EXPANSION AND CONTRACTION. ASTM C920 ANMA 800 OR OTHER APPROVED SEALANTS AS APPROPRIATE FOR THE TYPE OF SEALANT. FLUOR-APPLIED MEMBRANES USED AS FLASHING IN EXTERIOR WALLS SHALL COMPLY WITH ANMA 714. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH APPROVED FLASHINGS SHALL BE INSTALLED AT THE FOLLOWING LOCATIONS:

1. EXTERIOR WINDOW AND DOOR OPENINGS FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER-RESISTIVE BARRIER COMPLYING WITH SECTION 702.2 FOR SUBSEQUENT DRAINAGE. MECHANICALLY ATTACHED FLEXIBLE FLASHINGS SHALL COMPLY WITH ANMA 712. FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL BE INSTALLED IN ACCORDANCE WITH ONE IN MORE OF THE FOLLOWING: INSTRUCTIONS, OR FOR APPLICATIONS NOT ADDRESSED IN THE MANUFACTURER'S INSTRUCTIONS, MANUFACTURER'S FLASHING INSTRUCTIONS OR DETAILS ARE NOT PROVIDED, FLASHING SHALL BE INSTALLED AT THE SILL OF EXTERIOR WINDOW AND DOOR OPENINGS. FLASHING SHALL BE SEALED OR SLOPED IN SUCH A MANNER AS TO DRAIN WATER TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER-RESISTIVE BARRIER FOR SUBSEQUENT DRAINAGE. OPENINGS USING PAN FLASHING SHALL INCORPORATE FLASHING OR PROTECTION AT THE HEAD AND SIDES.
2. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROTECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS.
3. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
4. CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.
5. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCTION.
6. AT WALL AND ROOF INTERSECTIONS.
7. AT BUILT-IN GUTTERS.

**SITE PREPARATION NOTES:**

THE PROPOSED BUILDING AREA, PLUS A MINIMUM MARGIN OF FIVE FEET BEYOND THE PROPOSED BUILDING LIMITS SHALL BE STRIPPED AND GRUBBED OF SURFACE DEBRIS, INCLUDING VEGETATION, ROOTS AND ORGANIC MATTER AND ANY REMAINS OF PREVIOUS CONSTRUCTION SUCH AS OLD FOOTINGS AND SLABS.

THE BUILDING AND PAVEMENT AREAS SHALL BE FILLED TO THE DESIRED GRADES. THE HORIZONTAL PORTION OF THE BUILDING PAD SHALL EXTEND A MINIMUM FIVE FEET BEYOND THE BUILDING AND PAVEMENT AREAS. CLEAN IMPORTED FILL MATERIAL SHALL BE PLACED IN MAXIMUM LAYER THICKNESS OF 18 INCH LIFTS IN THICKNESS. EACH LIFT SHALL BE COMPACTED TO 95% OF A MODIFIED PROCTOR.

FIELD DENSITY TESTS AND ON-SITE INSPECTION ARE REQUIRED TO BE PERFORMED BY A STATE OF FLORIDA LICENSED GEOTECHNICAL ENGINEER, AT APPROPRIATE TIMES DURING THE EARTH WORK OPERATIONS, IN ORDER TO VERIFY THAT THE SITE PREPARATION HAVE BEEN PROPERLY CONSTRUCTED. A MINIMUM SOIL BEARING CAPACITY OF 2000 POUNDS PER SQUARE FOOT IS REQUIRED.

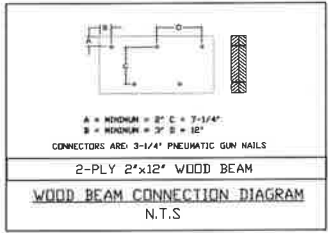
**STUCCO EXTERIOR FINISH NOTES**

EXTERIOR USE OF PORTLAND CEMENT PLASTER SHALL COMPLY WITH THE APPLICATION REQUIREMENTS OF ASTM C 926.

INSTALLATION OF EXTERIOR LATHING AND FINISHING SHALL COMPLY WITH THE APPLICATION REQUIREMENTS OF ASTM C 1063.

