



TOWN OF MELBOURNE BEACH

PLANNING & ZONING BOARD MEETING

TUESDAY, APRIL 7, 2026

AGENDA PACKET

Town of Melbourne Beach

PLANNING & ZONING BOARD MEETING

TUESDAY, APRIL 7, 2026 @ 6:30 PM

COMMUNITY CENTER – 509 OCEAN AVENUE

PUBLIC NOTICE AGENDA

Board Members:

Chairperson April Evans
 Vice Chairperson Dan Harper
 Member Gabor Kishegyi
 Member Todd Albert
 Member Jason Judge

Alternate Board Members:

Staff Members:

Town Manager A. Marie Smith
 Town Clerk Amber Brown
 Building Official Jeff Parsons

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. APPROVAL OF MINUTES**
 - A. March 10, 2026 minutes – pages 3-7
- 4. NEW BUSINESS**
 - A. Site Plan Approval for 608 Shannon Ave. – addition – pages 8-27
 - B. Site Plan Approval for 200 Shannon Ave. – renovation and addition – pages 28-42
 - C. Site Plan Approval for 209 Surf Rd. – new home – pages 43-75
 - D. Guidance on which site plans should come before the Planning & Zoning Board – page 76
- 5. PUBLIC HEARINGS**
- 6. OLD BUSINESS**
- 7. PUBLIC COMMENT**

Please limit comments to items that are not on the agenda
- 8. REPORTS: TOWN MANAGER AND TOWN ATTORNEY**
- 9. ITEMS TO BE ADDED TO THE AGENDA FOR FUTURE MEETINGS**
- 10. ADJOURNMENT**

PURSUANT TO SECTION 286.0105, FLORIDA STATUTES, THE TOWN HEREBY ADVISES THE PUBLIC THAT: In order to appeal any decision made at this meeting, you will need a verbatim transcript of the proceedings. It will be your responsibility to ensure such a record is made. Such person must provide a method for recording the proceedings verbatim as the Town does not do so. In accordance with the Americans with Disability Act and Section 286.26, Florida Statutes, persons needing special accommodations for this meeting shall, at least 5 days prior to the meeting, contact the Office of the Town Clerk at (321) 724-5860 or Florida Relay System at 711.

Planning and Zoning Meeting

Section: Approval of Minutes

Meeting Date: April 7, 2026

From: Deputy Town Clerk Cyd Cardwell

RE: Approval of the March 10, 2026 Minutes

Background Information:

Approval of the March 10, 2026 Planning and Zoning Board minutes.

Town of Melbourne Beach

MINUTES

PLANNING & ZONING BOARD MEETING

TUESDAY, MARCH 10, 2026 @ 6:30 PM

COMMUNITY CENTER – 509 OCEAN AVENUE

Board Members:

Vice-Chairperson April Evans
 Member Kurt Belsten
 Member Dan Harper
 Member Gabor Kishegyi
 Member Todd Albert
 Member Jason Judge

Alternate Board Members:**Staff Members:**

Town Manager A. Marie Smith
 Town Clerk Amber Brown
 Building Official Jeff Parsons

1. CALL TO ORDER

Vice-Chairperson April Evans called the meeting to order at 6:30 p.m.

2. ROLL CALL

Deputy Town Clerk Cyd Cardwell conducted the roll call.

Present:

Vice-Chairperson April Evans
 Member Dan Harper
 Member Gabor Kishegyi
 Member Todd Albert
 Member Jason Judge

Staff Present:

Building Admin Steve Freeman
 Deputy Town Clerk Cyd Cardwell

3. APPROVAL OF MINUTES

A. February 3, 2026 minutes

Member Gabor Kishegyi made a motion to approve; Member Dan Harper seconded; Motion carried 5-0.

4. NEW BUSINESS

A. Site Plan Approval for 307 Third Ave. – new home

Vice Chair April Evans spoke about having an issue using ordinance § 7A-33 (f)(2) to allow continued excess on setbacks when it was originally intended for the owners living in the

house to rebuild when a disaster occurred; the Town has a precedent of not allowing new owners to rebuild nonconforming.

Member Dan Harper stated that the Town Attorney has given blessing for this one; also spoke about changes to the swale and drainage calculations.

Vice Chair April Evans wants the Commission to address this in the code to prevent this use of nonconformity from happening again.

Member Dan Harper spoke about moving forward with approval based on the Town Attorney's opinion.

Member Gabor Kishegyi agreed with concerns about the intent of the code and need for it to be reworded.

Vice Chair April Evans spoke about the order in which tasks were completed by the applicants.

Member Jason Judge made a motion to approve; Member Dan Harper seconded;

***Katie Cox – 307 Third Ave.** – Spoke about working the last five years to build a house that would fit the lot; met three times with Building Officials that changed over the years; finally got the OK for engineering; spoke about it being their forever home.*

***Sam Cox – 307 Third Ave.** – Spoke about challenges with the two-car garage rule and the size of their family; understands that there are different ways to interpret the code; the pool is so close to the house that they can't build back; spoke about the non-conforming wall.*

***Katie Cox – 307 Third Ave.** – Spoke about the East wall being the only one that could be kept.*

***Sam Cox – 307 Third Ave.** – Spoke about an enclosed porch on the back and moving that part of the structure back into compliance with setbacks.*

Member Todd Albert asked about the lack of a landscape plan for the property.

Member Dan Harper explained that one is not needed since this is technically a remodel.

A conversation ensued about trees on the survey.

Motion carried 4-1 with Vice Chair April Evans dissenting.

- B. Site Plan Approval for 506 Poinsettia Rd. – addition

Member Todd Albert expressed that he had no problem with the plans presented.

Member Dan Harper commented about the landscaping plan that homeowners don't have to comply with the canopy tree for every 25 feet, that is a multifamily requirement; all submitted plans seem to meet requirements. Made a comment to Building Admin Steve Freeman that the height ordinance was approved by the board and he believed also the Commission, but has not been updated yet in our ordinances found online.

Member Gabor Kishegyi made a motion to approve; Member Dan Harper seconded; Motion carried 5-0.

C. Appointment of the Chairperson

Member Dan Harper made a motion to appoint April Evans as Chair; Member Gabor Kishegyi seconded; Motion carried 5-0.

Member Gabor Kishegyi made a motion to appoint Dan Harper as Vice Chair; Member Todd Albert seconded; Motion carried 5-0.

Vice Chair Dan Harper spoke about the comparison document for the landscape ordinance that was suggested to the Town Clerk and Deputy Town Clerk.

Deputy Clerk Cyd Cardwell explained the delay.

Member Gabor Kishegyi asked about the origin of the landscape ordinance changes.

Vice Chair Dan Harper explained the history of the changes.

Chair April Evans brought up the need for details on other municipalities' landscape ordinances and spoke about research on oak planting.

Member Todd Albert spoke about the struggling oaks on Oak Street; spoke about page 27 of the plans for 307 Third Ave. and the 50% value; contractors try to escape bringing plans to P&Z; is the board missing properties that the community wants reviewed?

Vice Chair Dan Harper spoke about the 50% rule applying only to the structure and the land and going over 50% requiring a swale, but if you don't change the footprint you don't have to submit a landscaping plan.

Building Admin Steve Freeman has had conversations with the Building Official and the probability that dollar value gets manipulated to avoid going in front of the board; will look at a state-mandated square footage price.

Chair April Evans spoke about wanting codification to require all buildings to come in front of the board.

Member Dan Harper spoke about structure appraisals and what people are paying for lots to knock the structures down and rebuild.

A brief discussion ensued about property valuation.

5. PUBLIC HEARINGS
6. OLD BUSINESS
7. PUBLIC COMMENT
8. REPORTS: TOWN MANAGER AND TOWN ATTORNEY

Town Manager A. Marie Smith introduced herself to the board.

9. ITEMS TO BE ADDED TO THE AGENDA FOR FUTURE MEETINGS
10. ADJOURNMENT

Member Gabor Kishegyi motioned to adjourn; Member Todd Albert seconded; Motion carried 5-0.

The meeting adjourned at 7:09 p.m.

ATTEST:

April Evans
Chairperson

Cyd Cardwell
Deputy Town Clerk

Planning and Zoning Meeting

Section: New Business
Meeting Date: April 7, 2026
From: Building Department
RE: Site Plan Approval for 608 Shannon Ave. – Addition

Background Information:

The Town received plans for an addition at 608 Shannon Ave.

Recommendation:

Approve the site plan for 608 Shannon Ave.

Attachments:

- Town Planner Letter – Pages 9-11
- Development Application and Narrative – Pages 12-15
- Property Appraiser Information – Page 16
- Original Plans and Survey – Pages 17-27

Site Plan Review

Applicable Codes:

**Town of Melbourne Beach Land Development Code
Current Florida Building Code**

Date: April 7, 2026
Owner: William and Amanda Mason
Owner Address: 608 Shannon Avenue, Melbourne Beach FL 32951
Site Address: 608 Shannon Avenue, Melbourne Beach FL 32951
Parcel ID: 28-38-06-77-C-2
Zoning: 1RS- Single- Family

Proposed Project: Addition of second floor living area to an existing residence.
References: Town of Melbourne Beach Code of Ordinances:
 7A-31 Single-Family Residential District
 7A-51.1, Site Plan Approval For Single-Family Residential Districts

Request: Site Plan Approval in Accordance with 7A-51.1
Staff Review: The property lies in Zoning District 1RS

- 1) The project involves adding second floor living area to the existing residence. The addition will include 1 bedroom, 1 recreation room, 1 full bath, and 1 half bath. Based on Property Appraiser's information, existing square footage includes living area of 2086 SF, 624 SF garage and 506 SF covered entry and porch for total existing of 3216 SF. The second-floor addition is 570 SF resulting in a total gross square footage of 3786.
- 2) The Building Lot Zoning District requires min. lot area, width and depth.
 Lot area is 13,200sq. ft. (min. 12,000 sq. ft.)
 Lot width is 110 ft. (min. 100 ft. measured from the front building line)
 Lot depth is 120 ft. (min. 120 ft.)
- 3) Lot coverage has a maximum of 30% for principal structure.
 Lot coverage per plan is 24.36%
 Footprint of Primary Structure is 3216 SF.
 Max allowed for Primary Structure is 3960 sq. ft. for Lot Area of 13,200 sq. ft.
 Minimum pervious area per lot is 30%. Pervious area is approximately 66.5%.

- 4) Structure maximum height for zoning district is 28 ft.
The proposed height provided is 22.10' from FFE.
Flood Zone: X per survey

Zoning District Setback requirements:

Existing Primary Structure Front Setback: 25.5' (min. 25')
Existing Primary Structure Rear Setback: 31.2' (min. 25')
Existing Primary Structure North Side Setback: 23.1' (min. 15')
Existing Primary Structure South Side Setback: 22.6' (min. 15')

- 5) If required, sediment and erosion control measures shall be met and approved by the Building Official in accordance with the Town of Melbourne Beach Code of Ordinances, Chapter 27 Stormwater, and the current Florida Building Code.
- 6) As no new impervious surfaces are proposed, on-site Storm water Retention Control measures are not required.
- 7) As no new impervious surfaces are proposed, there will be no review of the drainage plan per Ordinance 2019-06.

Based on the above review, I find the proposed site plan for the referenced property is in compliance with The Town of Melbourne Beach Code of Ordinances.



