Town of Melbourne Beach

PUBLIC NOTICE AGENDA

PLANNING & ZONING BOARD MEETING TUESDAY JANUARY 10, 2023 @ 6:30 pm COMMUNITY CENTER – 509 OCEAN AVENUE

Board Members:

Chairman David Campbell Vice-Chairman Member Kurt Belsten Member April Evans Member Douglas Hilmes Member Daniel Gonzalez

Alternate Board Members

Alternate Dan Harper Alternate Gabor Kishegyi

Staff Members:

Town Manager Elizabeth Mascaro Town Clerk Amber Brown Town Attorney Clifford Repperger Building Official Robert Bitgood

PURSUANT TO SECTION 286.0105, FLORIDA STATUTES, THE TOWN HEREBY ADVISES THE PUBLIC THAT: In order to appeal any decision made at this meeting, you will need a verbatim transcript of the proceedings. It will be your responsibility to ensure such a record is made. Such person must provide a method for recording the proceedings verbatim as the Town does not do so.

In accordance with the Americans with Disability Act and Section 286.26, Florida Statutes, persons needing special accommodations for this meeting shall, at least 5 days prior to the meeting, contact the Office of the Town Clerk at (321) 724-5860 or Florida Relay System at 711.

1. CALL TO ORDER

2. ROLL CALL

3. APPROVAL OF MINUTES

A. December 6, 2022 minutes

4. NEW BUSINESS

A. Site plan approval for 517 Avenue A – Pergola

5. PUBLIC HEARINGS

6. OLD BUSINESS

7. PUBLIC COMMENT

Please limit comments to items that are not on the agenda

8. REPORTS: TOWN MANAGER AND TOWN ATTORNEY

9. ITEMS TO BE ADDED TO THE AGENDA FOR FUTURE MEETINGS

10. ADJOURNMENT

Town of Melbourne Beach

MINUTES

PLANNING & ZONING BOARD MEETING TUESDAY DECEMBER 6, 2022 @ 6:30pm COMMUNITY CENTER – 509 OCEAN AVENUE

Board Members:

Chairman David Campbell Vice-Chairman Kurt Belsten Member April Evans Member Douglas Hilmes Member Daniel Gonzalez Alternate Dan Harper Alternate Gabor Kishegyi

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1. CALL TO ORDER

Chairman Campbell called the meeting to order at 6:30 p.m.

2. ROLL CALL

Town Clerk Amber Brown conducted the roll call

Present:

Chairman David Campbell Vice-Chairman Kurt Belsten Member April Evans Member Daniel Gonzalez Alternate Dan Harper Alternate Gabor Kishegyi

Staff Present:

Town Manager Elizabeth Mascaro Building Official Robert Bitgood Permit Tech Tom Robinson Town Clerk Amber Brown

Absent:

Member Douglas Hilmes

3. APPROVAL OF MINUTES

A. November 1, 2022 minutes

<u>Vice Chairman Kurt Belsten made a motion to approve the November 1, 2022</u> <u>minutes; Member April Evans seconded; Motion carried 5-0.</u>

4. NEW BUSINESS

A. Site plan approval for 2204 Redwood – new home

Building Official Robert Bitgood provided copies and spoke about corrected numbers on the site plan review document.

Further discussion ensued

<u>Member Daniel Gonzalez moved to approve the site plan for 2204 Redwood;</u> <u>Vice Chairman Kurt Belsten seconded; Motion carried 5-0.</u>

B. Site plan approval for 513 Magnolia – new home

Building Official Robert Bitgood provided copies and spoke about corrected numbers on the site plan review document.

Further discussion ensued

<u>Vice Chairman Kurt Belsten moved to approve the site plan for 513 Magnolia;</u> <u>Member April Evans seconded; Motion carried 5-0.</u>

5. PUBLIC HEARINGS

None

6. OLD BUSINESS

Alternate Dan Harper asked about the status of the landscaping ordinance.

Building Official Robert Bitgood spoke about the Town Attorney still working on updating the landscaping ordinance. Even still the builders have been very accommodating to work with the Town regarding the landscaping.

Member April Evans asked about drainage plans and how to address ongoing maintenance of swales and drainage.

Further discussion ensued

7. PUBLIC COMMENT

None

8. REPORTS: TOWN MANAGER AND TOWN ATTORNEY

None

9. ITEMS TO BE ADDED TO THE AGENDA FOR FUTURE MEETINGS

None

10. ADJOURNMENT

<u>Vice Chairman Kurt Belsten moved to adjourn; Member April Evans seconded;</u> <u>Motion carried 5-0.</u>

The meeting adjourned at 7:09 p.m.

ATTEST:

David Campbell, Chairman

Amber Brown, Town Clerk



BREVARD COUNTY'S OLDEST BEACH COMMUNITY ESTABLISHED 1883

6

Site Plan Review

Applicable Codes Town of Melbourne Beach Land Development Code 2020 Florida Building Code

Date:	12/20/2022
Owner:	DYER, ALFRED C; DYER, NANCY M
Owner Address:	517 AVENUE A, MELBOURNE BEACH FL
Site Address:	517 AVENUE A, MELBOURNE BEACH FL
Parcel ID:	28-38-07-01-3-8
Zoning:	3RS

Proposed Project: Addition of a pergola not connected to existing single family 1 story dwelling.

References: Town of Melbourne Beach Code of Ordinances: 7A-33.

Request: Approval by Planning and Zoning Board, Town Commission for construction of a pergola not connected to existing single family 1 story dwelling.

Staff Review: The property lies in Zoning District 3RS

- 1). Project is an addition of pergola not connected to existing single-family 1 story Dwelling. There is no current structure to be demolished.
- 2). The Building Lot Zoning District requirements of min. lot area, width and depth. Lot area is 17,860 sq. ft. (min. 10,000 sq. ft.) Lot width is 120 ft. (min. 90 ft) Lot depth is 150 ft.(min. 100 ft.)
- 3). Lot coverage has a maximum of 30% for principle structure. Lot coverage per plan is 16 % Footprint of Primary Structure is 1,729 sq. ft. Max allowed for Primary Structure is 5,358 sq. ft. for Lot Area of 17,860 sq. ft. Minimum pervious area per lot is 30%. Pervious area is 83%
- 4). Structure maximum height for zoning district is 28 ft. The proposed Pergola height will be shorter than the existing dwelling Flood Zone X

5). Zoning District Setback requirements Proposed Pergola Structure Front Setback is 65 feet (min. 25 ft.) Proposed Pergola Structure East Side Setback is 42 feet (min. 15 ft.) Proposed Pergola Structure South Side Setback is 71.2 feet (min. 25 ft.) Proposed Pergola Structure West Side Setback 58 feet (min. 25 ft.)

6). Sediment and Erosion control measures shall be met and approved by the Building Official in accordance with the Town of Melbourne Beach Code of Ordinances (27-28) and Florida Building Code (3307.1).

7

7). On-site Storm water Retention Control measures shall be met and approved by the Building Official in accordance with the Town of Melbourne Beach Code of Ordinances (27-28) and the Florida Building Code (3307.1). Town Engineer will submit a review of drainage per Ordinance 2019-06. Town Engineer will be required for final inspection before a Certificate of Occupancy may be issued as per Ordinance 2019-06. Minimum Landscaping Standards shall be met.