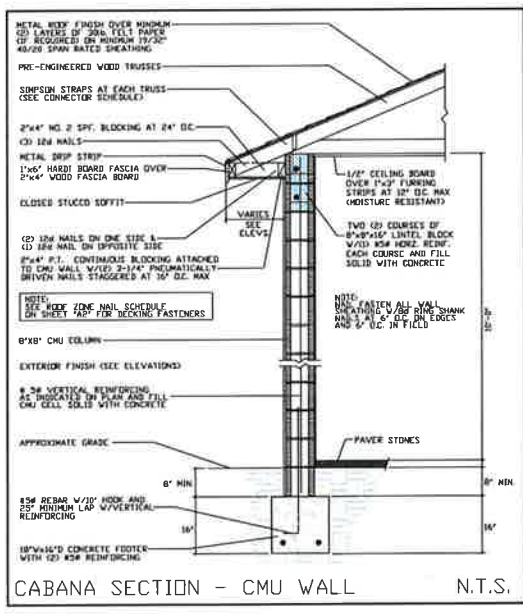
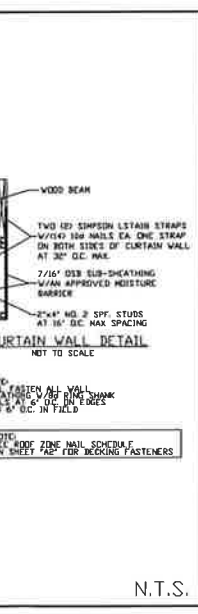
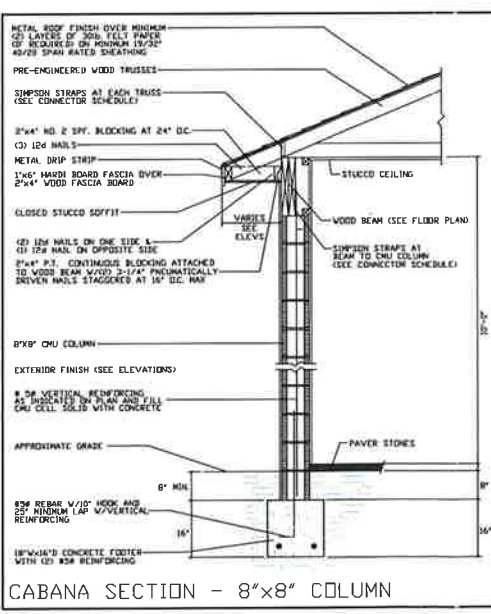
WHERE CEMENT PLASTER (STUCCO) IS TO BE APPLIED TO LATH OVER FRAM CONSTRUCTION, MEASURES SHALL BE TAKEN TO PREVENT BONDING BETWEEN THE CEMENT PLASTER AND THE WATER-RESISTIVE BARRIER. A BOND BREAK SHALL BE PROVIDED BETWEEN THE WATER-RESISTIVE BARRIER AND THE CEMENT PLASTER (STUCCO) CONSISTING OF ONE OF THE FOLLOWING:

1. TWO LAYERS OF AN APPROVED WATER-RESISTANT BARRIER MATERIAL, OR
2. ONE LAYER OF AN APPROVED WATER-RESISTANT BARRIER OVER AN APPROVED PLASTIC HOUSE WRAP, OR
3. OTHER APPROVED METHODS OR MATERIALS APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.



**NOTE:** BRACKETS INDICATES APPLIED EXTERIOR FINISH OVER APPROVED WATER BARRIER OVER WOOD FRAMING MEMBERS. OWNER IS RESPONSIBLE TO INSTALL ALL REQUIRED SEALANT, FLASHING, ETC TO MAINTAIN WATERPROOF BARRIER TO PREVENT MOISTURE INFILTRATION INTO STRUCTURE. OWNER IS RESPONSIBLE FOR PERIODIC MAINTENANCE AND KEEP UP EXTERIOR APPLIED FINISH TO MAINTAIN WATERPROOF INTEGRITY TO PREVENT DAMAGE TO INTERIOR COMPONENTS.

**CABINERY NOTE:** CABINERY LAYOUT SHOWN AT KITCHEN, BATHROOMS, AND ANY OTHER LOCATIONS ARE DIAGNOSTIC ONLY. COORDINATE FINAL CABINET DESIGN WITH OWNER/BUILDER PRIOR TO ANY FABRICATION/INSTALLATION.



AREA TABULATION (2-3-21)	
TOTAL	100 SQ.FT.