Corey W. O'Gorman
Town Planner

608 Shannon Avenue

IMPERVIOUS*		PERVIOUS	
Primary Structure	2710	Open areas	8779
Covered Porch/Patios	506		
Driveway	385		
Pool / Pool Deck	705		
Concrete areas	115		
Total Paved Area	4421		
<hr/>		<hr/>	
Total Lot Area	13,200	Total Lot Area	
<hr/>		<hr/>	
% IMPERVIOUS	33.5%	% PERVIOUS	66.5%

*Square footages from Brevard County Property Appraiser and estimated from property survey



TOWN OF MELBOURNE BEACH
DEVELOPMENT APPLICATION

I. SUBMITTAL REQUIREMENTS:

1. Fees per current schedule.
2. Deed to property.
3. Pre-Application meeting is mandatory. Contact the Building Official or Building Clerk to submit information required and to schedule a pre-application meeting.
4. Application deadlines are determined annually by the Boards and will be provided at the pre-application meeting.
5. All applicants must complete pages 1-3 and the section(s) as applicable to the request (refer to section II. below). All materials listed in the applicable sections must be provided, and fees paid.

II. REQUEST:

- | | |
|---|--|
| <input type="checkbox"/> Land Use Plan Amendment | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Special Exception | <input type="checkbox"/> Coastal Construction Variance |
| <input type="checkbox"/> Variance | <input type="checkbox"/> Appeal (Application must be filed within 30 days) |
| <input type="checkbox"/> Site Plan Review Single Family (1RS, 2RS, 3RS) | <input type="checkbox"/> Site Plan Review Multifamily (4RM, 5RMO) |
| <input type="checkbox"/> Site Plan Review Commercial (6B, 7C, 8B, 9I) | <input type="checkbox"/> Amendment to the Land Development Code |
| | <input type="checkbox"/> Other (specify) _____ |

III. PROPERTY INFORMATION:

General Location: _____

Address: 608 S. SHARON AVE

Parcel Number(s): 28-38-06-77-C-2

Area (in acreage): _____ Area (in square feet): _____

Current Zoning: 1RS Proposed Zoning: _____

Current Future Land Use: _____ Proposed Future Land Use: _____

Brief Description of Application: ADDING A SECOND STORY TO AN AMIA OF HOME (NO CHANGES TO FOOTPRINT)

Date of Mandatory Pre-Application Meeting (attach meeting minutes if applicable): _____

IV. APPLICANT INFORMATION:

Property Owner

Name: William Mason

Phone: 508-942-1046

Address: 6-8 S. Shoreline Blvd
Melb. FL

Fax: _____

Email: WMAS086@gmail.com

Applicant (if other than property owner)

Name: Jeff Parker

Phone: 321-302-1048

Address: P.O. Box 510431
Melb. FL 32951

Fax: _____

Email: JEFF@JSPARKCONTRACTING.COM

V. OWNER AUTHORIZATION:*

The undersigned hereby affirms the following:

- 1. That I/we are the fee simple title owner/contract purchaser (circle one) of the property described in this application.
- 2. That I/we have read and understands the entire application and concurs with the request.
- 3. That I/we have appointed the Applicant to represent the application, and empowers the Applicant to accept any and all conditions of approval imposed by the Town of Melbourne Beach.

Signature: [Handwritten Signature]

Date: 2/28/2026

Print Name: William Mason

Title: Owner

*Must sign in front of notary.

State of Florida
County of Brevard.

The foregoing application is acknowledged before me this 28 day of FEB, 2026 by William Mason who is/are personally known to me, or who has/have produced Florida DL as identification.

[Handwritten Signature]
Signature of Notary Public, State of Florida



VI. APPLICANT CERTIFICATION:*

I/we affirm and certify that I/we understand and will comply with the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the application and support documents are fully complete and comply with the requirements of the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the statements and/or diagrams made on any paper or plans submitted here with are true to the best of my/our knowledge and belief that this application, attachments and application filing fees become part of the official public record of the Town of Melbourne Beach, Florida and are not returnable or refundable.

Under penalties of perjury, I/we declare that I/we have read the foregoing application and that to the best of my/our knowledge and belief the facts stated in the application are true.

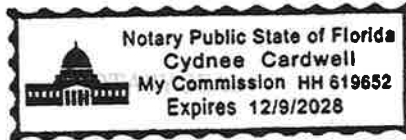
Signature: [Handwritten Signature] Date: 3-2-16
Print Name: Jeff Parker Title: MR

*Must sign in front of notary.

State of Florida
County of Brevard.

The foregoing application is acknowledged before me this 2nd day of March, 2016, by Jeff Parker, who is/are personally known to me, or who has/have produced _____ as identification.

[Handwritten Signature: Cydnee Cardwell]
Signature of Notary Public, State of Florida




VII. PROJECT DESCRIPTION:

Describe Application: ADDING A SECOND STORY TO REAR OF HOME (NOT EXPANDING THE FOOTPRINT)

Provide attachment if more space is needed.

Describe Existing Conditions: _____

Provide attachment if more space is needed.

From: Jeff Parker jeff@jparkercontracting.com 
Subject: 608 S Shannon Ave.
Date: March 3, 2026 at 4:01 PM
To: Town Of Melb Bch building@melbournebeachfl.org

To whom it may concern,

Please accept this as the "Narrative" as requested for the proposed 570 square foot second story addition for 608 S. Shannon Ave.

This is merely a small second story addition to the existing structure. This addition will not expand the existing footprint of the residence and will not impact nor add in any way the impervious area to the site. This improvement complies with all existing zoning regulations including the height restriction of 28 feet. In addition this improvement falls below 50% of the value of the current structure therefore no drainage and landscape plans are required.

I have provided the plans for this improvement along with a survey and application as requested.

Please approve and issue said permit asap...

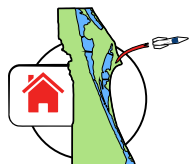
Best Regards, Jeff Parker



Jeff Parker
321.302.1048
P.O. Box 510431
Melbourne Beach, FL 32951
www.JParkercontracting.com



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REAL PROPERTY DETAILS
Account 2847153 - Roll Year 2025

Owners	MASON, WILLIAM A,JR; MASON, AMANDA LYNNE
Mailing Address	608 SHANNON AVE MELBOURNE BEACH FL 32951
Site Address	608 SHANNON AVE MELBOURNE BEACH FL 32951
Parcel ID	28-38-06-77-C-2
Taxing District	34X0 - MELBOURNE BEACH
Exemptions	HEX1 - HOMESTEAD FIRST HEX2 - HOMESTEAD ADDITIONAL
Property Use	0110 - SINGLE FAMILY RESIDENCE
Total Acres	0.30
Site Code	0001 - NO OTHER CODE APPL.
Plat Book/Page	0017/0054
Subdivision	RIVER COLONY EAST
Land Description	RIVER COLONY EAST LOT 2 BLK C



VALUE SUMMARY

Category	2025	2024	2023
Market Value	\$593,800	\$597,130	\$606,380
Agricultural Land Value	\$0	\$0	\$0
Assessed Value Non-School	\$395,210	\$384,080	\$372,900
Assessed Value School	\$395,210	\$384,080	\$372,900
Homestead Exemption	\$25,000	\$25,000	\$25,000
Additional Homestead	\$25,722	\$25,000	\$25,000
Other Exemptions	\$0	\$0	\$0
Taxable Value Non-School	\$344,488	\$334,080	\$322,900
Taxable Value School	\$370,210	\$359,080	\$347,900

SALES / TRANSFERS

Date	Price	Type	Instrument
09/09/2024	--	WD	10154/1099
05/05/2017	\$465,000	WD	7883/0262
01/29/2004	\$352,000	WD	5190/1518
05/30/1998	\$122,000	WD	3849/0027
09/01/1976	\$59,600	--	1665/0007
09/01/1969	\$335,000	--	1097/0239

BUILDINGS

PROPERTY DATA CARD #1

Building Use: 0110 - SINGLE FAMILY RESIDENCE

Materials		Details	
Exterior Wall:	STUCCO	Year Built	1969
Frame:	MASNRYCONC	Story Height	8
Roof:	ASPH/ASB SHNGL	Floors	1
Roof Structure:	HIP/GABLE	Residential Units	1
		Commercial Units	0
Sub-Areas		Extra Features	
Base Area (1st)	2,086	Pool Deck	595
Garage	624	Covered Patio	350
Open Porch	84	Paving - Stone	110
Open Porch	72	Pool - Residential	1
Total Base Area	2,086		
Total Sub Area	2,866		

Site Data

608 S. Shannon Ave.

1. William Mason, 608 S. Shannon Ave. Melbourne Beach, 32951
A 570 square foot addition a top of the existing single story SFR
2. Proposed use is additional living area.
3. There are 2 existing enclosed parking spaces.
4. The height of the second story addition shall be less than the 28 foot maximum height requirement.
5. The existing footprint of the residence will remain as is. There will be no expansion of the existing footprint.
6. The value of the proposed addition is less than 50% of the current value of the existing residence.

Account (1234567)

