

Town of Melbourne Beach

PUBLIC NOTICE

AGENDA

PLANNING & ZONING BOARD MEETING TUESDAY JANUARY 10, 2023 @ 6:30 pm COMMUNITY CENTER – 509 OCEAN AVENUE

Board Members:

Chairman David Campbell
Vice-Chairman Member Kurt Belsten
Member April Evans
Member Douglas Hilmes
Member Daniel Gonzalez

Alternate Board Members

Alternate Dan Harper
Alternate Gabor Kishegyi

Staff Members:

Town Manager Elizabeth Mascaro
Town Clerk Amber Brown
Town Attorney Clifford Repperger
Building Official Robert Bitgood

PURSUANT TO SECTION 286.0105, FLORIDA STATUTES, THE TOWN HEREBY ADVISES THE PUBLIC THAT: In order to appeal any decision made at this meeting, you will need a verbatim transcript of the proceedings. It will be your responsibility to ensure such a record is made. Such person must provide a method for recording the proceedings verbatim as the Town does not do so.

In accordance with the Americans with Disability Act and Section 286.26, Florida Statutes, persons needing special accommodations for this meeting shall, at least 5 days prior to the meeting, contact the Office of the Town Clerk at (321) 724-5860 or Florida Relay System at 711.

1. CALL TO ORDER

2. ROLL CALL

3. APPROVAL OF MINUTES

A. December 6, 2022 minutes

4. NEW BUSINESS

A. Site plan approval for 517 Avenue A – Pergola

5. PUBLIC HEARINGS

6. OLD BUSINESS

7. PUBLIC COMMENT

Please limit comments to items that are not on the agenda

8. REPORTS: TOWN MANAGER AND TOWN ATTORNEY

9. ITEMS TO BE ADDED TO THE AGENDA FOR FUTURE MEETINGS

10. ADJOURNMENT

Town of Melbourne Beach

MINUTES

PLANNING & ZONING BOARD MEETING TUESDAY DECEMBER 6, 2022 @ 6:30pm COMMUNITY CENTER – 509 OCEAN AVENUE

Board Members:

Chairman David Campbell
Vice-Chairman Kurt Belsten
Member April Evans
Member Douglas Hilmes
Member Daniel Gonzalez
Alternate Dan Harper
Alternate Gabor Kishegyi

Staff Members:

Town Manager Elizabeth Mascaro
Building Official Robert Bitgood
Town Clerk Amber Brown

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1. CALL TO ORDER

Chairman Campbell called the meeting to order at 6:30 p.m.

2. ROLL CALL

Town Clerk Amber Brown conducted the roll call

Present:

Chairman David Campbell
 Vice-Chairman Kurt Belsten
 Member April Evans
 Member Daniel Gonzalez
 Alternate Dan Harper
 Alternate Gabor Kishegyi

Staff Present:

Town Manager Elizabeth Mascaro
 Building Official Robert Bitgood
 Permit Tech Tom Robinson
 Town Clerk Amber Brown

Absent:

Member Douglas Hilmes

3. APPROVAL OF MINUTES

A. November 1, 2022 minutes

Vice Chairman Kurt Belsten made a motion to approve the November 1, 2022 minutes; Member April Evans seconded; Motion carried 5-0.

4. NEW BUSINESS

A. Site plan approval for 2204 Redwood – new home

Building Official Robert Bitgood provided copies and spoke about corrected numbers on the site plan review document.

Further discussion ensued

Member Daniel Gonzalez moved to approve the site plan for 2204 Redwood; Vice Chairman Kurt Belsten seconded; Motion carried 5-0.

B. Site plan approval for 513 Magnolia – new home

Building Official Robert Bitgood provided copies and spoke about corrected numbers on the site plan review document.

Further discussion ensued

Vice Chairman Kurt Belsten moved to approve the site plan for 513 Magnolia; Member April Evans seconded; Motion carried 5-0.

5. PUBLIC HEARINGS

None

6. OLD BUSINESS

Alternate Dan Harper asked about the status of the landscaping ordinance.

Building Official Robert Bitgood spoke about the Town Attorney still working on updating the landscaping ordinance. Even still the builders have been very accommodating to work with the Town regarding the landscaping.

Member April Evans asked about drainage plans and how to address ongoing maintenance of swales and drainage.

Further discussion ensued

7. PUBLIC COMMENT

None

8. REPORTS: TOWN MANAGER AND TOWN ATTORNEY

None

9. ITEMS TO BE ADDED TO THE AGENDA FOR FUTURE MEETINGS

None

10. ADJOURNMENT

Vice Chairman Kurt Belsten moved to adjourn; Member April Evans seconded; Motion carried 5-0.

The meeting adjourned at 7:09 p.m.