**GENERAL NOTES**

1. THESE DRAWINGS WERE PREPARED WITH THE ASSUMPTION THE CONTRACTOR/OWNER/BUILDER IS KNOWLEDGEABLE OF COMMON CONSTRUCTION PRACTICES.
2. THE CONTRACTOR/OWNER/BUILDER SHALL REVIEW DRAWINGS FOR ACCURACY AND INTERPRETATION AND DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO CONSTRUCTION.
3. THE FOUNDATION PLAN SHALL BE VERIFIED BY THE CONTRACTOR/OWNER/BUILDER TO CORRESPOND WITH THE FINAL ENGINEERED "SUBS. A/C".
4. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE.
5. DO NOT SCALE DRAWINGS.

DESIGN CRITERIA	
PARTIALLY ENCLOSED	
WIND SPEED	160 MPH
EXPOSURE	D
BUILDING CATEGORY	TWC (2)

**AI**

SHEET 1 OF 3

DRAWN BY: DANIEL FRECHETTE

TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE FOLLOWING PLANS COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE 2020 FLORIDA RESIDENTIAL BUILDING CODE 7TH EDITION AND LATEST ADOPTED SUPPLEMENTS

**REVISIONS**

NO.	DATE	DESCRIPTION
1	06-17-22	ISSUED FOR PERMIT
2	06-17-22	ISSUED FOR PERMIT
3	06-17-22	ISSUED FOR PERMIT

2105 PALM BAY ROAD STE. 6  
PALM BAY, FL 32909  
TEL: (321) 774-0740  
FAX: (321) 914-4206  
EMAIL: JALLETTE@EDC-FL.COM  
@EDC-FL.COM