Show Street Map

Sales

2026 ✓

2025

2024

2023

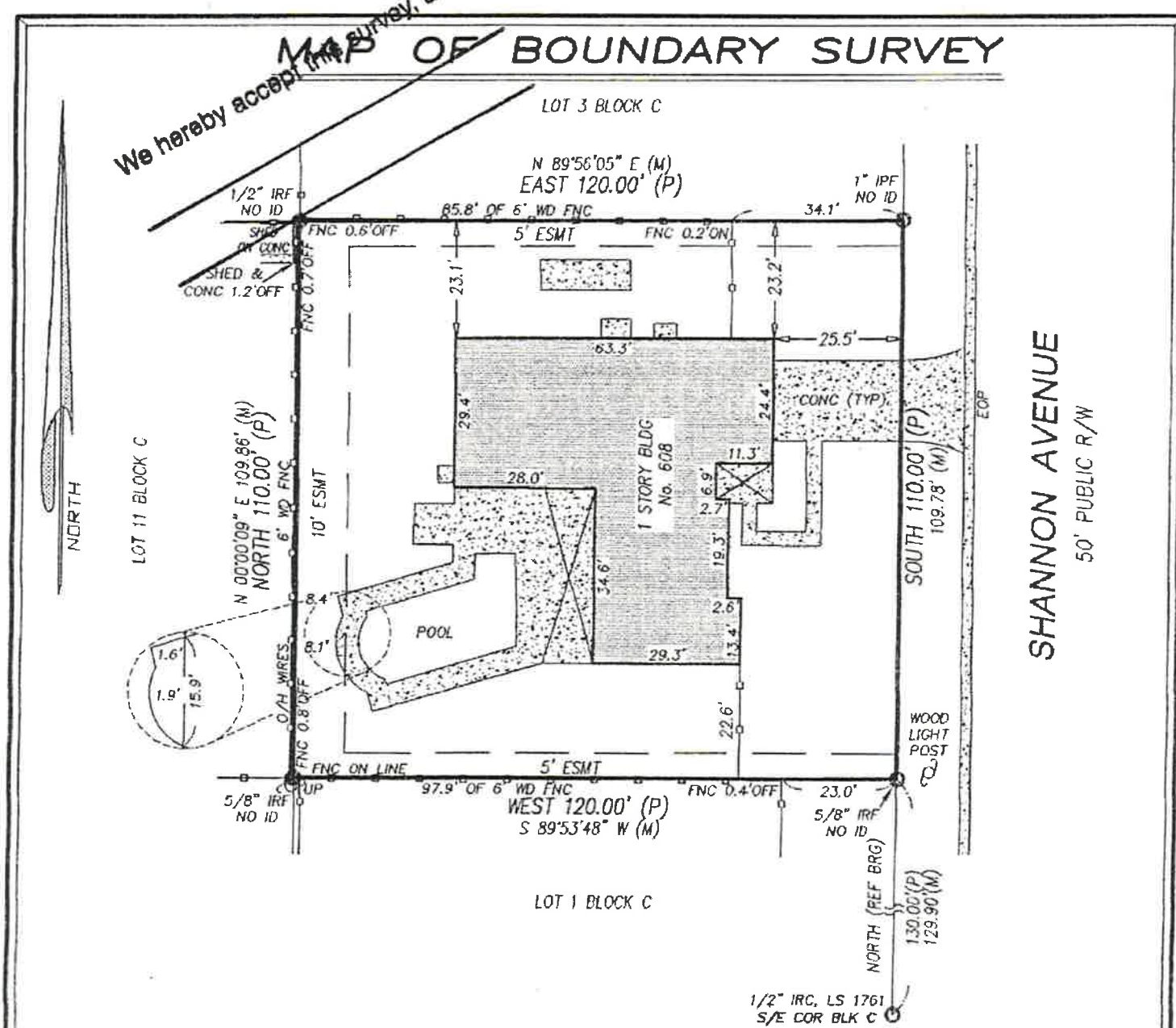
2022

LEGEND

Account: 2847153 Parcel ID: 28-38-06-77-C-2
 Sale: 5/5/2017 \$465,000
 BCPAO Market Value: \$593,800
 Owners: MASON, WILLIAM A JR; MASON, AMANDA LYNNE
 Address: 608 SHANNON AVE MELBOURNE BEACH FL 32951

Zoom | Clear | Details | EagleView | Hide Info
 BCPAO Dana Bickley, CFA, Brevard County Property Appraiser | Instructions | Disclaimer

SITE PLAN



LEGEND

<p>A = ARC A/C = AIR CONDITIONER BFE = BASE FLOOD ELEVATION BLDG = BUILDING BLK = BLOCK BM = BENCHMARK BRC = BEARING (C) = CALCULATED CATV = CABLE TELEVISION CBS = CONCRETE BLOCK STRUCTURE CHD = CHORD C/L = CENTERLINE CLF = CHAIN LINK FENCE CMF = CONCRETE MONUMENT FOUND CONC = CONCRETE COR = CORNER (D) = DEED DA = DELTA ANGLE DB = DEED BOOK ELEC = ELECTRIC ELEV = ELEVATION ENC = ENCROACHMENT EOP = EDGE OF PAVEMENT ESMT = EASEMENT FB = FIELD BOOK FF = FINISHED FLOOR</p>	<p>FNC = FENCE FND = FOUND FP&L = FLORIDA POWER & LIGHT COMPANY GOV'T = GOVERNMENT ID = IDENTIFICATION IPF = IRON PIPE FOUND IRC = IRON ROD & CAP FOUND IRF = IRON ROD FOUND IRS = 5/8" IRON ROD SET "KANE LB 7179" LB = LICENSED BUSINESS NUMBER LS = (RLS) or (PLS) REGISTERED OR PROFESSIONAL LAND SURVEYOR (M) = MEASURED No. = NUMBER NDF = NAIL & DISK FOUND NDS = 1 1/4" NAIL & DISK SET "LB 7179" NGVD = NATIONAL GEODETIC VERTICAL DATUM O/H = OVERHEAD ORB = OFFICIAL RECORDS BOOK O/S = OFFSET (P) = PLAT PB = PLAT BOOK PCP = PERMANENT CONTROL POINT PC = POINT OF CURVATURE</p>	<p>PCC = POINT OF COMPOUND CURVATURE PI = POINT OF INTERSECTION PT = POINT OF TANGENCY PRC = POINT OF REVERSE CURVATURE PRM = PERMANENT REFERENCE MONUMENT POB = POINT OF BEGINNING POC = POINT OF COMMENCEMENT POL = POINT ON LINE PUE = PUBLIC UTILITY EASEMENT PUDE = PUBLIC UTILITY & DRAINAGE EASEMENT PVMT = PAVEMENT R = RADIUS REF = REFERENCE RNG = RANGE R/W = RIGHT OF WAY SEC = SECTION TEL = TELEPHONE RISER TWP = TOWNSHIP TYP = TYPICAL UP = UTILITY POLE WD = WOOD WIT-COR = 5/8" IRON ROD SET WITH CAP "WITNESS LB 7179" WM = WATER METER XCF = CROSS CUT FOUND</p>
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LEGAL DESCRIPTION:
LOT 2, BLOCK C, THE RIVER COLONY OF MELBOURNE BEACH EAST SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 17, PAGE 54, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA

BOUNDARY	DATE: 1/15/04	JOB No. 16335
		FB 3-31-64
		RIVCOLON/L2BC

CERTIFIED TO:
RONALD A. & SUSAN P. WINKLER
CHASE MANHATTAN MORTGAGE CORPORATION
ALLIANCE TITLE OF BREVARD, LLC
STEWART TITLE GUARANTY COMPANY

CERTIFICATION:
I HEREBY CERTIFY: THAT THE ATTACHED SURVEY WAS DONE UNDER MY DIRECTION AND MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 61G17-6 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 FLORIDA STATUTES.
Michael J. Kane DATE: 1/18/04
MICHAEL J. KANE PROFESSIONAL LAND SURVEYOR AND MAPPER
STATE OF FLORIDA NO. LS 4029

- NOTES:**
- BEARINGS BASED ON SAID PLAT (SEE SKETCH)
 - ELEVATIONS BASED ON _____
 - FLOOD ZONE "X", MAP No. 12009C0355E COMMUNITY No. 125128, NOVEMBER 19, 1997
 - HORIZONTAL CLOSURE MEETS OR EXCEEDS THE ACCURACY REQUIREMENTS FOR SUBURBAN LAND AS PER FLORIDA STATUTE 61G17-6.003
 - BEARINGS, DISTANCES OR ANGLES SHOWN ARE THE SAME AS PLAT, DEED OR RECORD UNLESS SHOWN OTHERWISE.
 - NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
 - THE SURVEYOR HAS NOT LOCATED NOR ATTEMPTED TO LOCATE ANY UNDERGROUND UTILITIES, FOUNDATIONS, OR STRUCTURES OTHER THAN THOSE THAT MAY BE SHOWN HEREON.
 - ONLY BOUNDARY CORNER MONUMENTS AS SHOWN HEREON ARE TO BE USED FOR THE LOCATION AND CONSTRUCTION OF IMPROVEMENTS.
 - UNLESS OTHERWISE INDICATED THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE SEARCH OR ATTORNEY'S TITLE OPINION.

KANE SURVEYING
FLORIDA LICENSED BUSINESS No. LB 7179
1637 SOUTH WICKHAM ROAD
WEST MELBOURNE, FLORIDA 32904
(321) 676-0427
FAX (321) 984-1448

C DRAWN BY: TAM SCALE 1 INCH = 30 FEET



Digitally signed
by Edward F
Shinskie
Date:
2026.02.25
15:14:43 -05'00'



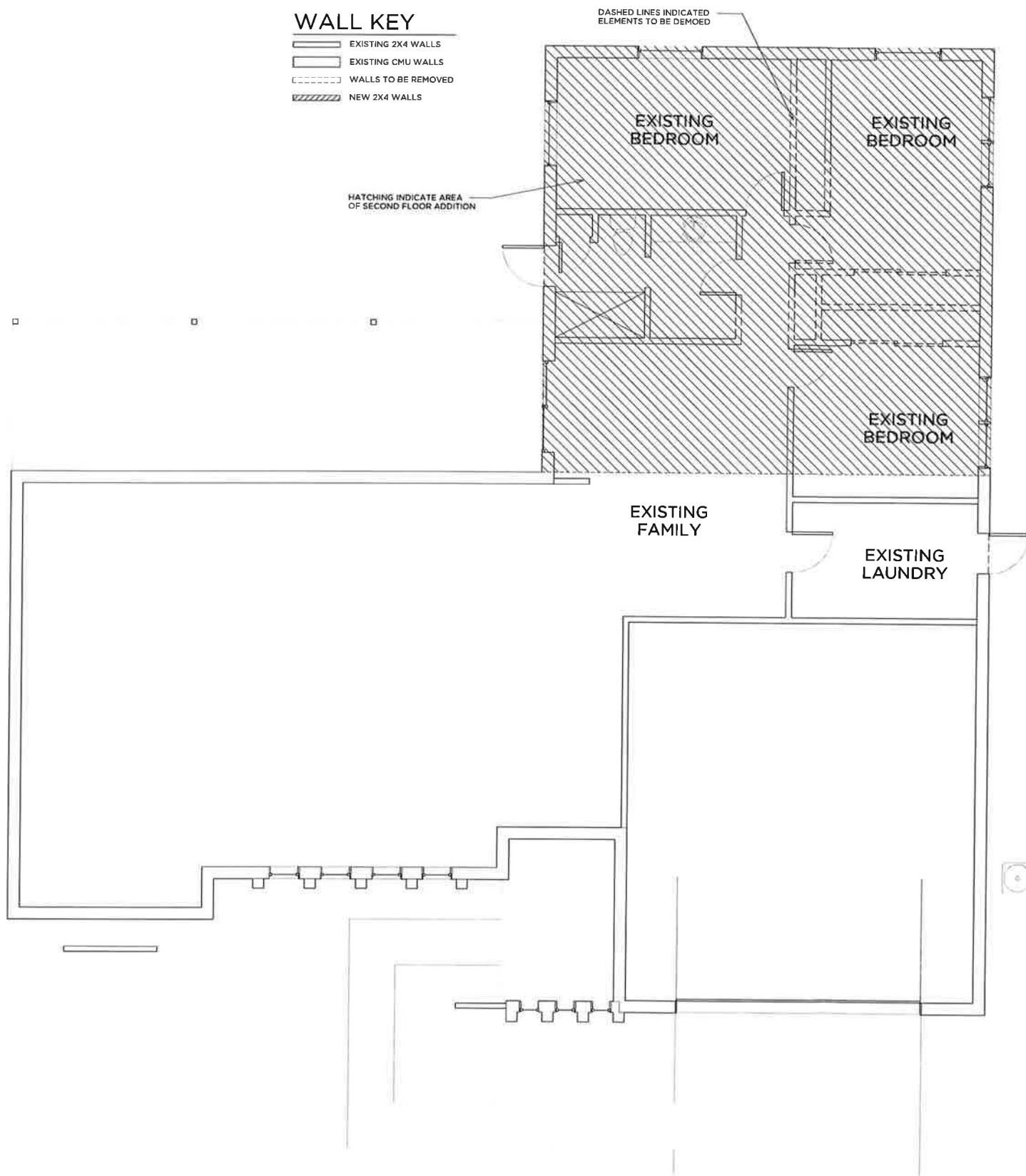
3765 Oak Lane
Melbourne, FL 32934
321-961-9966

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED BY EDWARD F. SHINSKIE ON 02/24/26 AT 15:14:43 -05'00'. THE SIGNATURE AND/OR TIME STAMP SHOWN USING A DIGITAL SIGNATURE PROGRAM ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE DOCUMENT ARE NOT ELECTRONIC COPY.