Based on the above review, I find the proposed site plan for the referenced property is in compliance with The Town of Melbourne Beach Code of Ordinances.

Robert Bitgood Building Official

Primary Structure	1160	Shed space	0
Pool Decks	0	Open areas	14857
Driveway	112	Other	0
Accessory Bldg	433 874		
Concrete areas	100	TOTAL PERVIOUS	
Pavers areas	300		
Other	124		
TOTAL IMPERVIOUS	3003		
		Lot Total Sq Footage	17860



TOWN OF MELBOURNE BEACH **DEVELOPMENT APPLICATION**

1. SUBMITTAL REQUIREMENTS:

- 1. Fees per current schedule.
- 2. Deed to property.
- 3. Pre-Application meeting is mandatory. Contact the Building Official or Building Clerk to submit information required and to schedule a pre-application meeting.
- 4. Application deadlines are determined annually by the Boards and will be provided at the pre-application meeting.
- 5. All applicants must complete pages 1-3 and the section(s) as applicable to the request (refer to section II. below). All materials listed in the applicable sections must be provided, and fees paid.

П. **REQUEST:**

- □ Land Use Plan Amendment
- □ Special Exception
- □ Variance

pg. 1

01-2020

- □ Site Plan Review Single Family (1RS, 2RS, 3RS) □ Site Plan Review Multifamily (4RM, 5RMO)
- □ Rezoning

5

- Coastal Construction Variance
- Appeal (Application must be filed within 30 days)

g

- □ Site Plan Review Commercial (6B, 7C, 8B, 9I) □ Amendment to the Land Development Code
- Other (specify)

10. PROPERTY INFORMATION:

General Location: Henry Whitings Plat.
Address: 517 Ave. A
Parcel Number(s): Lots 8+9, block 3, Whitings Plat of Melb. Bch.
Parcel Number(s): <u>LOTS 8 + 9</u> , <u>black 3</u> , <u>Whitings Plat of Melb.Bch.</u> Area (in acreage): <u>, 41</u> Area (in square feet): <u></u>
Current Zoning: <u>Single Family</u> Proposed Zoning:
Current Future Land Use: Proposed Future Land Use:
Brief Description of Application: <u>Gazebo</u> , wood framed, not attached
to house (BACKYARD)
Date of Mandatory Pre-Application Meeting (attach meeting minutes if applicable):

IV. APPLICANT INFORMATION:	
Property Owner	
Name: Alfred Dyer	Phone: 321-427-6517
Address: S17 Ave. A	Fax:
Melbourne Beach, FL. 32951	Email: aldyerir e gmail.com
Applicant (if other than property owner)	
Name:	Phone:
Address:	Fax:
	Email:
V. OWNER AUTHORIZATION:*	the second s
The undersigned hereby affirms the following:	
 That I/we have read and understands the entire That I/we have appointed the Applicant to repaccept any and all conditions of approval impose 	present the application and empowers the Applicant to
Print Name: ALFRED C. DYER	Title:
*Must sign in front of notary.	а ¹¹ ен ² ей
State of Florida County of Brevard. The foregoing application is acknowledged before me this 13 Th day of December 2022, by HH20 C who is/are personally known to me, or who has/have	Dyer
as identification. Signature of Notary Public, State of Florida	ANN MARIE D'AMATO Notary Public - State of Florida Commission # HH 176724 My Comm. Expires Oct 8, 2025

10

8

VI. **APPLICANT CERTIFICATION:***

I/we affirm and certify that I/we understand and will comply with the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the application and support documents are fully complete and comply with the requirements of the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the statements and/or diagrams made on any paper or plans submitted here with are true to the best of my/our knowledge and belief that this application, attachments and application filing fees become part of the official public record of the Town of Melbourne Beach, Florida and are not returnable or refundable.