ATTEST:

David Campbell, Chairman

Amber Brown, Town Clerk



TOWN OF MELBOURNE BEACH

BREVARD COUNTY'S OLDEST BEACH COMMUNITY ESTABLISHED 1883

Site Plan Review

Applicable Codes

Town of Melbourne Beach Land Development Code
2020 Florida Building Code

Date: 12/20/2022
 Owner: DYER, ALFRED C; DYER, NANCY M
 Owner Address: 517 AVENUE A, MELBOURNE BEACH FL
 Site Address: 517 AVENUE A, MELBOURNE BEACH FL
 Parcel ID: 28-38-07-01-3-8
 Zoning: 3RS

Proposed Project: Addition of a pergola not connected to existing single family 1 story dwelling.

References: Town of Melbourne Beach Code of Ordinances: 7A-33.

Request: Approval by Planning and Zoning Board, Town Commission for construction of a pergola not connected to existing single family 1 story dwelling.

Staff Review: The property lies in Zoning District 3RS

- 1). Project is an addition of pergola not connected to existing single-family 1 story Dwelling. There is no current structure to be demolished.
- 2). The Building Lot Zoning District requirements of min. lot area, width and depth.
 Lot area is 17,860 sq. ft. (min. 10,000 sq. ft.)
 Lot width is 120 ft. (min. 90 ft)
 Lot depth is 150 ft.(min. 100 ft.)
- 3). Lot coverage has a maximum of 30% for principle structure.
 Lot coverage per plan is 16 % Footprint of Primary Structure is 1,729 sq. ft.
 Max allowed for Primary Structure is 5,358 sq. ft. for Lot Area of 17,860 sq. ft.
 Minimum pervious area per lot is 30%. Pervious area is 83%
- 4). Structure maximum height for zoning district is 28 ft.
 The proposed Pergola height will be shorter than the existing dwelling
 Flood Zone X

5). Zoning District Setback requirements

Proposed Pergola Structure Front Setback is 65 feet (min. 25 ft.)

Proposed Pergola Structure East Side Setback is 42 feet (min. 15 ft.)

Proposed Pergola Structure South Side Setback is 71.2 feet (min. 25 ft.)

Proposed Pergola Structure West Side Setback 58 feet (min. 25 ft.)

6). Sediment and Erosion control measures shall be met and approved by the Building Official in accordance with the Town of Melbourne Beach Code of Ordinances (27-28) and Florida Building Code (3307.1).

7). On-site Storm water Retention Control measures shall be met and approved by the Building Official in accordance with the Town of Melbourne Beach Code of Ordinances (27-28) and the Florida Building Code (3307.1). Town Engineer will submit a review of drainage per Ordinance 2019-06. Town Engineer will be required for final inspection before a Certificate of Occupancy may be issued as per Ordinance 2019-06. Minimum Landscaping Standards shall be met.

Based on the above review, I find the proposed site plan for the referenced property is in compliance with The Town of Melbourne Beach Code of Ordinances.



**Robert Bitgood
Building Official**

IMPERVIOUS

Primary Structure	1160
Pool	0
Decks	112
Driveway	433
Accessory Bldg	874
Concrete areas	100
Pavers areas	300
Other	124

TOTAL IMPERVIOUS 3003

primary - 16.80%

PERVIOUS

Shed space	0
Open areas	14857
Other	0

TOTAL PERVIOUS

Lot Total Sq Footage 17860

TOTAL % PERVIOUS 83%



TOWN OF MELBOURNE BEACH DEVELOPMENT APPLICATION

I. SUBMITTAL REQUIREMENTS:

1. Fees per current schedule.
2. Deed to property.
3. Pre-Application meeting is mandatory. Contact the Building Official or Building Clerk to submit information required and to schedule a pre-application meeting.
4. Application deadlines are determined annually by the Boards and will be provided at the pre-application meeting.
5. All applicants must complete pages 1-3 and the section(s) as applicable to the request (refer to section II. below). All materials listed in the applicable sections must be provided, and fees paid.

II. REQUEST:

- | | |
|---|--|
| <input type="checkbox"/> Land Use Plan Amendment | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Special Exception | <input type="checkbox"/> Coastal Construction Variance |
| <input type="checkbox"/> Variance | <input type="checkbox"/> Appeal (Application must be filed within 30 days) |
| <input type="checkbox"/> Site Plan Review Single Family (1RS, 2RS, 3RS) | <input type="checkbox"/> Site Plan Review Multifamily (4RM, 5RMO) |
| <input type="checkbox"/> Site Plan Review Commercial (6B, 7C, 8B, 9I) | <input type="checkbox"/> Amendment to the Land Development Code |
| | <input type="checkbox"/> Other (specify) _____ |

III. PROPERTY INFORMATION:

General Location: Henry Whittings Plat

Address: 517 Ave. A

Parcel Number(s): Lots 8 + 9, block 3, Whittings Plat of Melb. Bch.,

Area (in acreage): .41 Area (in square feet): _____
Plat Book 1, page 507

Current Zoning: Single Family Proposed Zoning: _____

Current Future Land Use: _____ Proposed Future Land Use: _____

Brief Description of Application: Gazebo, wood framed, not attached
to house (BACKYARD)

Date of Mandatory Pre-Application Meeting (attach meeting minutes if applicable): _____

IV. APPLICANT INFORMATION:

Property Owner

Name: Alfred Dyer

Phone: 321-427-6517

Address: 517 Ave. A

Fax: _____

Melbourne Beach, FL.
32951

Email: aldyerjr@gmail.com

Applicant (if other than property owner)

Name: _____

Phone: _____

Address: _____

Fax: _____

Email: _____

V. OWNER AUTHORIZATION:*

The undersigned hereby affirms the following:

1. That I/we are the fee simple title owner/contract purchaser (circle one) of the property described in this application.
2. That I/we have read and understands the entire application and concurs with the request.
3. That I/we have appointed the Applicant to represent the application, and empowers the Applicant to accept any and all conditions of approval imposed by the Town of Melbourne Beach.