EDWARD F. SHINSKIE
4707 WILD TURKEY RD
MIMS, FLORIDA 32754
321-863-3223
PE#47515
rkeeenterprises.fl@gmail.com

WALL KEY

	EXISTING 2X4 WALLS
	EXISTING CMU WALLS
	WALLS TO BE REMOVED
	NEW 2X4 WALLS



DESIGN CRITERIA

TYPE OF CONSTRUCTION	CMU
ENCLOSURE CLASSIFICATION	ENCLOSED
DESIGN WIND SPEED	160 MPH
OCCUPANCY GROUP	R
OCCUPANCY CATEGORY	II
BUILDING CLASSIFICATION	II
WIND EXPOSURE CATEGORY	B
INTERNAL PRESSURE COEFFICIENT	+/- 0.18
WIND IMPORTANCE FACTOR	1.0
MEAN ROOF HEIGHT	21'
ROOF PITCH	3/12
OVERHANG	36"
SHUTTERS	NO
IMPACT RESISTANT STRUCTURE	YES
ROOF LIVE LOAD	20 PSF
SOIL BEARING CAPACITY	2000 PSF
CONCRETE COMPRESSIVE STRENGTH	MINIMUM
PADS & FOUNDATIONS	2500 PSI
BEAMS AND DOWNPOURS	3000 PSI
BUILDING USE FACTOR	1.0

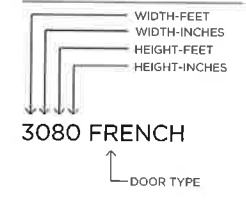
AREA CALCULATIONS

EXISTING LIVING	2086 SQ FT
ADDITION	570 SQ FT
TOTAL LIVING	2656 SQ FT
EXISTING COVERED ENTRY/PORCH	504 SQ FT
EXISTING GARAGE	623 SQ FT
TOTAL	3783 SQ FT

GENERAL NOTES

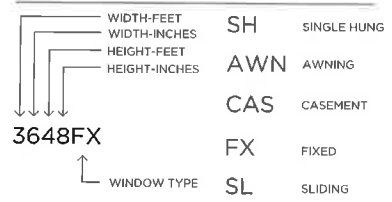
- THIS BUILDING DESIGN COMPLIES WITH THE FLORIDA BUILDING CODE 8th EDITION (2023).
- ALL EXTERIOR WALLS BETWEEN OPENINGS ARE DESIGNED AS AND SHOULD BE CONSIDERED SHEAR WALLS.
- PROTECTION OF OPENINGS IS REQUIRED.
- THESE DRAWINGS WERE PREPARED WITH THE ASSUMPTION THAT THE CONTRACTOR OR OWNER-BUILDER IS KNOWLEDGEABLE OF COMMON CONSTRUCTION PRACTICES.
- THE CONTRACTOR / OWNER-BUILDER SHALL REVIEW DRAWINGS FOR ACCURACY AND INTERPRETATION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER / DESIGNER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR / OWNER-BUILDER IS TO VERIFY THAT TRUSS ENGINEERING AND DESIGN IS COMPATIBLE WITH THESE DRAWINGS PRIOR TO TRUSS FABRICATION.
- THE FOUNDATION PLAN SHALL BE VERIFIED BY THE CONTRACTOR / OWNER-BUILDER TO CORRESPOND WITH THE FINAL ENGINEERED TRUSS LAYOUT.
- DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE. DO NOT SCALE DRAWINGS.

DOOR KEY



- DOOR NOTES:
- ALL EXTERIOR DOORS SHALL HAVE WEATHER STRIPPING ON FOUR SIDES.
 - ALL GLAZING IN DOORS SHALL BE TEMPERED.

WINDOW KEY



- WINDOW NOTES:
- VERIFY FIELD DIMENSIONS FOR ROUGH OPENING OF WINDOWS
 - SEE FLOOR PLAN FOR TEMPERED GLASS LOCATIONS
 - ALL WINDOWS AND DOORS TO MEET FLORIDA SAFETY & ENERGY REQUIREMENTS

1 EXISTING/DEMO PLAN
1/4" = 1'-0"

Scale: 1/4" = 1'-0"
Date: 02/24/26

Project
MASON ADDITION
608 SHANNON AVE
MELBOURNE BEACH, FLORIDA

Sheet Number
A101



3765 Oak Lane
Melbourne, FL 32934
321-961-9966

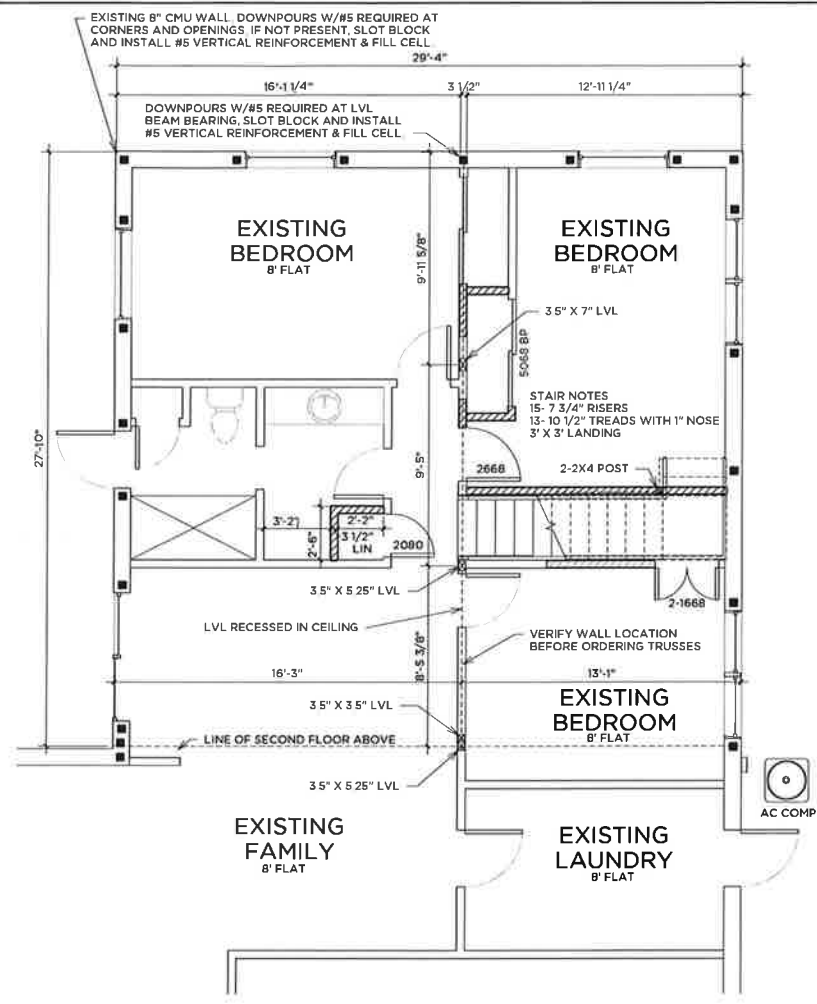
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Scale: 1/4" = 1'-0"
Date: 02/24/26

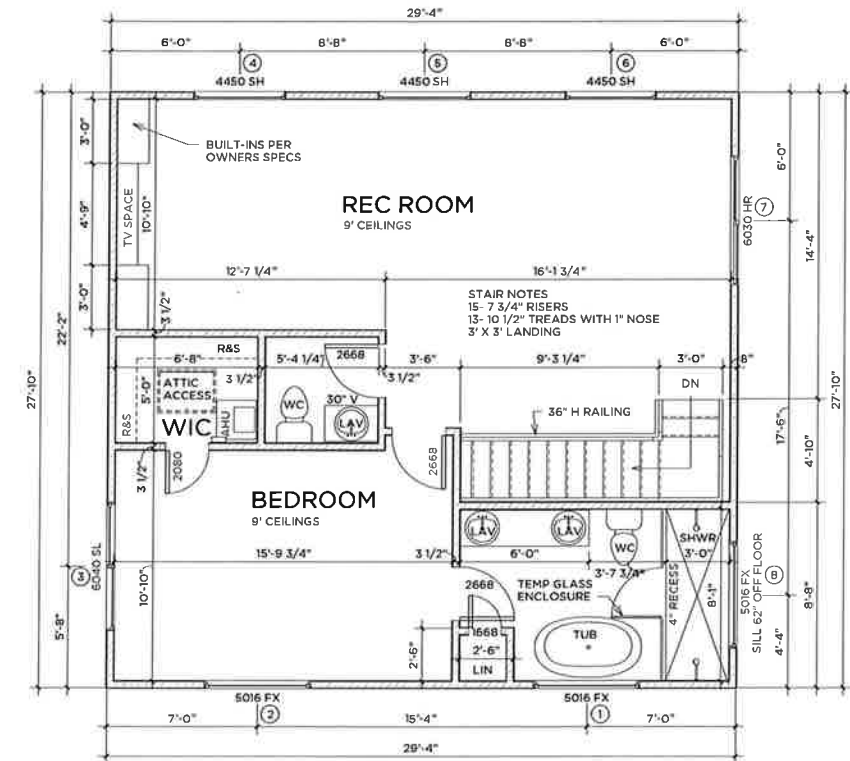
Project
MASON ADDITION
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MELBOURNE BEACH, FLORIDA

Sheet Number
A102



1 FIRST FLOOR PLAN
1/4" = 1'-0"

VERIFY DIMENSIONS IN FIELD



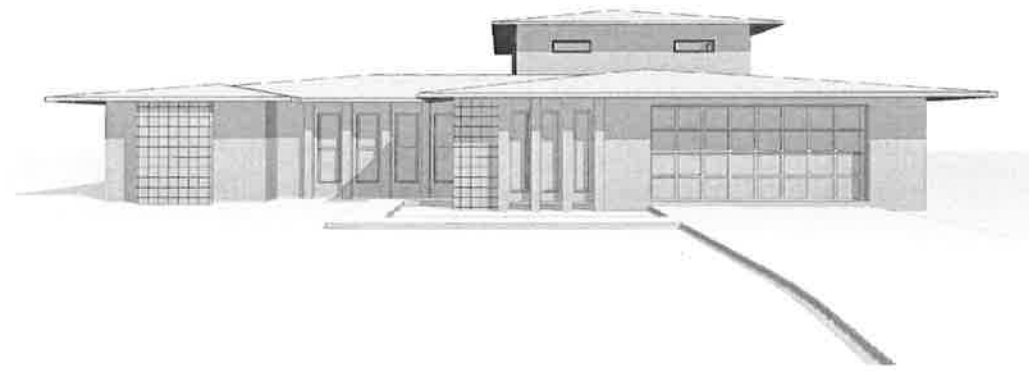
2 SECOND FLOOR
1/4" = 1'-0"