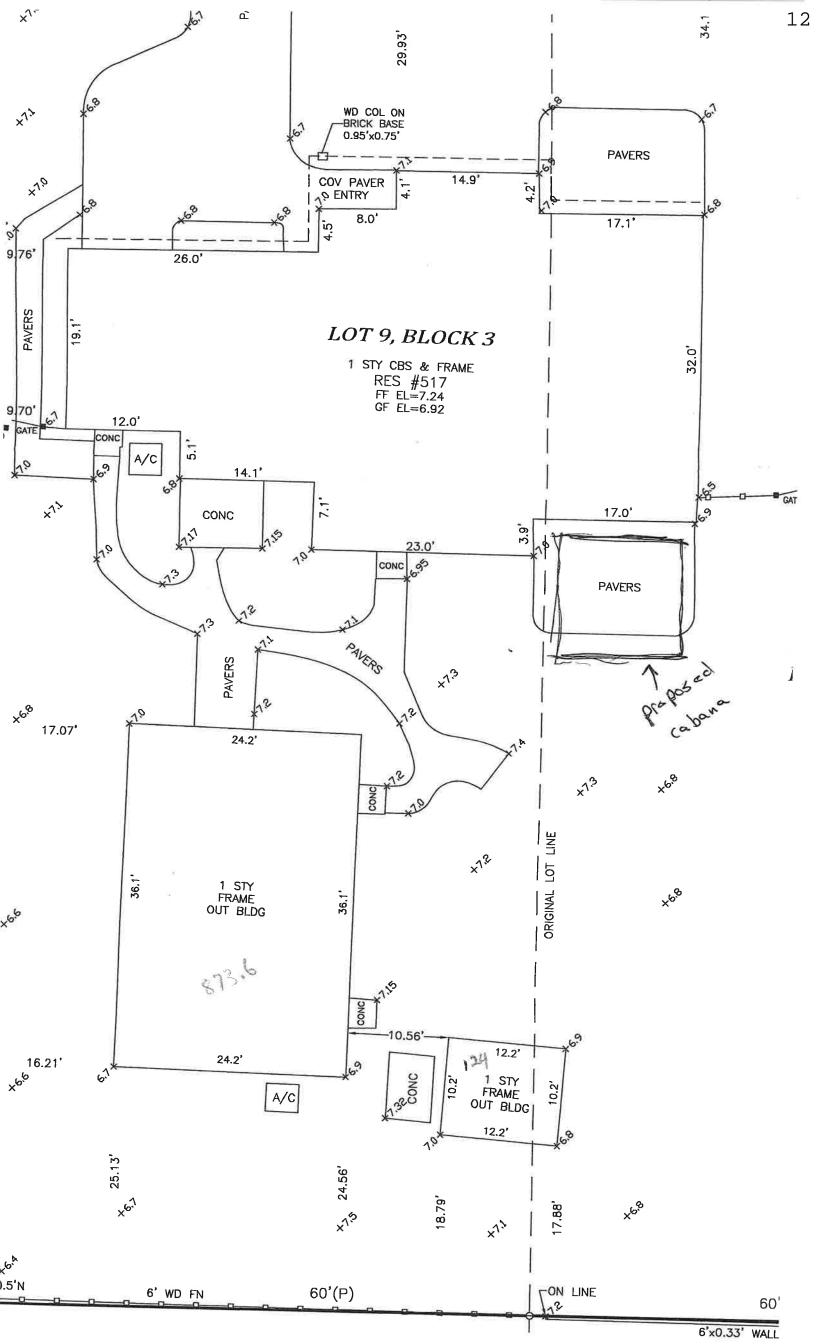
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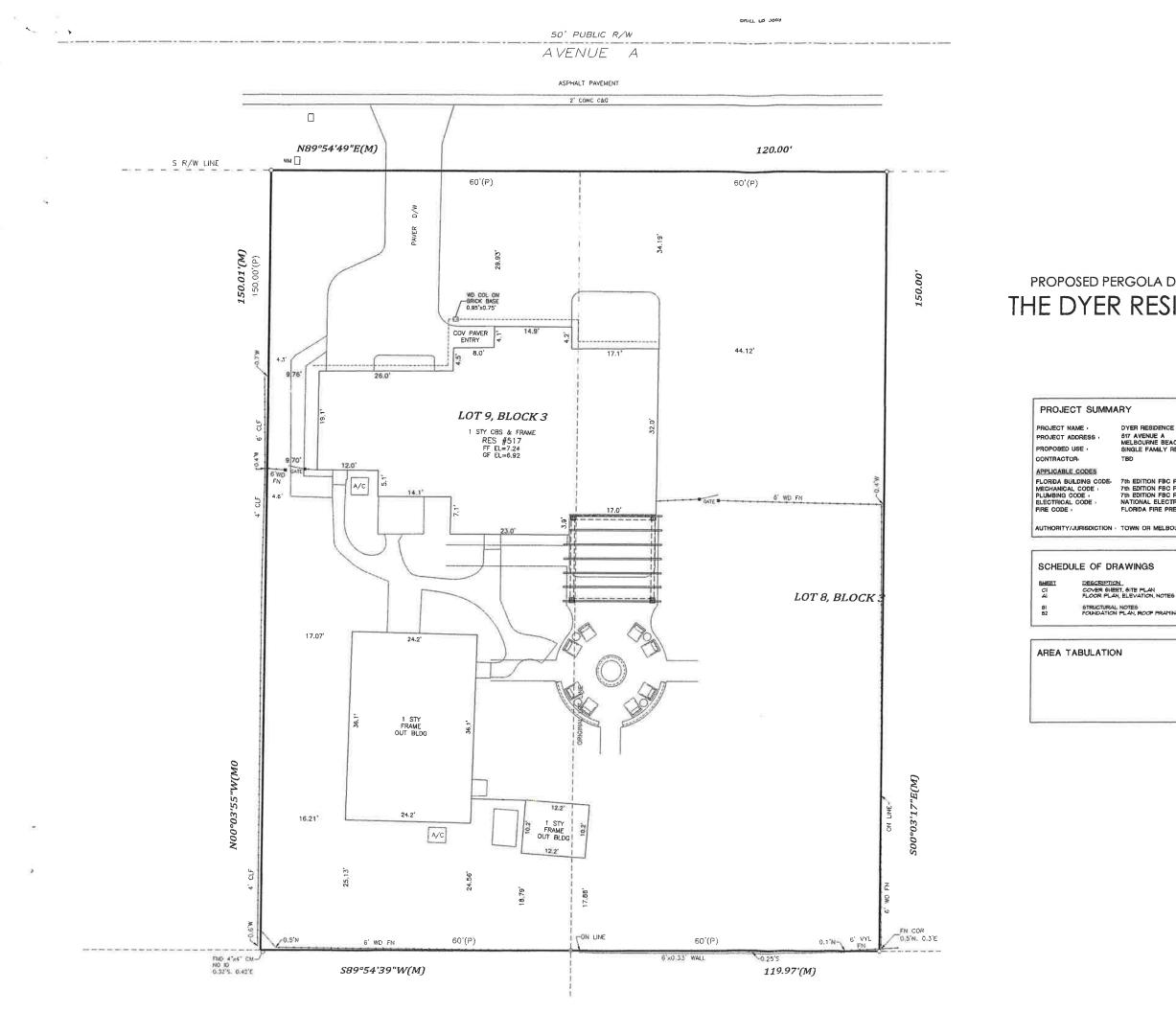
Under penalties of perjury, I/we declare that I/we have read the foregoing application and that to the best of my/our knowledge and belief the facts stated in the application are true.

Signature: Ufua C.Klyn Date: 12.13.20	22
Print Name: ALFRED C. DYER Title:	
*Must sign in front of notary.	
State of Florida County of Brevard. The foregoing application is acknowledged before me this 15^{++} day of <u>December</u> , 2000, by <u>Alfred</u> <u>Dyer</u> , who is are personally known to me, or who has/have produced	
ANN MARIE D'AMATO Notary Public, State of Florida	1976 - 1979 - 1979 Salar 1 - 1980 Salar 1 - 1980 - 19
VII. PROJECT DESCRIPTION: BACKYARD Describe Application: 6AZEBO, WOOD FRAMED,	e a en
NOT ATTACHED TO HOUSE	
Provide attachment if more space is needed. Describe Existing Conditions:	*
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2003 E. 100 E	×
Provide attachment if more space is needed.	·
pg. 3 Town of Melbourne Beach – Development Application	

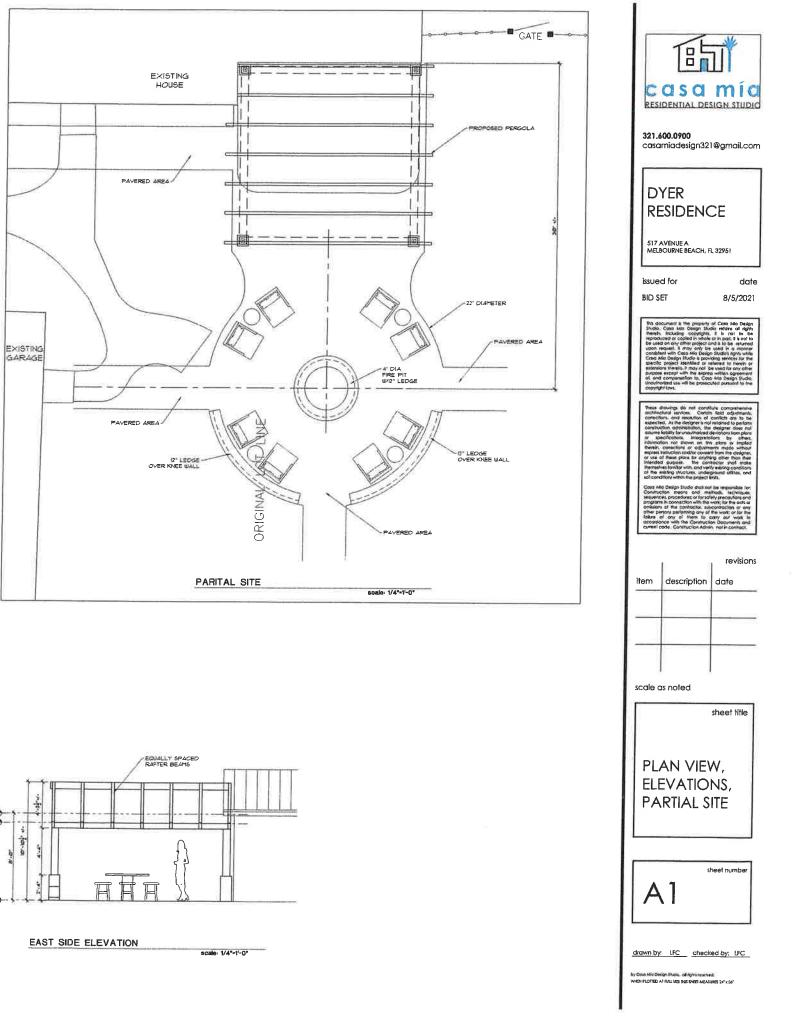
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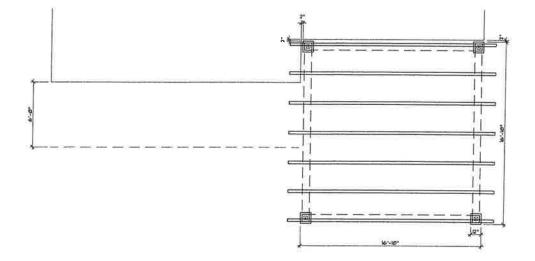
01-2020