Signature: Alfred C. Dyer

Date: 12.13.2022

Print Name: ALFRED C. DYER

Title: _____

*Must sign in front of notary.

State of Florida
County of Brevard.

The foregoing application is acknowledged before me this 13th day of December, 2022, by Alfred C Dyer who is/are personally known to me, or who has/have produced _____ as identification.

Ann Marie D'Amato
Signature of Notary Public, State of Florida



VI. APPLICANT CERTIFICATION:*

I/we affirm and certify that I/we understand and will comply with the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the application and support documents are fully complete and comply with the requirements of the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the statements and/or diagrams made on any paper or plans submitted here with are true to the best of my/our knowledge and belief that this application, attachments and application filing fees become part of the official public record of the Town of Melbourne Beach, Florida and are not returnable or refundable.

Under penalties of perjury, I/we declare that I/we have read the foregoing application and that to the best of my/our knowledge and belief the facts stated in the application are true.

Signature: Alfred C. Dyer Date: 12.13.2022
Print Name: ALFRED C. DYER Title: _____

*Must sign in front of notary.

State of Florida
County of Brevard.

The foregoing application is acknowledged before me this 13th day of December, 2022, by Alfred C Dyer who is/are personally known to me, or who has/have produced _____ as identification.

Ann Marie D'Amato
Signature of Notary Public, State of Florida



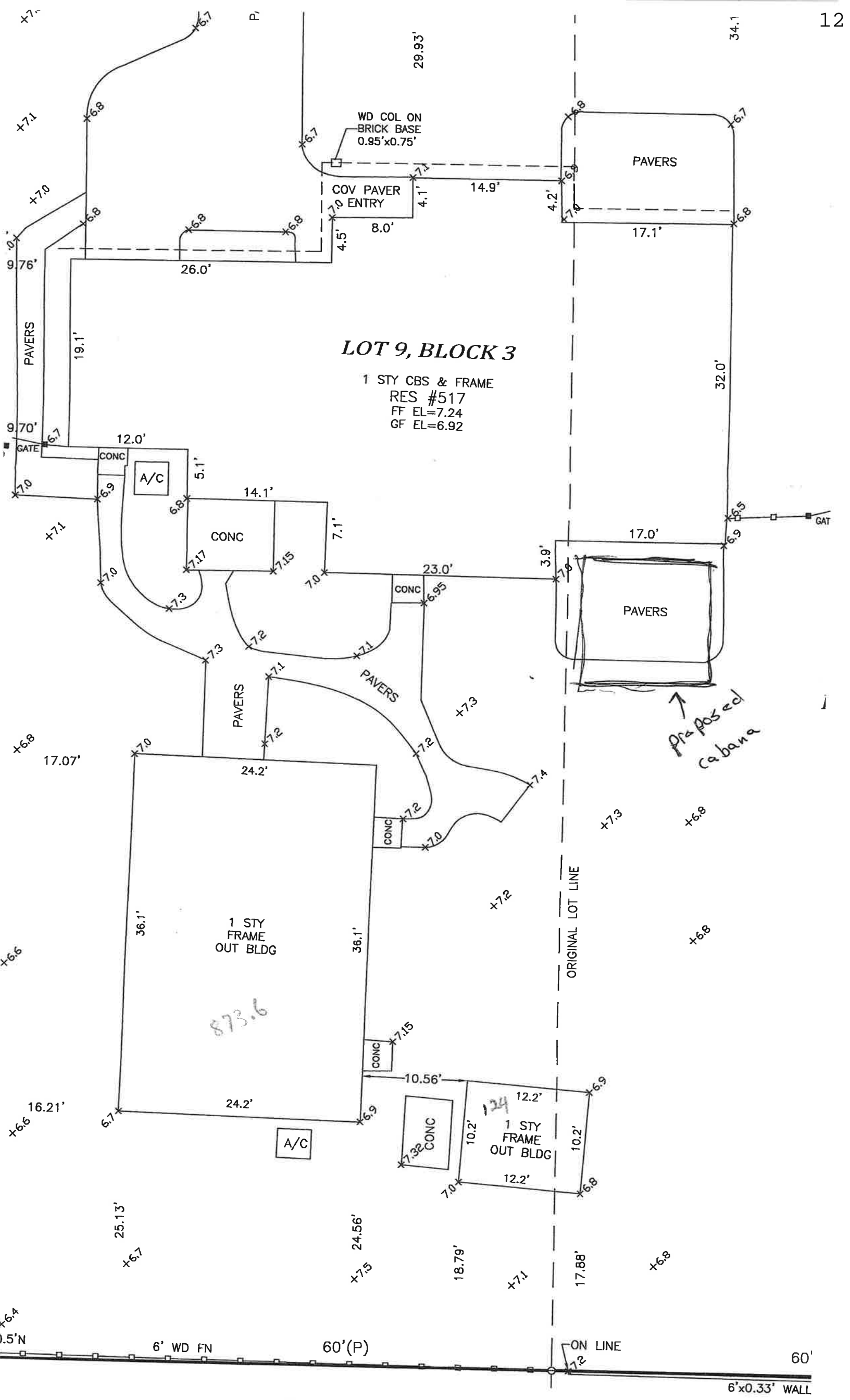
VII. PROJECT DESCRIPTION: BACKYARD

Describe Application: GAZEBO, WOOD FRAMED,
NOT ATTACHED TO HOUSE

Provide attachment if more space is needed.

Describe Existing Conditions: _____

Provide attachment if more space is needed.





321.600.0900
casamiadesign321@gmail.com

DYER RESIDENCE

517 AVENUE A
MELBOURNE BEACH, FL 32951

Issued for _____ date _____

BID SET 8/5/2021

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Item	Description	Date	Revisions

Scale as noted

Sheet Title
**COVER SHEET
FRONT
ELEVATION**

Sheet Number
C1

Drawn by: LFC checked by: LFC

By Casa Mia Design Studio, all rights reserved. REPRODUCED AT FULL SIZE THE SHEET MEASURES 24" x 36"

50' PUBLIC R/W
AVENUE A

ASPHALT PAVEMENT

2" CONC C&G

N89°54'49"E(M)

120.00'

S R/W LINE

150.01'(M)

150.00'(P)

FIELD COPY

PROPOSED PERGOLA DESIGN FOR THE DYER RESIDENCE

PROJECT SUMMARY

PROJECT NAME : DYER RESIDENCE
PROJECT ADDRESS : 517 AVENUE A
MELBOURNE BEACH, FL 34951
PROPOSED USE : SINGLE FAMILY RESIDENTIAL
CONTRACTOR : TBD

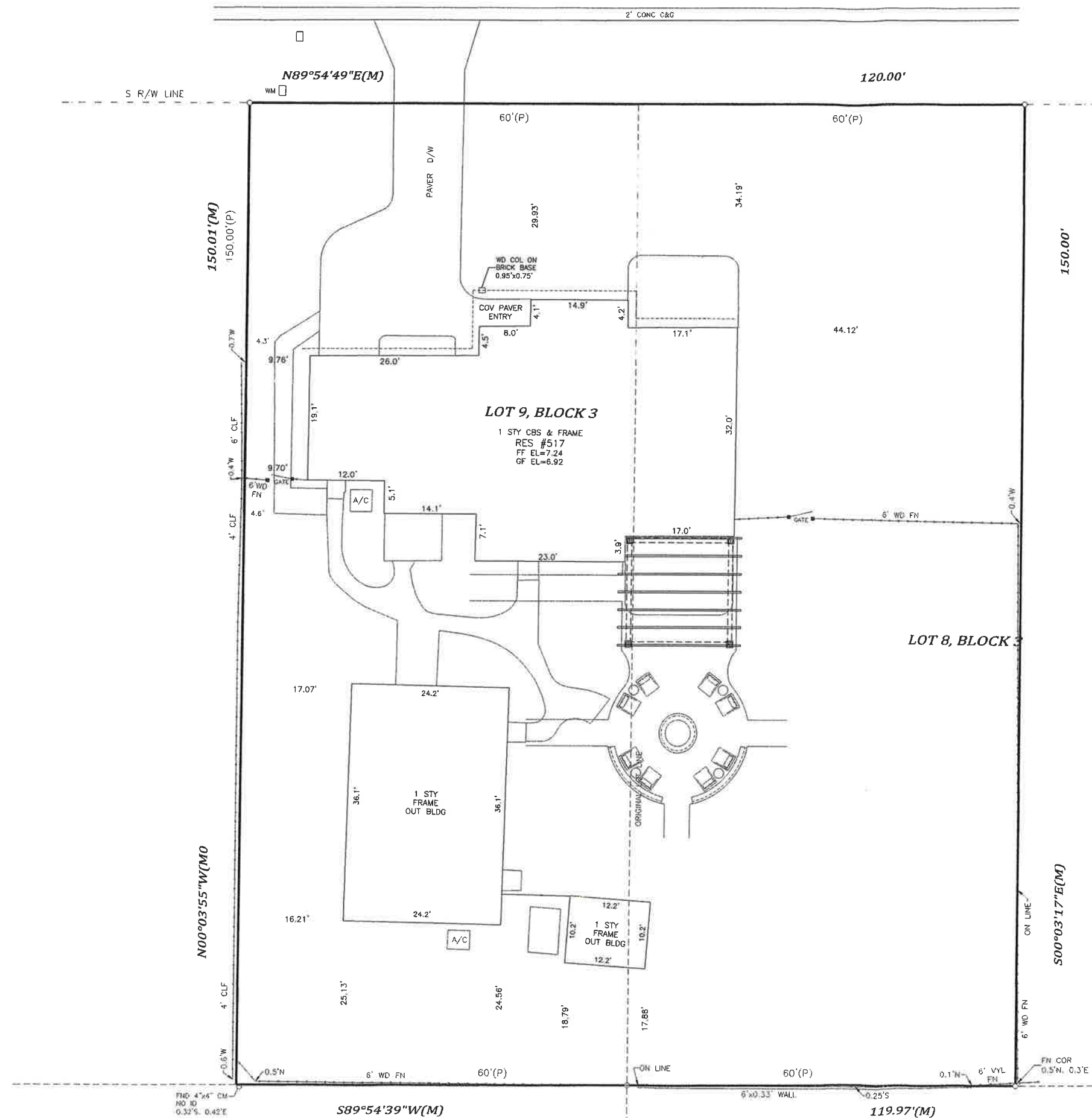
APPLICABLE CODES
FLORIDA BUILDING CODE : 7th EDITION FBC RESIDENTIAL (2020)
MECHANICAL CODE : 7th EDITION FBC RESIDENTIAL (2020)
PLUMBING CODE : 7th EDITION FBC RESIDENTIAL (2020)
ELECTRICAL CODE : NATIONAL ELECTRIC CODE 2017
FIRE CODE : FLORIDA FIRE PREVENTION CODE 2014