3 FRONT ELEVATION
1/4" = 1'-0"

WALL KEY

- EXISTING 2X4 WALLS
- EXISTING CMU WALLS
- WALLS TO BE REMOVED
- NEW 2X4 WALLS



4 PLAN FRONT CENTER



6 PLAN SW CORNER



5 PLAN SE CORNER



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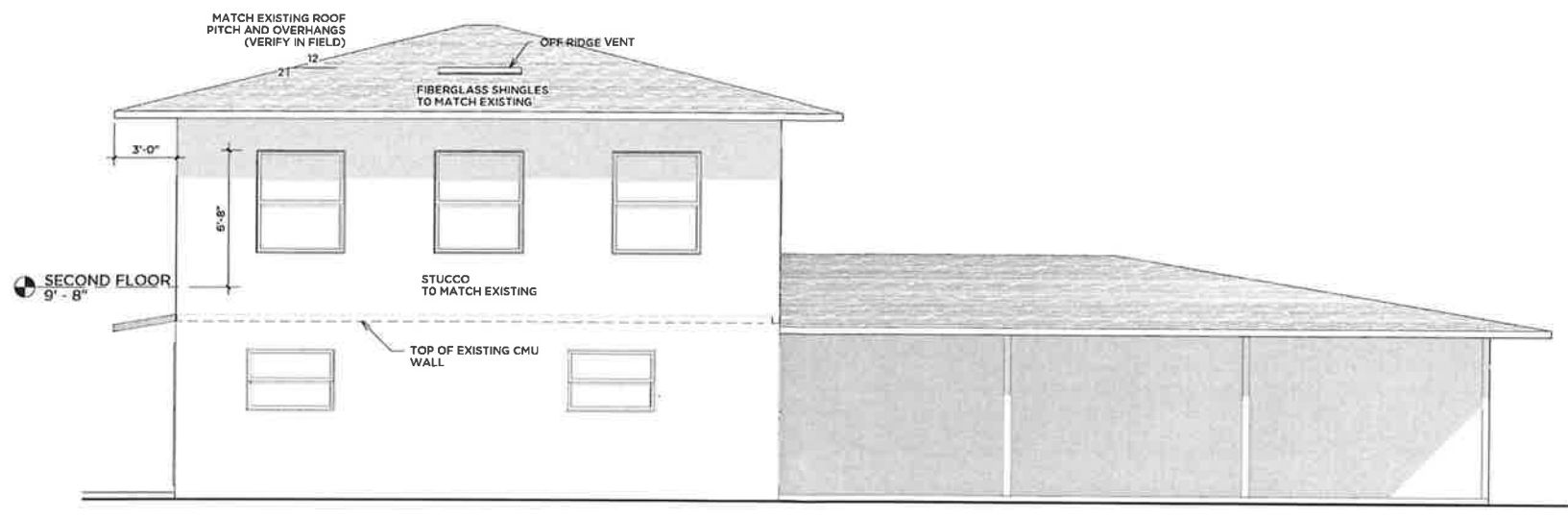
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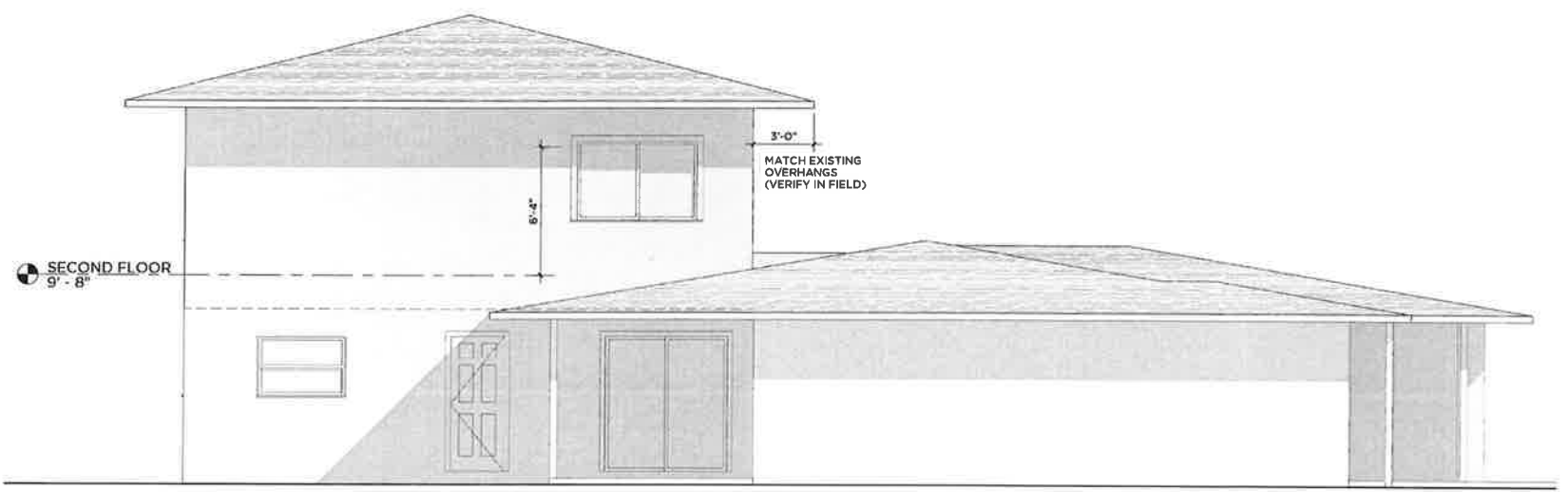
Scale: 1/4" = 1'-0"
Date: 02/24/26

Project
MASON ADDITION
608 SHANNON AVE
MELBOURNE BEACH, FLORIDA

Sheet Number
A201



① REAR ELEVATION
1/4" = 1'-0"



② LEFT SIDE ELEVATION
1/4" = 1'-0"



③ RIGHT SIDE ELEVATION
1/4" = 1'-0"



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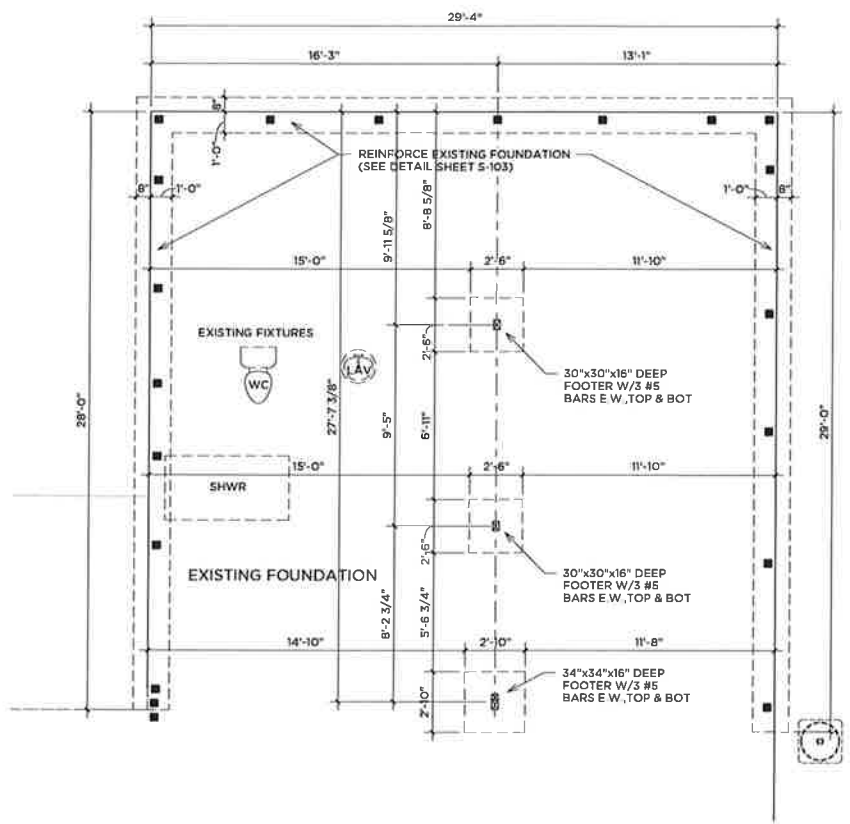
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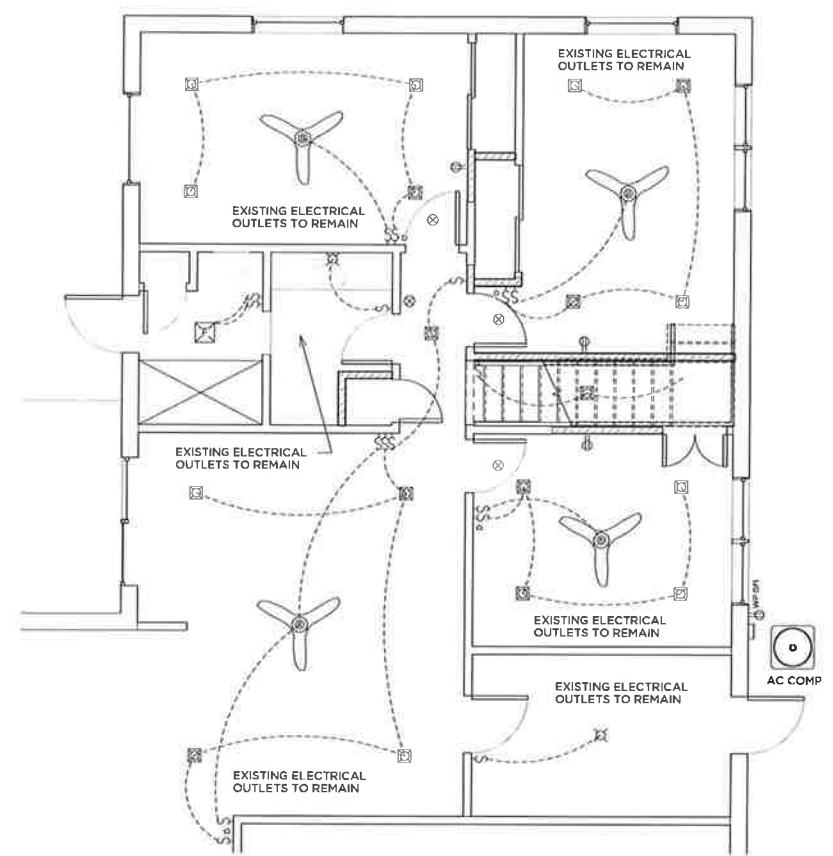
Project
MASON ADDITION
608 SHANNON AVE
MELBOURNE BEACH, FLORIDA