	COSO MIO RESIDENTIAL DESIGN STUDIO
	321.600.0900 casamiadesign321@gmail.com
FIELD COPY	DYER RESIDENCE
	517 AVENUE A MELBOURNE BEACH, FL 32951
DESIGN FOR	issued for date BID SET 8/5/2021
	the document is the property of Case Mis Design Blude, Case Are Design Study relative at eight resolution of the Design Study relative at eight resolution of a coefficient with the transmitting of the study of a coefficient of the Design Article consisted and coefficient of the Design Article Consisted and Case Are Design Action (for when solectic project latenthies or released to any other solectic project latenthies or released to herein or enterspote backet with a supremutivity blude.
E ACH, FL 34951 RESIDENTIAL RESIDENTIAL (2020)	These drawlegs to not contlive comprehensive architectural entropy. Cardin fast equitment, controllon, and marking to drawled not table controllon, and marking to drawled the table controllon, administration and the second second carameter back for unanitative disclose item bais or specification. Interestitution to the second means instruction and/or content from the designer, thereads a proceed to a coldwards the second second ensuing tablector and second from the designer, thereads a proceed to a coldwards from the designer, thereads a process. The controls will make thereads a process. The controls will be a set or adaption within the specific time. Cours will be applied time.
REBIDENTIAL (2020) REGUENTIAL (2020) REC CODE 2017 REVENTION CODE 2014 DURNE BEACH	Cost well sharp there is not in the interpretable for the expension provider that of the expension and programs is connection with the work for the exits or emission at the contraction advantractical set on any follow of any of them is carry out work in locate of any of them is carry out work in accession with the Construction Documents and current code. Contraction Admin. not is contract.
	revisions
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	scale as noted
	sheet title
	COVER SHEET FRONT ELEVATION
	sheet number
	drawn by: LFC checked by: LFC

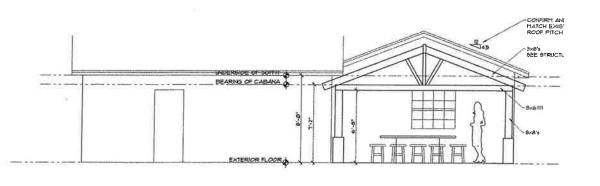


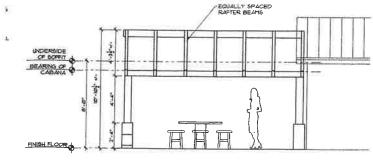


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PLAN VIEW scale- 1/4*-T-0*





SOUTH SIDE ELEVATION

scale: 1/4"=1'-0"

STRUCTURAL NOTES, SPECIFICATIONS AND GENERAL REQUIREMENTS

REINFORCED CONCRETE

DESIGN CRITERIA

1 1 4

0-1 CODES: - 7/6 EDITION FLORIDA BUILOING GOOE (2020) RESIDENTAL - ASCE 7-16 "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES"

D-? DESIGN DEAD LOADS; 8" MASONRY WALL 55 PSF CONCRETE 150 PCF

D-3 DESIGN WIND SPEED: Val * 149 MPH (3 SECOND GUST) PER RGURE 1609.3(1) Val * 169 MPH PER SECTION 1509.3,1 RISK CATEGORY 1 (PER RGUE 1504.5) SURFACE ROUGHIESS: D. FIRE SECTION 1509.4 WIND SPECIAL POLICY I.O. PER SECTION 1509.4 MIND SPECIAL

ASSUMPTIONS; A, BUILDING IS ASSUMED TO BE PARTIALLY ENCLOSED AS DEFINED BY SECTION 1609,2 FBC

8. THE BUILDING BATISHIES THE REQUIREMENTS OF SECTION 1988.8" ALTERNATE ALL-HEIGHTS METHOD" AND ALL STRUCTURAL MEMBERS, CLADOND FASTENERS, AND SYSTEMS INCOMO THE STRUCTURAL INTEGRITY OF THE BUILDING HAVE BEEN DESIGNED FOR LONDS FIRM TABLES LISTED IN ASCE 7-16 CHAPTER 27 - DERECTORIAL PROCEEDING OF MARE 7.

C. ALL COMPONENTS AND CLACOING SUBJECT TO WHID LOACINGS, LE. DOORS, WINDOWS, JAMBS, ROOFING, ETC, SHALL BE DESIGNED AND PASTENED TO RESIST DESIGN WIND PRESSURES FOR COMPONENTS AND CLACOING, AS SHOWN ON PLAN,

D. ALL PRE-MANUFACTURED MAIN WIND FORCE RESISTING COMPONENTS, LE. TRUSSES SHALL BE DESIGNED TO RESIST MAIN WIND FORCE RESISTING DESIGN FORCES, AS SPECIFIED ON PLAN AND SHALL BE INSTALLED IN ACCORDANCE WITH MANUPACTURER'S SPECIFICATIONS

E. OWNER OR CONTRACTOR SHALL OBTAIN RECEISANTY INSTALLATION SPECIFICATIONS AND INSPECTIONS REQUIRED TO COMPLY WITH MANUFACTURERS RECOMMENDATIONS FOR INSTALLATION OF COMPONENTS AND CLADDING FOR HURBLAND PROVE BROWNS D-4 SEISMIC: ZONE 0

D-5 ASSUMED ALLOWABLE BEARING CAPACITY OF 2000 PSF, IF SITE CONDITIONS DO NOT ALLOW FOR ASSUMED ALLOWABLE BEARING CAPACITY CONTACT ENGINEER

GENERAL NOTES

G-1 REVIEW ALL PROJECT DOCUMENTS PRIOR TO FABRICATION AND START OF CONSTRUCTION, REPORT ANY DISCREPANCIES TO ARCHITECT OR STRUCTURAL ENGINEER PRIOR TO PROJECTIONAL WITH MARK

G-2 THE MARGHET WALLS ARE NOT DESIGNED TO WITHSTAND TEMPORARY CONSTRUCTION LOADS. IT IS THE CONTRACTOR'S RESPONSIBILITY AT ALL TIMES TO M WALL STABLITY DURING THE CONSTRUCTION PHASE OF THIS PROJECT. G-3 IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITY LINES FROM ALL DAMAGE DURING CONSTRUCTION.