AUTHORITY/JURISDICTION : TOWN OR MELBOURNE BEACH

SCHEDULE OF DRAWINGS

SHEET	DESCRIPTION
C1	COVER SHEET, SITE PLAN
A1	FLOOR PLAN, ELEVATION, NOTES
B1	STRUCTURAL NOTES
B2	FOUNDATION PLAN, ROOF FRAMING PLAN

AREA TABULATION



LOT 9, BLOCK 3

1 STY CBS & FRAME
RES #517
FF EL=7.24
GF EL=6.92

LOT 8, BLOCK 3

S89°54'39"W(M)

119.97'(M)

FIN 4"x4" CM
NO 10
0.32'S, 0.42'E

6'x0.33" WALL

FN COR
0.5'N, 0.3'E

38' x 48' x 7' x 6'



321.600.0900
casamiadesign321@gmail.com

DYER RESIDENCE

517 AVENUE A
MELBOURNE BEACH, FL 32951

issued for date
BID SET 8/5/2021

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Casa Mia Design Studio shall not be responsible for: Construction means and methods, techniques, sequences, procedures, or safety practices and programs in connection with the work; for the acts or omissions of the contractor, subcontractors or any other persons performing any of the work; or for the failure of any of them to carry out work in accordance with the Construction Documents and current code. (Construction Admin, not in contract).