Sheet Number
E/S101

VERIFY DIMENSIONS IN FIELD



1 FOUNDATION PLAN
1/4" = 1'-0"

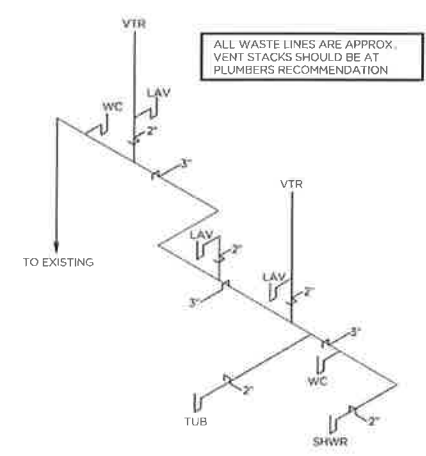


3 FIRST FLOOR ELECTRICAL PLAN
1/4" = 1'-0"

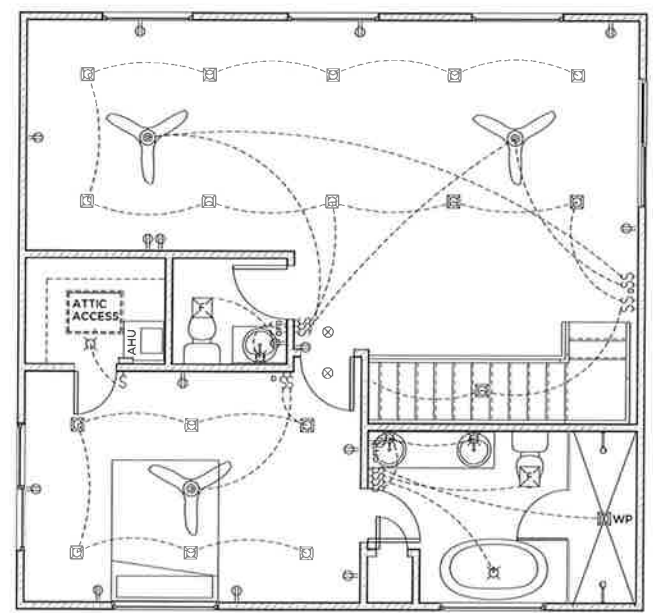
ELECTRICAL NOTES:
ALL ELECTRICAL INSTALLATION TO NEC 2017, STATE AND LOCAL CODES AND FPL REQUIREMENTS.
INSTALL TAMPER RESISTANT RECEPTACLES TO COMPLY WITH NEC 406.11.
AFCI REQUIREMENTS WILL COMPLY WITH 2017 NEC 210.12.
SMOKE DETECTORS SHALL BE INTERWIRED SO THAT ACTUATION OF ONE SHALL ACTUATE ALL UNITS. NO SMOKE DETECTORS SHALL BE LOCATED WITHIN 36" OF ANY A/C SUPPLY OR RETURN DUCK.

	RECESSED LIGHT
	PENDANT LIGHT FIXTURE
	LIGHT FIXTURE
	FLUORESCENT LIGHT
	SWITCH
	3-WAY SWITCH
	DIMMER SWITCH
	110 VOLT OUTLET
	220 VOLT OUTLET
	EXHAUST FAN
	SMOKE/CARBON MONOXIDE DET
	TV CABLE
	SECURITY CAMERA
	JUNCTION BOX
	DISCONNECT
	CEILING FAN

ELECTRICAL KEY



2 PLUMBING RISER DIAGRAM
1/4" = 1'-0"



4 SECOND FLOOR ELECTRIC PLAN
1/4" = 1'-0"



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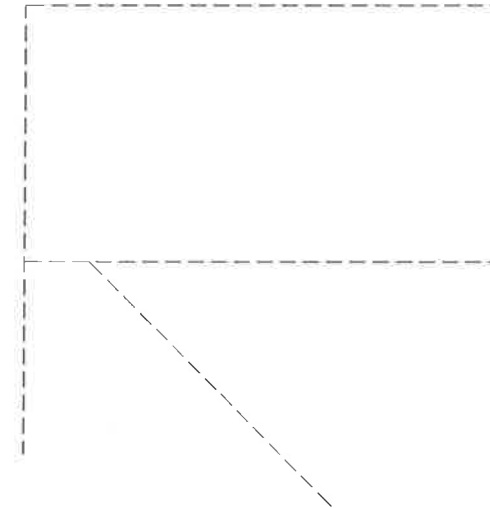
Project
MASON ADDITION
608 SHANNON AVE.
MELBOURNE BEACH, FLORIDA

Sheet Number
S102

WCW0022

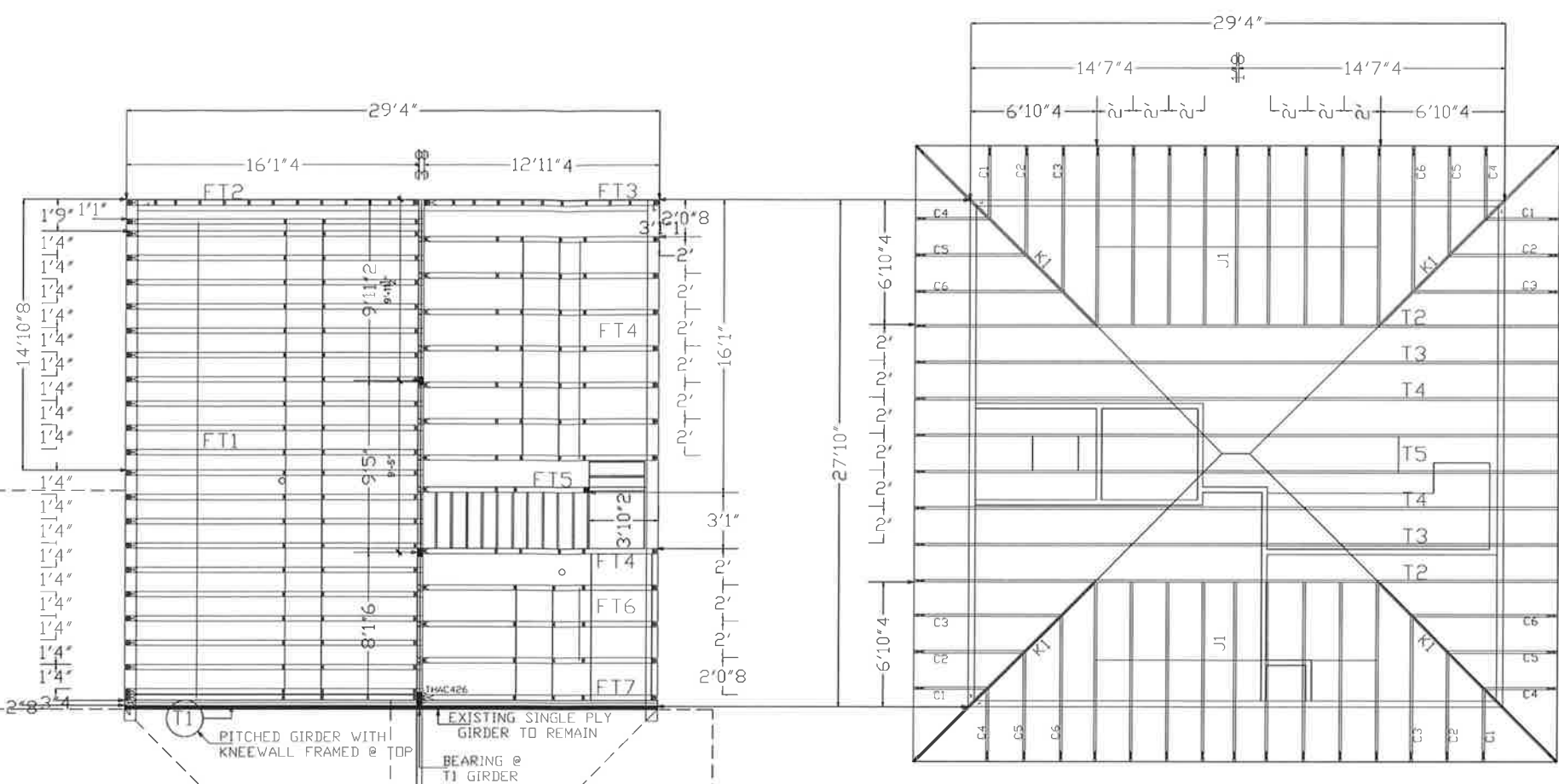
JPARKER CONTRACTING
MASON ADDITION
608 SHANNON AVE.
MELBOURNE BEACH

8" NOMINAL BEARING @ ELEVATIONS DENOTED @ PLACEMENT PLAN &/or TRUSS DRAWINGS WITH ALL BEAMS, HEADERS, LEDGERS AND MISC. FRAMING BY BUILDER.
FLR T's: 19.5" DEEP SYS42F, LAYOUT AS SHOWN, SEE TRUSS DRAWINGS FOR END BEARING DETAILS AND LOADING.
ROOF T's: 3:12 PITCH, 2x6 T/C, 37# DESIGN.
FLORIDA BUILDING CODE 8th EDITION (2023) UPLIFT VALUES PER ENGINEERING BASED ON 60PSF DEADLOAD, ASCE 7-22, 160 MPH ULTIMATE WIND SPEED, ENCLOSED BUILDING, EXP. "B", CATEGORY, II RESIDENTIAL WITH ALL CONNECTION HARDWARE AND DESIGN BY BUILDER.



SECOND FLOOR TRUSS PLAN

SCALE: 1/2" = 1'-0"



ROOF TRUSS PLAN

SCALE: 1/2" = 1'-0"

ANCHOR SCHEDULE

LOCATION	DESIGNATION	ALLOWABLE UPLIFT	NAIL PATTERN
ROOF TRUSS TO FRAME (U.N.O)	SIMPSON MTS16	990	14-148" x 1 1/2" EACH
3.5" x 3.5" LVL POST TO FOOTER	SIMPSON ABU44Z	2300	3/8" ANCHOR BOLT 12-16d NAILS
3.5" x 5.25" LVL POST TO FOOTER	SIMPSON ABU46Z	2265	3/8" ANCHOR BOLT 12-16d NAILS
3.5" x 7" LVL POST TO FOOTER	SIMPSON ABU46Z	2265	3/8" ANCHOR BOLT 12-16d NAILS
LVL POST TO BEAM/TRUSS	SIMPSON MSTA21	1505	16-10d x 2 1/2"
LVL BEAM TO EXISTING CMU WALL	SIMPSON MTS16	830	7-148" x 1 1/2" NAIL IN BEAM 4-25" x 2 1/2" TITEN TURBO IN WALL

Client: LVL1 LP-LVL 2900Fb-2.0E 1,750" X 18,000" 2-Ply - PASSED Level Level

Member Information

Type	Flavor	Application	Flavor
2	2	ADD	2
Moisture Condition	Dry	Design Method	ASD
Deflection LL	485	Building Code	FBC 2023 (18th Edition)
Deflection TL	300	Load Control	No
Temperature	Temp = 50°F	Deck	Not Checked

Reactions PATTERNED IS (Up/ft)

Dir	Direction	Live	Dead	Shoe	Wind	Cont
1	Vertical	2381	2255	0	0	0
2	Vertical	6433 (-254)	5510	0	0	0
3	Vertical	5054 (-484)	4907	0	0	0
4	Vertical	2328 (170)	1708	0	0	0

Analysis Results

Analysis	Actual	Location Allowed	Capacity	Comb	Case
Neg Moment	-18921 ft-lb	9'11" 18" 43105 ft-lb	20%	D-L	L-L
Pos Moment	8723 ft-lb	4'11" 118" 43105 ft-lb	20%	D-L	L-L
Shear	450 lb	8'3" 12" 11970 lb	34%	D-L	L-L
LL Dist Inch 0.035 (L2246)	0' 15" 10" 0.225 (L480)	10%	L	L-L	L-L
TL Dist Inch 0.060 (L1877)	0' 31" 4" 0.300 (L480)	18%	D-L	L-L	L-L

Design Notes

- Design for Simultaneous loads has not been considered.
- Bearing 1: 10" o.c. (per code)
- Provide supports to prevent lateral movement and rotation at the end bearings. Lateral support may also be provided at the interior bearings by the building code.
- Dead Load Deflection: Instant = 0.020" Long Term = 0.034"
- Faster all plates using 3 rows of 12d Box Nails (128x25) at 12" o.c. Maximum end distance not to exceed 6". Check local code requirements.
- Refer to last page of calculations for fasteners required for spaced joists.
- Orders are designed to be supported on bottom edge only and across their full width.
- Top bracing must be supported equally by all sides.
- Top must be braced at a maximum of 21.7' o.c.
- Bottom must be laterally braced at a maximum of 18.6' o.c.