G-4 NO STRUCTURAL MEMBER SHALL BE CUT, NOTCHED OR OTHERWISE REDUCED IN SIZE OR STRENGTH WITHOUT PRIOR APPROVAL IN WRITING FROM THE STRUCTURAL ENGINEER,

G-5 COORDINATE STRUCTURAL AND OTHER DRAWNICS THAT ARE PART OF THE CONTRACT DOCUMENTS FOR ANCHORED, EMBEDDED OR SUPPORTED ITEMS WHICH MAY AFFECT THE STRUCTURAL DRAWNICS (JE. MECHANICAL, ELECTRICAL, PLUMEING, DUCTWORK, ETC.)

G-5 ALL DETAILS AND SECTIONS ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE ON THE PROJECT EXCEPT WHERE A SEPARATE DETAIL IS SHOWN.

G-7 THE INTENTION OF THE FLANS AND SPECIFICATIONS IS TO PROVIDE ALL NECESSARY DEVALS TO CONSTRUCT A COMPLETE STRUCTURE, WHEN SPECIFIC INFORMATION IS INSOND OR IS IN CONFLICT. THE CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECTE/NGINEEN.

GA THE ENDINGER SMALL NOT BE RESPONSIBLE FOR LAYOUT, DIMENSIONAL ERRORS OR DISCREPANCIES RESULTING FROM THE REPRODUCTION AND USE OF CONTINUE DIMANNOS FOR ERECTION AND BIOP DIMAMOSI. USE OF CONTINUET DIMAMINIS REPRODUCED IN WHOLE OF ANY TARY IN SHOP DRAMMOS SHALL NOT RELIVE THE CONTINUED THE SUBCRITICATIONS FROM THE RESPONSIBILITY TO ACCURATELY UNVOLUCE ON WHOLE OF ANY TARY IN SHOP DRAMMOS SHALL NOT RELIVE THE CONTINUED THE SUBCRITICATIONS FROM THE RESPONSIBILITY TO ACCURATELY UNVOLUCE ON THROLE DETAIL. TOTAL ACCUMPTE THE THE DIMENSION OF A DIMENSION FROM THE RESPONSIBILITY OF ACCURATELY UNVOLUCE ON THROLE DETAIL ACCURATELY UNVERTIGATION OF ANY THE REPRODUCTION AND THE DIMENSION OF A DIME 0.9 REVIEW ALL SHOP DRAWINGS FOR CONFORMANCE WITH THE CONTRACT DOCUMENTS AND FOR COMPLETENESS AND ANSWER ALL CONTRACTOR RELATED GUESTIONS, STAMP AND MITRA, ALL SHEETS PRIOR TO SUBMITTING SHOP DRAWINGS TO AND ATELETICHNSINEER FOR REVIEW, NON-COMPLANCE WITH THIS REQU WALL REGILT IN PRECIFICING USING TALL.

22. AL WOOD CONSTRUCTION AND CONNECTIONS SHALL CONFIGHM TO AIRC 3MERICAN INSTITUTE OF TIMBER CONSTRUCTION" MANUAL, EDITION, AND THE "NATIONAL IN SPECIFICATIONS" FOR WOOD CONSTRUCTION, 2018 EDITION, AND FLORIDA BULEDING CODE, CHAPTER 23.

WD-2 ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY OR EXPOSED TO WEATHER SHALL BE PRESSURE TREATED, UNLESS NOTED OTHERWISE

WD-3 DIMENSIONED LUMBER SHALL BE DRESSED 545, AND SHALL BEAR THE GRADE STAMP OF THE MANUFACTURER'S ASSOCIATION.

WD-4 ALL LUMBER SHALL BE SOUND, SEASONED, AND FREE FROM WARP

WDS. ALL CONVECTION HARDWARE IN CONTACT WITH PRESSURE THEATED WOOD SHALL BE STANLESS STEEL OR HOT DIP/ED GALWARED, ALL OTHER CONVECTORS SHALL BE GALWARED SUPPLIED BY EMPSON STRONG-THE CO., INC., CR LEP LLMBER CONVECTORS BY APPROVED EQUIVALENT MANUFACTURER. USE EQUIVALENT MATERIALS FOR MINUL AND DEDREMANS AS A STEELEN.

WD-6 ALL LUMBER SHALL BE SOUTHERN PINE NO. 2 GRADE OR BETTER: WITH 19% MAXIMUM MOISTURE CONTENT, UNLESS NOTED OTHERWISE ON PLAN.

WD-7 ALL LOAD BEARING STUD WALLS SHALL HAVE STUDS SPACED AT A MAXIMUM OF 16" OC (UNLESS NOTED OTHERWISE) WITH A DOUBLE TOP PLATE AND A SINGLE PRESSURE TREATED BOTTOM PLATE.

WD-8 SEE TYPICAL LOAD BEARING WALL DETAIL FOR NUMBER OF STUDS AT ALL WALL OPENINGS.

WD-9 UNLESS NOTED OTHERWISE, PROVIDE ONE ROW OF BRIDGING AT MIDSPAN FOR WALLS HIGHER THAN 6-3" AND LESS THAN 10-0". PROVIDE TWO ROWS OF BRIDGING AT 10 AND 20 BPAN POINTS FOR WALLS GREATER HIGHER THAN 10-0".

WD-10 PROVIDE A MINIMUM OF A THREE STUD COLUMN AT ALL GIRDER TRUSS BEARING LOCATIONS.

WD-10 PROVIDE A MENSION OF A MERSION OF A ME

ROOF SHEATHING SHALL BE APA KATED SHEATHING EXPOSURE I NIN ROOF SHEATHING SHALL BE APA KATED SHEATHING EXPOSURE I SPAN RATED AS PER THE RAFTER OR TRUSS SPACINO. SHEATHING EXPOSED TO WEATHER SHALL BE EXTERIOR CLASSIFICATION

WD-12 PNEUMATIC NAILING DEVICES SHALL BE CALIBRATED TO AVOID COUNTER SINKING NAILS INTO EXTERIOR WALL AND ROOF SHEATHING

WD-13 UNLESS NOTED OTHERWISE, HEADER BEAMS ARE TO BE PROVIDED IN ACCORDANCE WITH SECTION 2308.3 OF THE FLORIDA BUILDING CODE.

WD-14 FRAMING MEMBERS SHALL BE FASTENED TOGETHER IN ACCORDANCE WITH SECTION 2306 OF THE FLORIDA BUILDING CODE, EXCEPT WHERE FASTENING SCHEDULES ARE MORE STRINGENT IN THESE PLANS.

WD-15 PROVIDE ADDITIONAL UPLIFT CONNECTORS TO RESIST UPLIFT LOADS IN ACCORDANCE WITH CONNECTORS SPECIFIED ON PLAN OR ON DETAILS.

WD-16 ENGINEERED WOOD PRODUCTS EXPOSED TO EXTERIOR SHALL BE PRESERVATIVE TREATED TO RESIST EXTERIOR ENVIRONMENT.