revisions		
item	description	date

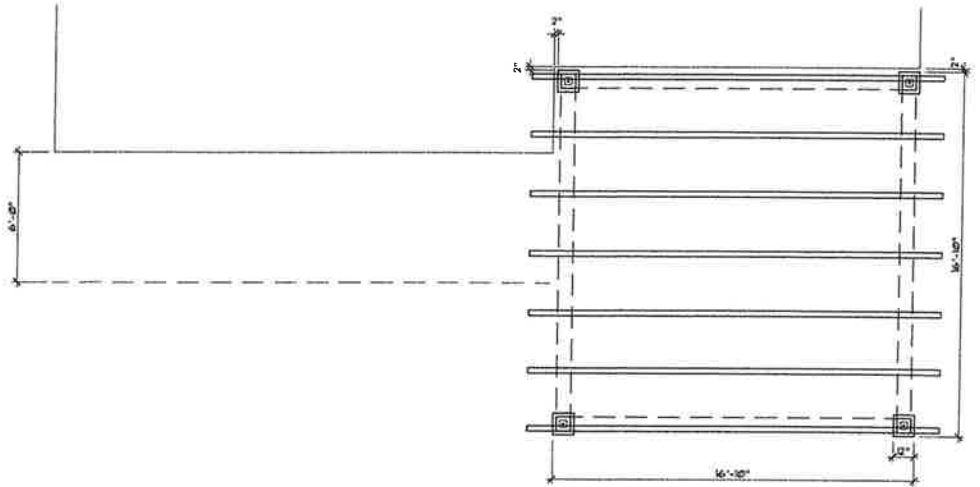
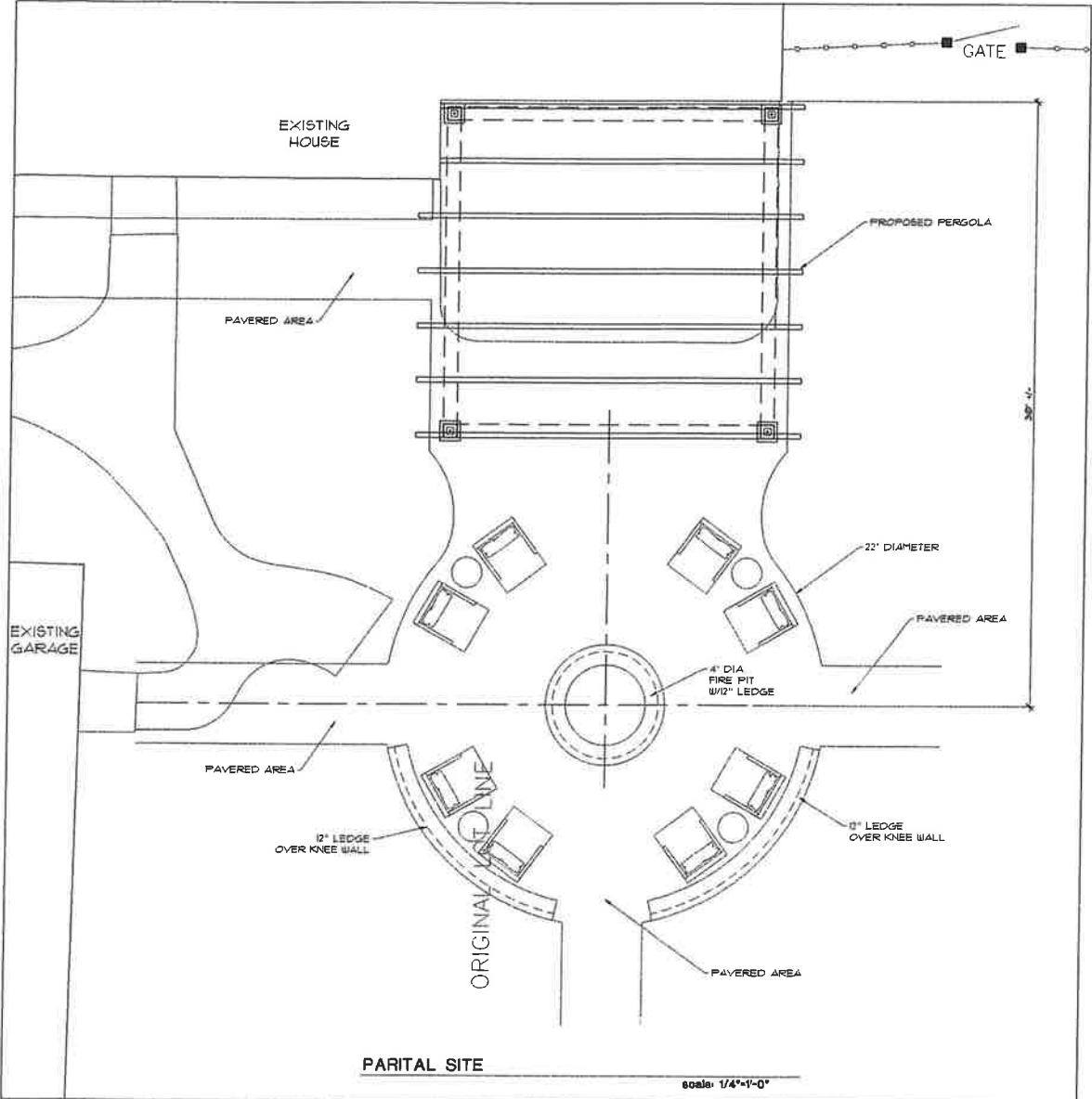
scale as noted