Notes

1 Uniform
2 Top Weight

Client: LVL1 LP-LVL 2900Fb-2.0E 1,750" X 18,000" 2-Ply - PASSED Level Level

Multi-Ply Analysis

Fasten all plies using 3 rows of 12d Box Nails (128x25) at 12" o.c. Maximum end distance not to exceed 6". Clinch Nails where possible.

Category	Value
Efficiency	88%
Leaf	0.8 PLF
Field Line per Foot	278.2 PLF
Field Line per Foot	42.7 lb
Di	1
Field Multi	1.0
Edge Distance	1.82"
MA End Distance	3"
Steel Combination	
Reaction Factor	1.00

Notes

1 Uniform
2 Top Weight



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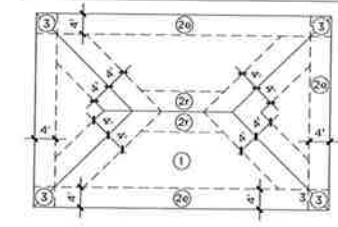
Project

MASON ADDITION
608 SHANNON AVE.
MELBOURNE BEACH, FLORIDA

Sheet Number

S103

ROOF NAILING ZONES



ROOF NAILING SCHEDULE:
ZONE 1: 8d NAILS @ 6" O.C. EDGE
8d NAILS @ 6" O.C. FIELD
ZONE 2: 8d NAILS @ 4" O.C. EDGE
8d NAILS @ 4" O.C. FIELD
ZONE 3: 8d NAILS @ 3" O.C. EDGE
8d NAILS @ 3" O.C. FIELD

ALLOWABLE FASTENERS:
8d RING SHANK NAILS WITH MIN DIMENSIONS:
1. 0.131 NOMINAL DIAMETER
2. RING DIA. OR 0.012 OVER SHANK
3. 16 TO 20 RINGS
4. 0.280 FULL ROUND HEAD DIA.
5. 2 1/2" NAIL LENGTH

BEARING WALL NAIL PATTERN:
PLYWOOD AND SIDING:
(FIELD) USE 8d NAILS @ 8" O.C.
(EDGE) USE 8d NAILS @ 4" O.C.
GYPSUM:
(FIELD) USE 5d NAILS @ 10" O.C.
(EDGE) USE 5d NAILS @ 7" O.C.

WIND DESIGN PRESSURES FOR ROOF ZONES (PSF)

ROOF ZONE 1	20.6	-46.0
ROOF ZONE 2r	20.6	-60.4
ROOF ZONE 2w,3	20.6	-65.1

DESIGN PRESSURES FOR WINDOWS & DOORS

MARK	DESCRIPTION	ZONE	ELEVATION	OPENING DIMENSIONS WIDTH INCHES HEIGHT INCHES	MAXIMUM POSITIVE PRESSURE (PSF)	MAXIMUM NEGATIVE PRESSURE (PSF)
1	5016 FX	5	16	60.0 18.0	25.3	-33.7
2	5016 FX	5	16	60.0 18.0	25.3	-33.7
3	6040 SL	5	14.6	72.0 48.0	23.9	-30.9
4	4450 SH	5	14	52.0 60.0	24.0	-31.2
5	4450 SH	4	14	52.0 60.0	24.0	-26.1
6	4450 SH	5	14	52.0 60.0	24.0	-31.2
7	6030 SL	5	15	72.0 36.0	24.3	-31.8
	5016 FX	5	16	60.0 18.0	25.3	-33.7

WOOD FRAME HEADER SCHEDULE

ROUGH OPENING	MIN. HEADER BEAM	NO. JACK STUDS	NO. WALL STUDS
0'-0" TO 4'-11"	2-2x6	1	1
5'-0" TO 6'-2"	2-2x8	1	1
6'-3" TO 7'-7"	2-2x10	2	2
7'-8" TO 8'-9"	2-2x12	2	2
8'-10" TO 11'-0"	3-2x12	2	2

ALL BEAMS/HEADERS 11'-0" TO 18'-11" (2) 1-3/4" x 14" LVL MICROLLAM BEARING/CONNECTORS AS INDICATED IN PLANS.

WINDOW/DOOR BUCK INSTALLATION

MASONRY	TAPCONS	PAF'S	PDN'S	WOOD SCREWS
OPENING WIDTH	BUCK TO HEAD JAMB		WINDOW TO BUCK	
UP TO 8'-0"	3/16" @ 16"	.145 @ 8"	.120 @ 6"	#8 @ 12"
>8'-0" TO 10'-0"	3/16" @ 12"	.145 @ 6"	.120 @ 6"	#8 @ 8"
>10'-0" TO 12'-0"	3/16" @ 8"	.145 @ 4"	.120 @ 4"	#8 @ 6"
>12'-0"	BY DESIGN	BY DESIGN	BY DESIGN	BY DESIGN

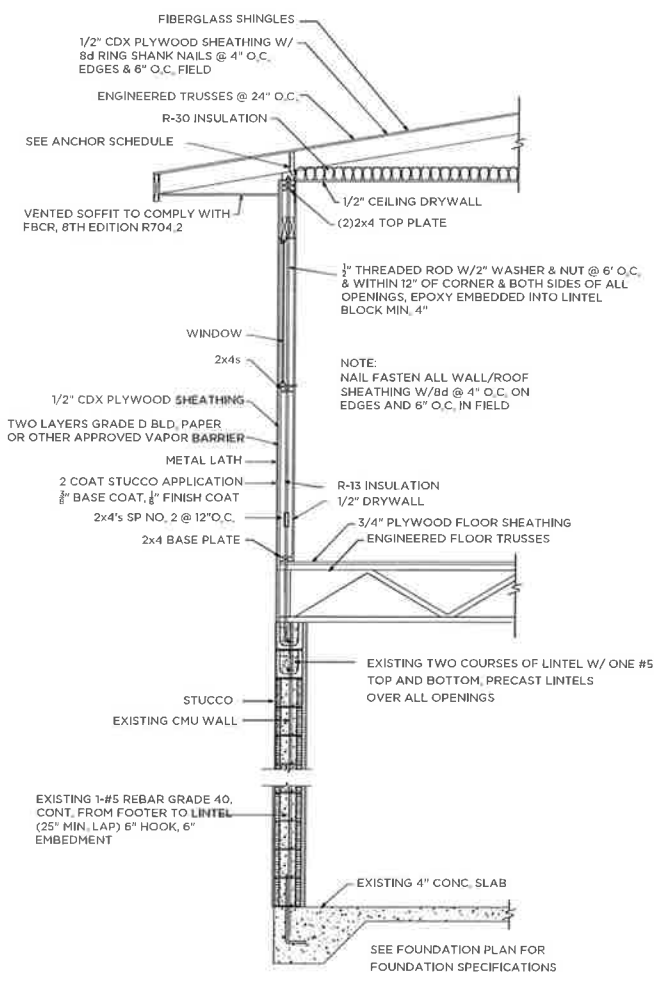
NOTE:
PAF = POWER ACTUATED FASTENERS
PDN = PNEUMATICALLY DRIVEN NAILS
MAINTAIN 3" EDGE CLEARANCE FOR PAF'S
EMBED PAF'S 1.5" INTO CHU OR CONCRETE
LARGER MASONRY OR WOOD SCREWS MAY BE SUBSTITUTED
EMBED TAP CONS 1.5" INTO CHU OR CONCRETE

FOAM SEAL AROUND ALL BUCKS/WINDOW/DOORS

FRAME	NAILS	WOOD SCREWS
OPENING WIDTH	BUCK TO HEAD AND JAMB	
UP TO 8'-0"	6d @ 4"	#8 @ 12"
>8'-0" TO 10'-0"	6d @ 3"	#8 @ 8"
>10'-0" TO 12'-0"	6d @ 3"	#8 @ 6"
>12'-0"	BY DESIGN	BY DESIGN

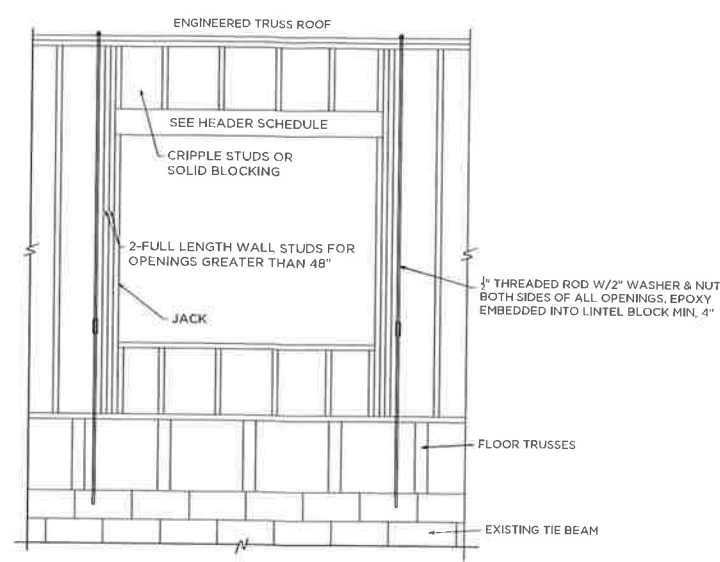
ENGINEERING NOTES

- ALL LOAD BEARING CONCRETE MASONRY UNITS SHALL COMPLY W/ ASTM C-90 WITH TYPE M OR S MORTAR COMPLYING W/ ASTM A-270. MASONRY UNITS SHALL HAVE A PRISM STRENGTH OF 1500 PSI.
- REINFORCING BARS TO BE GRADE 60 WITH 25" LAP MINIMUM, (ASTM A-615)
- COVER: FOOTINGS= 3", BEAMS = 1.5"
- SLAB AND FOUNDATION CONCRETE TO HAVE 28 DAY COMPRESSIVE STRENGTH OF 2500 PSI.
- ANY WOOD FRAMING OR LUMBER IN CONTACT W/ CONCRETE TO BE P.T. OR HAVE MOISTURE BARRIER OF 15 LB. FELT MIN.
- ROOF SHEATHING IS A DIAPHRAGM, TO BE NAILED W/ 8d RING SHANK NAILS @ 4" O.C. EDGES AND 6" O.C. FIELD.
- CEILINGS TO BE 1/2" STRUCTURAL DRYWALL (CEILING BOARD).
- ALL EXTERIOR WALLS BETWEEN OPENINGS ARE DESIGNED AS AND SHOULD BE CONSIDERED SHEAR WALLS.
- INTERIOR WALLS NOTED AS SHEAR WALLS SHALL HAVE 1/2" 4-PLY OR OSB ON ONE SIDE NAILED W/ 8d @ 4" O.C. EDGES, 6" O.C. FIELD.
- INTERIOR BEARING WALLS SHOULD BE SECURED TO SLAB W/ 1/2" x 10" WEDGE ANCHORS W/ 2" WASHERS @ 24" O.C.
- THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE FLORIDA BUILDING CODE 8TH EDITION (2023)-RESIDENTIAL.
- DIMENSIONS SHOULD BE USED IN LIEU OF SCALING WHEREVER POSSIBLE.
- ALL WALL ANGLES ARE BASED ON 90 & 45 DEGREES UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS ON THE DRAWING ARE BASED ON NOMINAL WALL THICKNESS OF 4", 6" & 8" AND DO NOT REFLECT DRYWALL, FURRING, OR OFFSETS. CARE MUST BE USED IN LAYOUT TO ALLOW FOR FINISHES.
- U.N.O. = UNLESS NOTED OTHERWISE.
- CONTRACTOR TO VERIFY THAT TRUSS DESIGN AND LAYOUT CORRELATE W/ SEALED PLANS. ANY DISCREPANCIES ARE TO BE CORRECTED PRIOR TO TRUSS FABRICATION OR ERECTION.
- ENGINEER CERTIFIES STRUCTURE ONLY