DRILL-IN BOLTS, HEADED STUDS, SCREWS AND DOWELS

DI-1 WEDGE BOLTS SHALL BE IN PARSET RECHEAD BOLTS OR APPROVED EQUIVALENT INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, DO NOT CUT EXISTING REINFORCING TO BUSTALL

DI-2 MASCHEY AND CONCRETE SCREWS SHALL BE MANUFACTURED BY RAMSET/REDHEAD "TAPCONS" OR APPROVED EQUAL INSTALLED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.

DIO ANGIORING ADRESIVE SHALL BE A TWO-COMPONENT SOLID EPOXY-BASED DISFENSED THROUGH A STATIC-MIXING NOZZLE SUPPLIED BY THE MANUFACTURER. SYSTEM EURPLIED IN MAULTACTURERS STANDARD SIDE GYSTEME CARTINOCE AND EPOXY SHALL MEET THE MINIMAR RECORDERATIS OF ASTRO-CASE SPECIFICATION FOR TYPEL E.K. MACH, OWERS 2...CASES AND CARAMENT SOLUCE AND ENDALS TO EXPOXY SHALL MEET THE MINIMAR RECORDERATIS OF ASTRO-CASES SPECIFICATION FOR TYPEL E.K. MACH, OWERS 2...CASES AND CARAMENT SOLUCE AND EPOXY SHALL MEET THE MINIMAR THE PAYL FOR THE AND THE

DI-4 GROUTED ANCHORS SHALL BE SIMPSON EPOXY-TIE ADHESIVE SYSTEM OR APPROVED EQUIVALENT INSTALLED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.

DI-5 DRILL-IN REBAR DOWELS AND THREADED ROD ANCHORS (A307) SHALL BE SET USING A TWO-PART EPOXY AS DESCRIBED ABOVE

DIS READED STUDS (H S) SHALL BE "NELSON" OR APPROVED EQUAL. INSTALL USING MANUFACTURER'S SPECIFICATIONS AND IN ACCORDANCE WITH AWS D1.1. ATTACHMENT OF STUDS SHALL BE SUFFICIENT TO DEVELOP THE FULL CAPACITY OF EACH INCIVICUAL STUD (PER AWS D1.1).

DI-T EXPANSION ANOTHING MAY BE SUBSTITUTED FOR ANCHOR BOLTS ONLY WITH THE APPROVAL OF THE ENGINEER OF RECORD IN WRITING: EXPANSION ANCHORS USED

SHALLOW FOUNDATIONS SF-1 SOK TO BE STRIPPED, COMPACTED AND TESTED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS ENGINEER AND PROJECT SPECIFICATIONS SF-2 CENTER ALL FOOTINGS UNDER THEIR RESPECTIVE COLUMNS OR WALLS UNLESS OTHERWEIE BROWN OR PLANS. MAXIMUM MISPLACEMENT OR ECCENTRICITY - 2: TOLERANCE FOR MISIOCATION OF COLUMN DOWELS OR ANCHOR BOLTS TO BE PER ACT OR ARD S TANDARDS.

SF-3 HORIZONTAL JOINTS IN FOOTINGS WILL NOT BE PERMITTED.

SF4 COORDINATE PLUMBING LINES WITH FOOTING LOCATIONS FOR INTERFERENCE. INDIVIDUAL FOOTINGS CAN BE LOWERED WITH THE PRIOR APPROVAL OF THE STRUCTURAL ENGINEER, CONTINUOUS WALL FOOTINGS SHOULD BE STEPPED AS DETAILED ON THE DRAWINGS.

SF-S EXCAVATING UNDER OR NEAR IN-PLACE FOOTINGS/FOUNDATIONS WHICH DISTURBS THE COMPACTED SOLL BENEATH THE FOOTINGS/FOUNDATIONS WILL NOT BE

SF-5 REINFORCING SHALL BE SUPPORTED ON PRECIDE CONCRETE FADS, DOWELS FOR COLUMNS AND FILLED CELLS SHALL BE SECURED IN PLACE PRIOR TO POURING CONCRETE. USE TEMPLATES FOR SETTING COLUMN DOWELS AND AND KER BOLTS.

RC-1 ALL CONCRETE DESIGN AND PLACEMENT SHALL BE IN STRICT ACCORDANCE WITH THE ACI "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE," ACI RC-2 PROVIDE (4) TEST CYLINDERS FOR EACH 50 C.Y. OF CONCRETE PLACED OR FRACTION THEREOF.
 RC-3
 STRUCTURAL CONCRETE BALL CONFORM TO ACI 301 SPECIFICATIONS AND SHALL DEVELOP THE FOLLOWING MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS: SPREAD AND VALL FOOTINGS
 3000 FSI

 COLUMNS AND VALL FOOTINGS
 3000 PSI
 3000 PSI

 BEAMS AND SALBS
 3000 PSI

 BEAMS AND SALBS
 3000 PSI

 BEAMS AND SALBS
 3000 PSI

 BLOTHER CONCRETE
 3000 PSI
 RC-4 USE REGULAR WEIGHT CONCRETE.
 Cols
 Structural concrete shall company to act 301 and have the following slumps, water cement ratio & aggregate require Location
 Structural

 Cocation
 Structural
 Structural
 Structural
 Structural

 Structural
 Structural
 Structural

SUBMIT DESIGN MIXES FOR APPROVAL AT LEAST ONE WEEK PRIDE TO CONCRETE POUR, DESIGN MIX SUBMITTALS MUST INDICATE PROPOSED LOCATION OR TYPE OF USE, FAILURE TO DO BO WILL CAUSE DELAY AND/OR REJECTION OF SUBMITTALS.

RC4. MAXIMUM WATER TO CEMENT RATIO WHEN NO BACK UP DATA IS AVALANLE. a) 3000 PBI, 28 DAY COMPRESSIVE STRENGTH; WIC RATIO 6.58 MAXIMUM (KONJAN ENTRAINED), 0.47 MAXIMUM (AIR ENTRAINED)

RC-7 FLYASH, WHEN USED, SHALL BE LIMIYED TO 20% OF THE CEMENTITIOUS MATERIAL, DO NOT USE FOR EXPOSED SLABS

RC-9 ALL REINFORCEMENT SHALL BE FASTENED AND SECURED TOGETHER TO PREVENT DISPLACEMENT BY CONSTRUCTION LOADS OR THE PLACING OF CONCRETE

RC-16 ALL SLABS ON GRADE SHALL BE REINFORCED WITH 4* SLAB ON DRADE; 67KF - 1, ALT A WELDED WHRE REINFORCEMENT (WWR) LOCATED IN THE MIDDLE YO UPPER PORTION OF THE SLAB, W.W.R. SHALL BE SUPPORTED WITH APPROVED MATERIALS OR SUPPORTS NOT EXCEEDING 3 FT OR IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.