sheet title
PLAN VIEW, ELEVATIONS, PARTIAL SITE

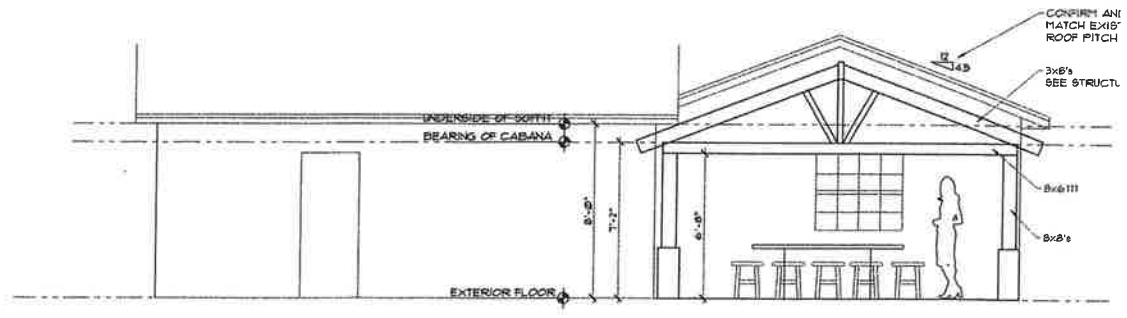
sheet number
A1

drawn by: LFC checked by: LFC

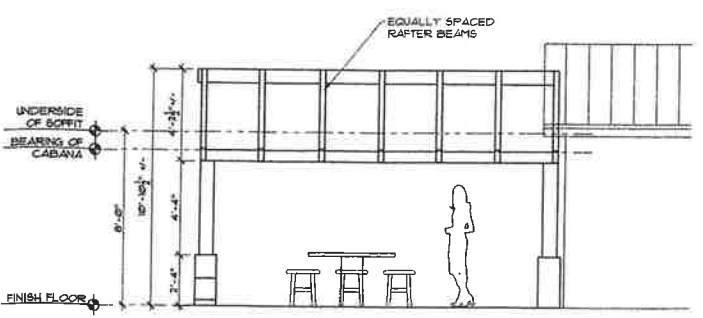
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WHEN PLOTTED AT FULL SIZE THIS SHEET MEASURES 24" x 36"



PLAN VIEW
scale: 1/4"=1'-0"



SOUTH SIDE ELEVATION
scale: 1/4"=1'-0"



EAST SIDE ELEVATION
scale: 1/4"=1'-0"



MK STRUCTURAL ENGINEERING
587 WEST EAU GALLIE BLVD
SUITE 201
MELBOURNE, FL 32935
P. 321.600.0672 OR 321.574.2702
www.mkstructural.com

Certificate of Authorization:
CA 27800

project number
MK 21-133

**DYER
RESIDENCE
CABANA**

517 AVENUE A
MELBOURNE BEACH, FL 32952

Issued for _____ date _____
PERMIT SET 08/05/2021

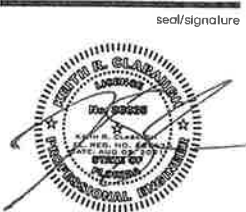
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revisions		
item	description	date