**EDDC**  
ENGINEERING AND DESIGN CONCEPTS, INC.

CABANA FOR:  
415 SIXTH AVE.  
MELBOURNE BEACH, FL 32951

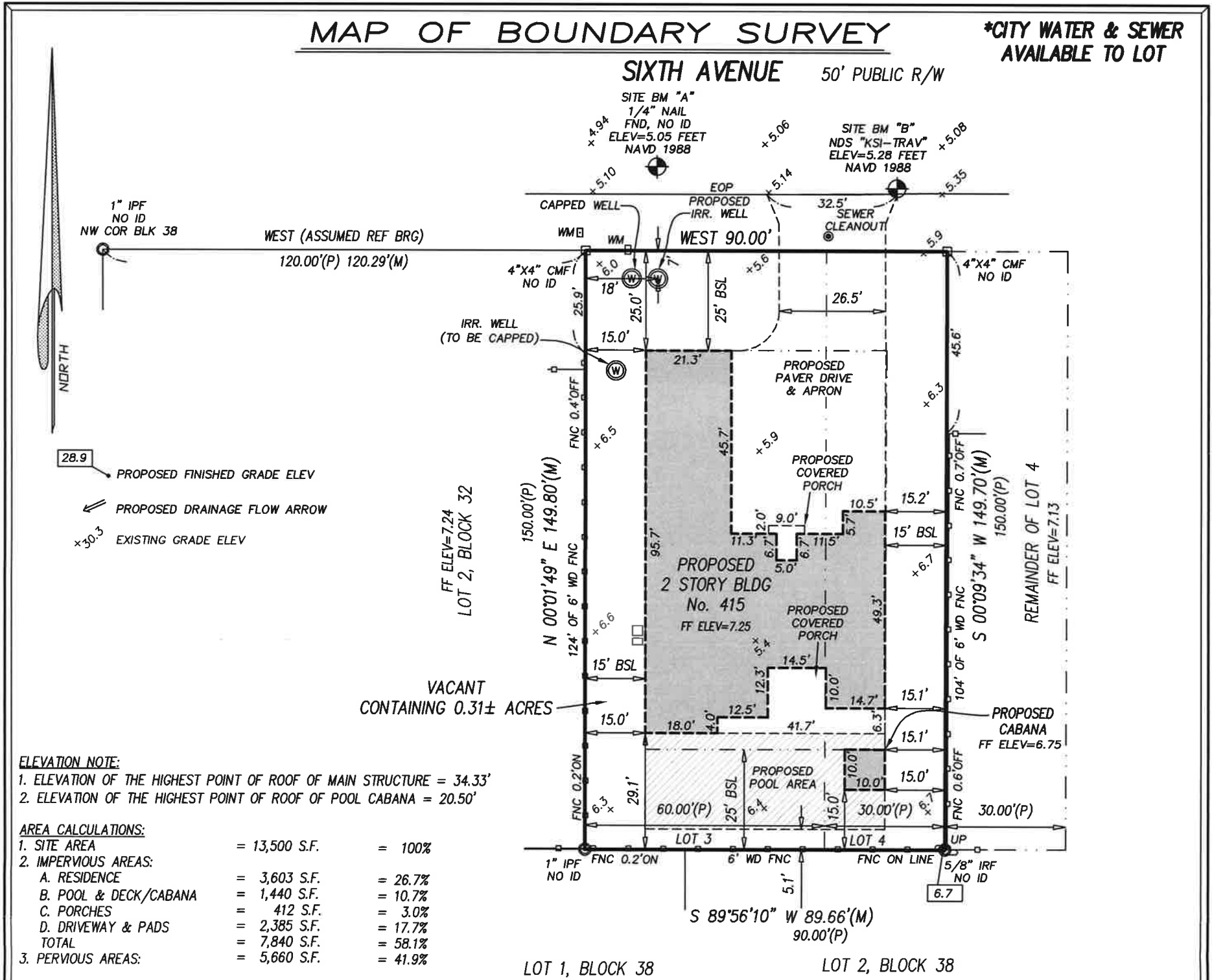
**STANLEY HOMES**

ENGINEER OF RECORD  
EDWARD F. SHINSKIE, PE  
4707 WILD TURKEY ROAD  
MIMS, FLORIDA 32754  
FLORIDA PER # 47515  
PH. 321-863-3223

# MAP OF BOUNDARY SURVEY

**\*CITY WATER & SEWER AVAILABLE TO LOT**

**SIXTH AVENUE 50' PUBLIC R/W**



**ELEVATION NOTE:**

- ELEVATION OF THE HIGHEST POINT OF ROOF OF MAIN STRUCTURE = 34.33'
- ELEVATION OF THE HIGHEST POINT OF ROOF OF POOL CABANA = 20.50'

**AREA CALCULATIONS:**

1. SITE AREA	= 13,500 S.F.	= 100%
2. IMPERVIOUS AREAS:		
A. RESIDENCE	= 3,603 S.F.	= 26.7%
B. POOL & DECK/CABANA	= 1,440 S.F.	= 10.7%
C. PORCHES	= 412 S.F.	= 3.0%
D. DRIVEWAY & PADS	= 2,385 S.F.	= 17.7%
TOTAL	= 7,840 S.F.	= 58.1%
3. PERVIOUS AREAS:	= 5,660 S.F.	= 41.9%



3/3/2023 | 8:35 AM PST

ROMAC SUBDIVISION - PB 10, PAGE 53

BOUNDARY	DATE: 12/29/20
UPDATED BOUNDARY & ADDED TOPO	DATE: 2/25/21
PLOT PLAN	DATE: 5/4/22
REVISED PLOT PLAN	DATE: 6/23/22
REVISED PLOT PLAN	DATE: 11/14/22
REVISED PLOT PLAN	DATE: 3/3/23