RC-17 WELDED WIRE FABRIC TO COMPLY WITH ASTM A1064 SHEETS ONLY, NO ROLLS, INSTALL ON BRICKS OR BOLSTERS, AT MID-DEPTH OF THE SLAB,

RC-11 LAP CONTINUOUS REINF. AS NOTED IN LAP SPLICE SCHEDULE OR MIN 40 BAR DIA. LAP CONT, BOTTOM STEEL OVER SUPPORT AND CONT, TOP STEEL AT

RC-19 TERMINATE ALL DISCONTINUOUS TOP BARS WITH STANDARD 90 DEGREE HOOK (PLACED VERTICALLY) UNLESS NOTED OTHERWISE

RC-28 PROVIDE COVER EEE COVER OVER REINFORCEMENTAS FOLLOWE, UNLESS OTHERWISE NOTED: MINMAM COVER: LOCATION AND CONCILION. ALL BARS 3"

MINIMUM COVER: A CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH B, CONCRETE EXPOSED

II6 OR GREATER 2" TO EARTH OR WEATHER #5 OR SMALLER 1-12" #11 OR SMALLER 1-4" \$14-918 1-12" WEATHER OR IN CONTACT WITH GROUND C. CONCRETE NOT EXPOSED TO #11 OR SNALLER 3/4" 1, SLABS, WALLS, AND 3/95/TS 2, SEAVIN, AND COLUMNS: ALL BARS 1-1/2" MILLBARS 1-1/2" MILLBA

RIGHT BLEWE ALL PENETRATIONS THEOLIGH BEAMS AND SLABS INDIVIDUALLY. CORE DISILING WILL NOT BE PERMITTED. SUBMIT LOCATION AND SIZE OF SLEEVES THROUGH BEAMS TO ENDIBLER FOR REVENUE PRIOR TO CASTING CONCRETE. WHERE PIPMO PENETRATES CONCRETE BEAMS, PLACE TWO MS STIRRING @ 3" O.C. BACH SOC OF PIPE, UNLESS OTHERWISE NOTED.

RC-22 NO REINFORCING BARS SHALL BE CUT TO ACCOMMODATE THE INSTALLATION OF ANCHORS, EMBEDS OR OTHER ITEMS.

RC-23 USE THE STRUCTURAL DRAWINGS INCLUDING REVISIONS AND ADDENDA IN CONJUNCTION WITH REVIEWED SHOP DRAWINGS FOR PLACEMENT OF

RC3N AT CHANGES IN DIRECTION OF CONCRETE WALLS, BEAMS & STRIP FOOTINGS, PROVIDE CORNER BARS OF SAME SIZE AND QUANTITY UNLESS NOTED

RC-25 ALL EMBEDDED ITEMS SHALL BE SECURELY TIED IN PLACE PRIOR TO CONCRETE PLACEMENT.

RC-26 THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FOR PROVIDING THE CONSTRUCTION OF ALL FORMWORK IN ACCORDANCE WITH ACI 347,

RC-27 PLACE CONCRETE PER ACIDAL USE INTERNAL MECHANACAL VIBRATION FOR ALL CONCRETE. LIMIT MAXIMUM FREE FALL DROP OF CONCRETE TO 5-0" FOR #57 AGGREGATE AND 8-0" FOR #3 AGGREGATE. ALL PRECAUTIONS SHOULD BE TAKEN TO AVOID SEGREGATION OF CONCRETE DURING RACEMENT.

RC28 FOOTING SIZES SHOWN ARE FOR FOOTINGS CONSTRUCTED WITH SIDE FORMS. IP SOL MATERIAL CAN HOLD A VERTICAL SHAPE, IT CAN BE USED AS AN EARTH FORM PROVIDED FOOTING WIDTHIE INCREASED 1'IN EACH HORIZONTAL DIRECTION. ALL SLOUDHED MATERIAL EHALL BE REMOVED FROM EXCAVATION BEFORE AND OURING DIRECTION FOR THE INCREASED 1'IN EACH HORIZONTAL DIRECTION. ALL SLOUDHED MATERIAL EHALL BE REMOVED FROM EXCAVATION BEFORE

RC-29 PLACEMENT OF CONDUIT AND PIPES IN CONCRETE SHALL CONFORM TO ACI 318, SECTIONS 20,7 AND 26.8.

WINDS PRESSURES FOR COMPONENT AND CLADDING WIND PRESSURE (PSP) @ 160 MPH, EXP 0 ROOF ZONES, URImate Practices AREA POS NEG WOH -173.6 0.0 54.9 125.0 29.9 -116.0 -160.0 -156.3 100 29.9 -116.0 -144.6

REINFORCED MASONRY

M-10 VERTICAL REINFORCING FOR FILLED CELLS SHALL CONFORM TO ASTM 615

M-14 PROVIDE FULL MORTAR BEDDING AROUND ALL FILLED CELLS WITH VERTICAL REINFORCING

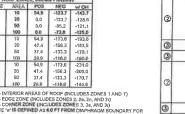
M-20 ALL REINFORCED CELLS ARE TO BE CLEAN AND FREE OF ANY FOREIGN MATERIAL OR DEBRIS.

M-22 OPENINGS SHALL HAVE BLOCK CELL AT EACH JAMB FILLED WITH GROUT AND REINFORCED

M-11 PROVIDE #S VERTICAL REINFORCEMENT IN GROUT FILLED CELLS: A. AS SHOWN ON THE DRAWINGS B. MAXIMUM 48° O.C. C. AT ALL CONNERS AND INTERSECTIONS D. AT ALK-ORARGE OF CONNECTIONS OR BEARING OF BEAMS

M-15 PLACE ALL MASONRY IN RUNNING BOND WITH VA" MORTAR JOINTS

M-21 TESTING OF GROUT TO COMPLY WITH ASTM C-1019.





EMENT WITH RUST. MILL SOLLE OR A COMBINATION OF BOTH SHALL BE CONSIDERED SATISFACTORY, PROVIDED THE MINIMAM OMENSIONS (INCLUO) MATIONE) AND WEIGHT OF A MARCHWEREBRUSHED TEST SPECIMENARE NOT LESS THAN APPLICABLE SPECIFICATION RECEMENTERINT REFLOE HI ACI 318. REINFORCING BARS SHALL CONFORM TO ASTMA-615, GRADE 60, LATEST REVISION WITH SUPPLEMENT (S1), MARKED "5"-

MASCHUY CONSTRUCTION SHALL CONFORM TO ACI YOULDING CODE REQUIREMENTS FOR MASCHIY STRUCTURES" (ACWASCE 530-13) AND "SPECIFICATIONS FOR ONRY STRUCTURES" (ACWASCE 530-13), ASTM C-1019 AND NCMA TEK 107. EXCEPT AS IMMENDED BELOW. M-2 CONTRACTOR SHALL OBTAIN COPY OF MASONRY CODE AND SPECIFICATIONS FOR REFERENCE AT THE JOBSITE

M-3 STRUCTURE HAS BEEN DESIGNED AS A BEARING WALL STRUCTURE, ALL MASONRY UNITS SHALL BE LAID PRIOR TO CONCRETE PLACEMENT OF COLUMNS, BEAMS AND SLASS FOR THE TAME STORY. M4 USE TYPE 'M MORTAR FOR ABOVE GRADE APPLICATIONS AND TYPE 'S' MORTAR FOR BELOW GRADE APPLICATIONS, MORTAR SHALL CONFORM TO ASTM C210 (PROPORTION OR PROPERTY SPECIFICATION)

M-5 MASCINET UNITS SHULL CONFORM TO ASTM CKO, NORMAL WEIGHT, TYPE II, MINIMUM NET COMPRESSIVE UNIT STRENGTH OF 2000 PSI TO PROVIDE NET AREA COMPRESSIVE STRENGH OF MASCINET (I'M) OF 1500 PSI.