scale
AS NOTED

sheet title

**FOUNDATION
PLAN AND
ROOF FRAMING
PLAN**

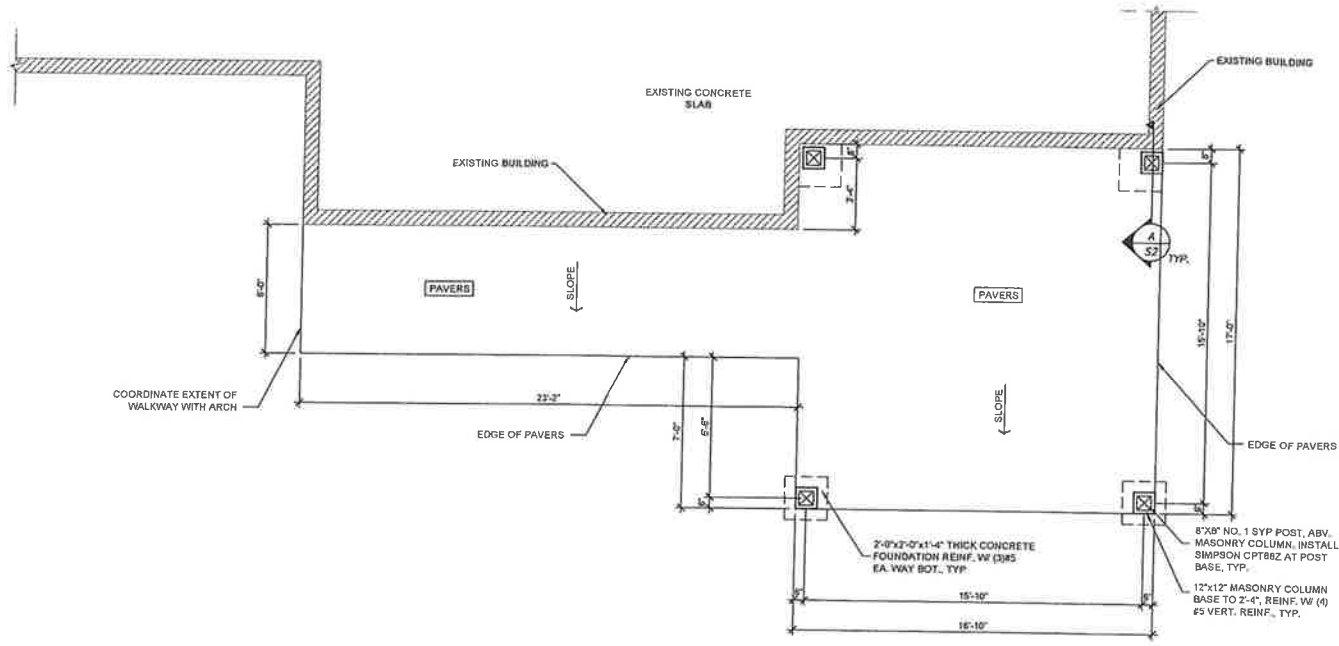


Registered Engineer: Keith R. Clabaugh
Registered Engineer License: PE 86635

S2

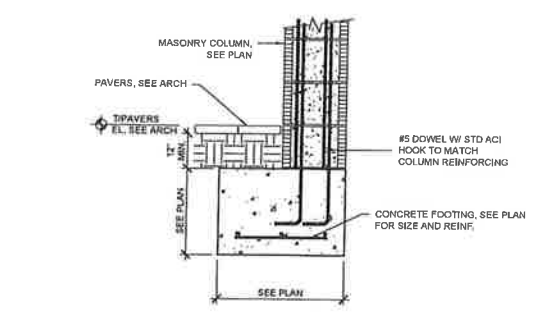
drawn by: NMC checked by: KRC

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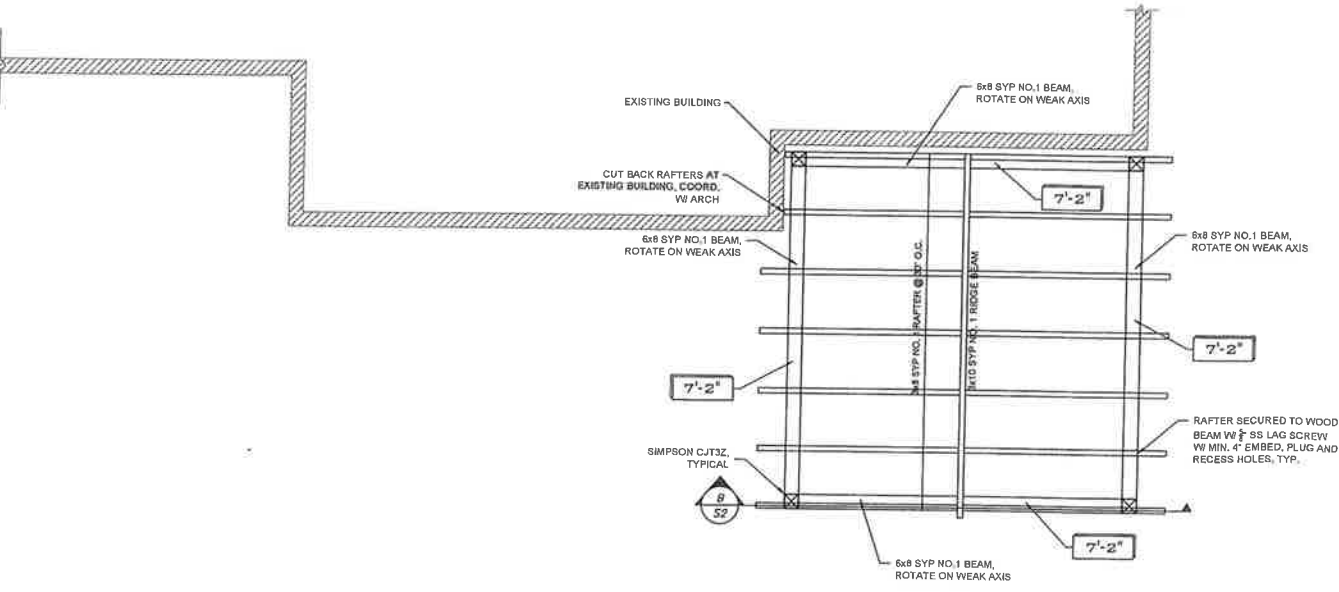


FOUNDATION PLAN

SCALE: 1/4"=1'-0"

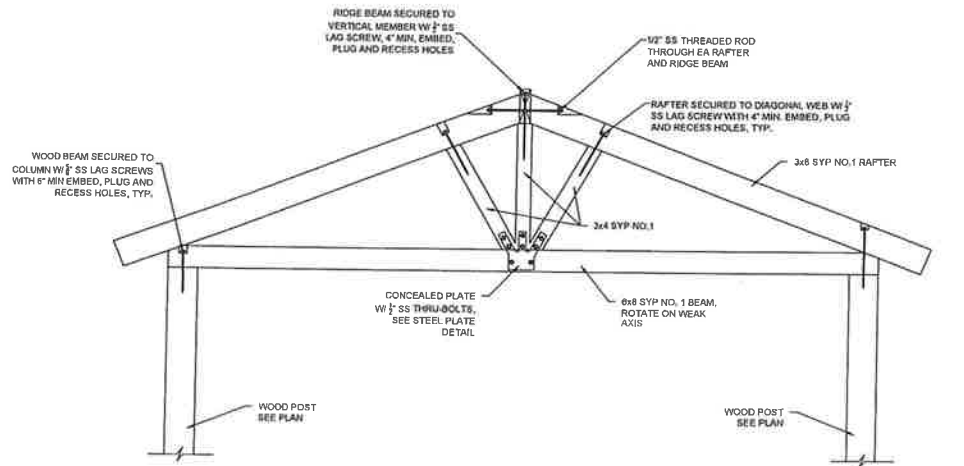


CMU COLUMN FOUNDATION
SCALE: 3/4"=1'-0"



ROOF FRAMING PLAN

SCALE: 1/4"=1'-0"



CABANA FRAMING DETAIL

SCALE: 3/4"=1'-0"