LEGEND	
BLDG = BUILDING	(P) = PLAT
BLK = BLOCK	PB = PLAT BOOK
BM = BENCHMARK	PCP = PERMANENT CONTROL POINT
BRG = BEARING	PI = POINT OF INTERSECTION
BSL = BUILDING SETBACK LINE	PLS = PROFESSIONAL LAND SURVEYOR
CATV = CABLE TELEVISION	POB = POINT OF BEGINNING
CBS = CONCRETE BLOCK STRUCTURE	POC = POINT OF COMMENCEMENT
C/L = CENTERLINE	PRM = PERMANENT REFERENCE MONUMENT
CLF = CHAIN LINK FENCE	PSM = PROFESSIONAL SURVEYOR AND MAPPER
CMF = CONCRETE MONUMENT FOUND	PT = POINT OF TANGENCY
CMP = CORRUGATED METAL PIPE	PUDE = PUBLIC UTILITY & DRAINAGE EASEMENT
CONC = CONCRETE	PUE = PUBLIC UTILITY EASEMENT
COR = CORNER	REF = REFERENCE
(D) = DEED	R/W = RIGHT OF WAY
DB = DEED BOOK	SFHA = SPECIAL FLOOD HAZARD AREAS
DHF = DRILL HOLE FOUND	TEL = TELEPHONE RISER
ELEC = ELECTRIC	TYP = TYPICAL
ELEV = ELEVATION	UP = UTILITY POLE
EOP = EDGE OF PAVEMENT	WD = WOOD
ESMT = EASEMENT	WIT-COR = 5/8" IRON ROD SET WITH
FB = FIELD BOOK	CAP "WITNESS LB 7838"
FEMA = FEDERAL EMERGENCY MANAGEMENT AGENCY	WM = WATER METER
FF = FINISHED FLOOR	XCF = CROSS CUT FOUND
FNC = FENCE	
FND = FOUND	
FP&L = FLORIDA POWER & LIGHT COMPANY	
ID = IDENTIFICATION	
IPF = IRON PIPE FOUND	
IRC = IRON ROD & CAP FOUND	
IRF = IRON ROD FOUND	
IRR = IRRIGATION	
IRS = 5/8" IRON ROD SET "LB 7838"	
LB = LICENSED BUSINESS NUMBER	
LS = (RLS) or (PLS) REGISTERED OR PROFESSIONAL LAND SURVEYOR	
(M) = MEASURED	
NAVD = NORTH AMERICAN VERTICAL DATUM	
NDF = NAIL & DISK FOUND	
NDS = 1 1/4" NAIL & DISK SET "LB 7838"	
NGVD = NATIONAL GEODETIC VERTICAL DATUM	
No. = NUMBER	
ORB = OFFICIAL RECORDS BOOK	
O/S = OFFSET	

**LEGAL DESCRIPTION:**  
 LOT 3 AND THE WEST 1/2 OF LOT 4, BLOCK 32, WILCOX PLAT OF MELBOURNE BEACH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 58, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA

- NOTES:**
- BEARINGS BASED ON THE S. R/W LINE BEING WEST AS PER ASSUMED DATUM (SEE SKETCH)
  - ELEVATIONS BASED ON BREVARD COUNTY BENCHMARK 7080A41RM2 BEING AN ELEVATION OF 9.95 FEET NAVD 1988.
  - FLOOD ZONE "X", MAP No. 12009C0612H COMMUNITY No. 125128, JANUARY 29, 2021. FLOOD ZONE INFORMATION DEPICTED HEREON IS APPROXIMATE. FEMA RETAINS SOLE AUTHORITY REGARDING BOUNDARY AND EXTENT OF SFHA.
  - HORIZONTAL CLOSURE MEETS OR EXCEEDS THE ACCURACY REQUIREMENTS FOR SUBURBAN LAND AS PER FLORIDA STATUTE 5J-17-6.003
  - BEARINGS, DISTANCES OR ANGLES SHOWN ARE THE SAME AS PLAT, DEED OR RECORD UNLESS SHOWN OTHERWISE.
  - NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY, IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY.
  - THE SURVEYOR HAS NOT LOCATED NOR ATTEMPTED TO LOCATE ANY UNDERGROUND UTILITIES, FOUNDATIONS, OR STRUCTURES OTHER THAN THOSE THAT MAY BE SHOWN HEREON.
  - ONLY BOUNDARY CORNER MONUMENTS AS SHOWN HEREON ARE TO BE USED FOR THE LOCATION AND CONSTRUCTION OF IMPROVEMENTS.
  - UNLESS OTHERWISE INDICATED THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE SEARCH OR ATTORNEY'S TITLE OPINION.

**CERTIFIED TO:**  
 BGL INVESTMENTS, LLC

JOB No. 40730  
 FB 20-15-60  
 WILCOXMB/L3B32

**CERTIFICATION:**  
 I HEREBY CERTIFY: THAT THE ATTACHED SURVEY WAS DONE UNDER MY DIRECTION AND MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 FLORIDA STATUTES.

*Joel Seymour* DATE: 3/3/23  
 JOEL A. SEYMOUR PROFESSIONAL LAND SURVEYOR AND MAPPER  
 STATE OF FLORIDA No. LS 6133

**Kane Surveying, Inc.**  
 FLORIDA LICENSED BUSINESS No. LB 7838  
 505 DISTRIBUTION DRIVE  
 MELBOURNE, FLORIDA 32904  
 (321) 676-0427 FAX (321) 984-1448

DRAWN BY: JIL/JED SCALE 1 INCH = 30 FEET