M-6 ALL COLUMNS AND BEAMS INTEGRATED IN CMU WALLS ARE 8" AND 12" NOMINAL AND 7-5/8" AND 11-5/8" ACTUAL DIMENSIONS

M-7 COARSE GROUT SHALL CONFORM TO AS TIM C4/6, LATEST REVISION: A) 2500 PB/AT 28 DAYS A) 2500 PB/AT 28 DAYS A) 27 OT 15 SLMAP C4) 27 OT 25 SLM

MA A REINFORCED CONCRETE THE BEAM OR MASONRY THE BEAM SHALL BE PROVIDED IN ALL WALLS SHOWN ON THE STRUCTURAL DRAWINGS AT EACH FLOOR AND THE ROOP, USE GALVANZED MESH TYPE CELL CAPS. PROVIDE CORNER BARS AT ALL BEAM CORVERS TO MATCH HORIZONTAL BARS,

M-9 UNLESS NOTEO OTHERWISE, THE BEAMS SHALL BE EITHER a) 8°1° ⊂ CONCETTE THE BEAM REINFORCED WITH (2) \$5° TOP AND BOTTOM WITH IX3 STIRRUPS @ 16° O.C. b) (2) COURSES OF 8° MASONRY KNOCKOU'T BLOCK REINF WITH INS IN EACH COURSE FULLY GROUTED

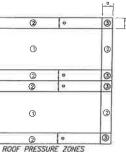
M-12 REINFORCING BARS SHALL BE LAPPED 48 BAR DIAMETERS WHERE SPLICED AND SHALL BE WIRED TOGETHER, LAP VERTICAL REINFORCEMENT ABOVE GRADE BEAM AND ABOVE EACH FLOOR UNLESS NOTED OTHERWISE.

3 REINFORCE WALLS WITH LADDER-TYPE REINFORCEMENT EQUAL TO STANDARD DUR-O-WAL IN BED JOINTS 9-56 OR APPROVED EQUAL AT 16" Q.C., MEASURED TITCALLY U.C.X., PLACE PER MIRP, RECOMMENDATIONS, EXTEND INTO COLUMNS, OR PROVIDE DOVETAIL INCHORS TO SECURE MASONRY TO COLUMNS, PROVIDE FRANCATED TEE'R OR ORDING STOTULT INTERRECTIONS;

M-16 AT INTERSECTING WALLS PIFTY PERCENT OF THE MASONRY SHALL BE LAID IN OVERLAPPING MASONRY BONDING PATTERN

M-17 REFER TO TYPICAL WALL SECTIONS FOR MAXIMUM CONSTRUCTION HEIGHT OF MASONRY WALLS. PROVIDE CLEAN-OUT HOLES AT BASE OF FILLED CELL WHEN THE CONCRETE POUR EXCEEDS 5 FEET IN HEIGHT. M-18 GROUT FOR FILLED CELLS SHALL BE VIBRATED DURING PLACEMENT USING A "PENCIL" TYPE VIBRATOR

M-19 VERTICAL REINFORCEMENT SHALL BE HELD IN POSITION AT THE TOP AND BOTTOM OF BAR AND AT 8'40" OC MAXIMUM WITH A MINMUM CLEARANCE OF 1/2" FROM MASONRY, THE CLEAR DISTANCE BETWEEN BARS SHALL NOT BE LESS THAN ONE BAR DIAMETER OR 1", CENTER BARS IN WALLS UNLESS NOTED OTHERWISE.





MK STRUCTURAL ENGINEERING 587 WEST EAU GALLIE BLVD SUITE 201 AELBOURNE EL 32035 2: 321.600.0672 OR 321.574.2702

Certificate of Authorization# CA 27800

project numbe MK 21-133

DYER RESIDENCE CABANA

517 AVENUE A MELBOURNE BEACH, FL 32952

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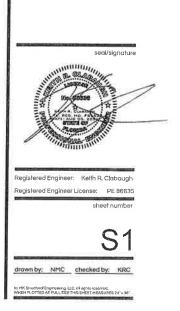
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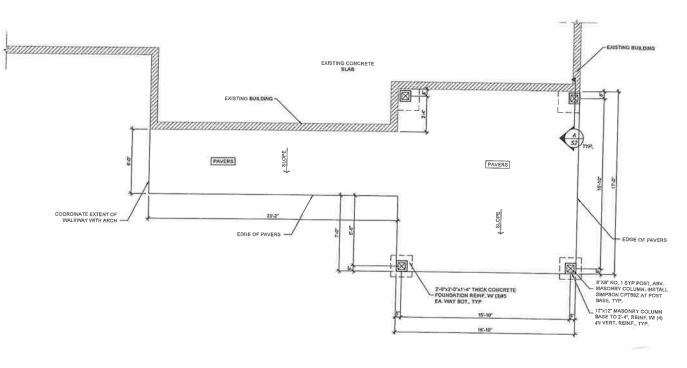
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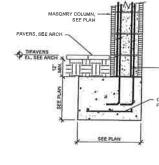
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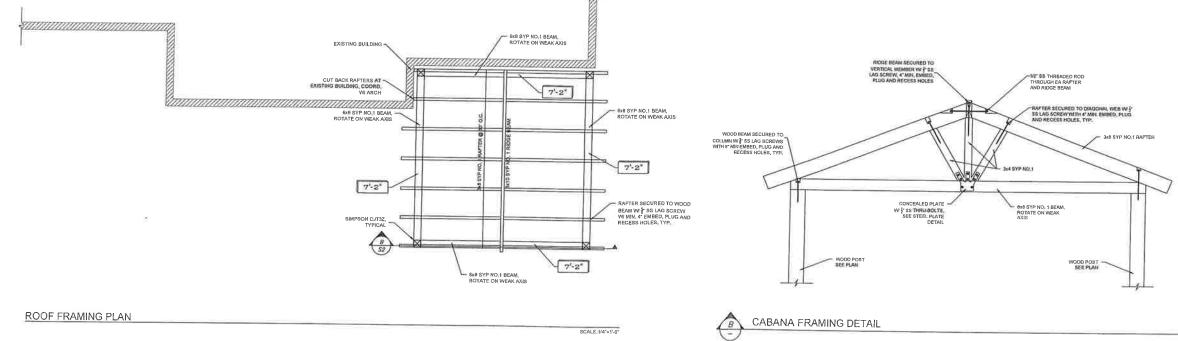
FOUNDATION PLAN

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SCALE:1/4"=1'-0"





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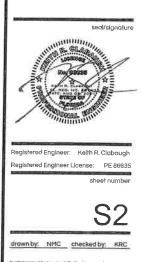
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FOUNDATION PLAN AND ROOF FRAMING PLAN

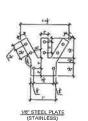


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#5 DOWEL W/ STD ACI HOOK TO MATCH COLUMN REINFORCING

ONCRETE FOOTING, SEE PLAN OR SIZE AND REINF

SCALE 3/4"+T-C



SCALE 34*+1-0