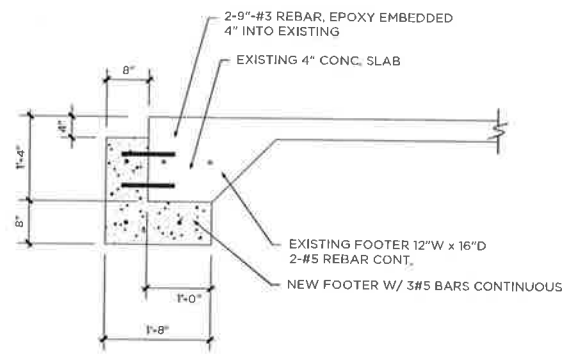
SECOND STORY ADDITION SECTION

SCALE: 1/2" = 1'-0"



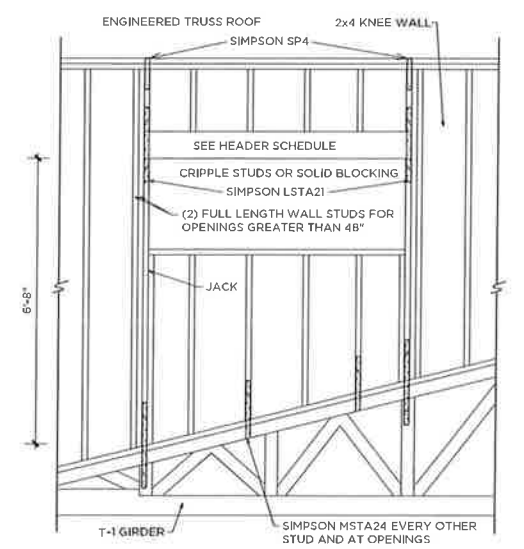
BEARING OPENING FRAME WALL

SCALE: 1/2" = 1'-0"



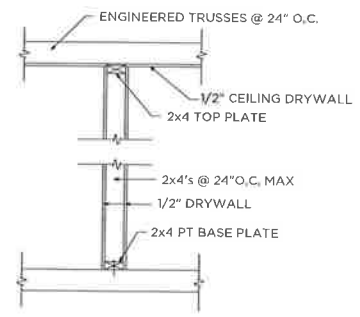
REINFORCEMENT FOR CONTINUOUS FOOTER AT SECOND FLOOR ADDITION

SCALE: 3/4" = 1'-0"



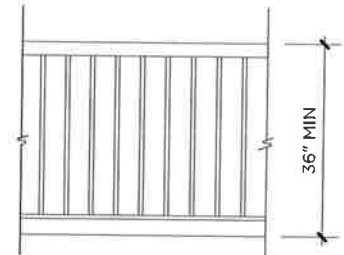
WALL BEARING ON T-1 GIRDER

SCALE: 1/2" = 1'-0"



INTERIOR NON-BEARING WALL

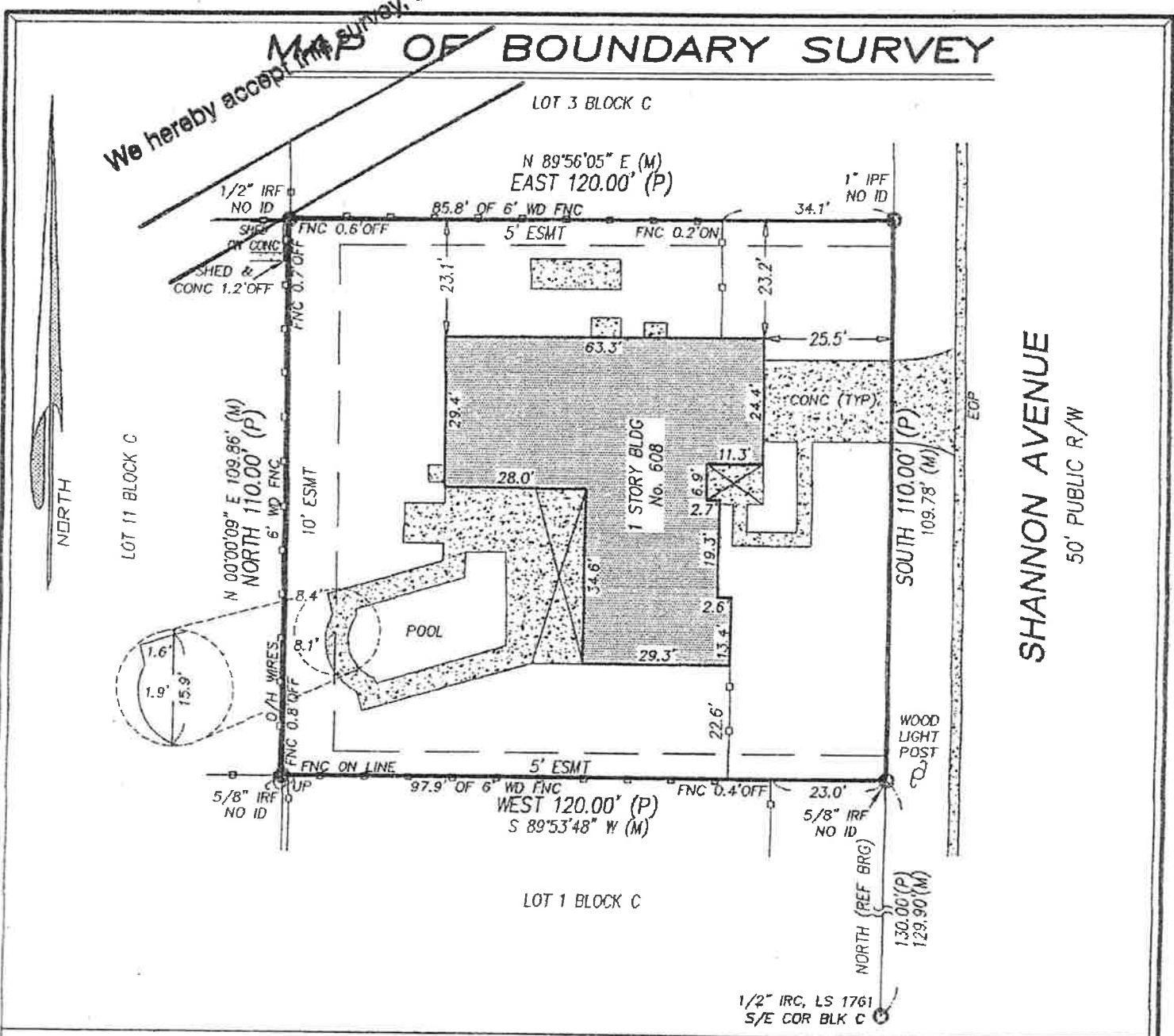
SCALE: 3/4" = 1'-0"



GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW PASSAGE OF A SPHERE 4 INCHES (102 MM) IN DIAMETER

GUARD RAIL SECTION

SCALE: 3/4" = 1'-0"



LEGEND

<p>A = ARC A/C = AIR CONDITIONER BFE = BASE FLOOD ELEVATION BLDG = BUILDING BLK = BLOCK BM = BENCHMARK BRG = BEARING (C) = CALCULATED CATV = CABLE TELEVISION CBS = CONCRETE BLOCK STRUCTURE CHD = CHORD C/L = CENTERLINE CLF = CHAIN LINK FENCE CMF = CONCRETE MONUMENT FOUND COR = CORNER (D) = DEED DA = DELTA ANGLE DB = DEED BOOK ELEC = ELECTRIC ELEV = ELEVATION ENC = ENCROACHMENT EOP = EDGE OF PAVEMENT ESMT = EASEMENT FB = FIELD BOOK FF = FINISHED FLOOR</p>	<p>FNC = FENCE FND = FOUND FP&L = FLORIDA POWER & LIGHT COMPANY GOV'T = GOVERNMENT ID = IDENTIFICATION IPF = IRON PIPE FOUND IRC = IRON ROD & CAP FOUND IRF = IRON ROD FOUND IRS = 5/8" IRON ROD SET "KANE LB 7179" LB = LICENSED BUSINESS NUMBER LS = (RLS) or (PLS) REGISTERED OR PROFESSIONAL LAND SURVEYOR (M) = MEASURED No. = NUMBER NDF = NAIL & DISK FOUND NDS = 1 1/4" NAIL & DISK SET "LB 7179" NGVD = NATIONAL GEODETIC VERTICAL DATUM O/H = OVERHEAD ORB = OFFICIAL RECORDS BOOK O/S = OFFSET (P) = PLAT PB = PLAT BOOK PCP = PERMANENT CONTROL POINT PC = POINT OF CURVATURE</p>	<p>PCC = POINT OF COMPOUND CURVATURE PI = POINT OF INTERSECTION PT = POINT OF TANGENCY PRC = POINT OF REVERSE CURVATURE PRM = PERMANENT REFERENCE MONUMENT POB = POINT OF BEGINNING POC = POINT OF COMMENCEMENT POL = POINT ON LINE PUE = PUBLIC UTILITY EASEMENT PUDE = PUBLIC UTILITY & DRAINAGE EASEMENT PVMT = PAVEMENT R = RADIUS REF = REFERENCE RNG = RANGE R/W = RIGHT OF WAY SEC = SECTION TEL = TELEPHONE RISER TWP = TOWNSHIP TYP = TYPICAL UP = UTILITY POLE WD = WOOD WIT-COR = 5/8" IRON ROD SET WITH CAP "WITNESS LB 7179" WM = WATER METER XCF = CROSS CUT FOUND</p>
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LEGAL DESCRIPTION:
LOT 2, BLOCK C, THE RIVER COLONY OF MELBOURNE BEACH EAST SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 17, PAGE 54, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA

BOUNDARY	DATE: 1/15/04	JOB No. 16335
		FB 3-31-64
		RIVCOLON/L2BC

CERTIFIED TO:
RONALD A. & SUSAN P. WINKLER
CHASE MANHATTAN MORTGAGE CORPORATION
ALLIANCE TITLE OF BREVARD, LLC
STEWART TITLE GUARANTY COMPANY

CERTIFICATION:
I HEREBY CERTIFY: THAT THE ATTACHED SURVEY WAS DONE UNDER MY DIRECTION AND MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 61G17-6 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 FLORIDA STATUTES.

Michael J. Kane DATE: 1/18/04
MICHAEL J. KANE PROFESSIONAL LAND SURVEYOR AND MAPPER
STATE OF FLORIDA NO. LS 4029

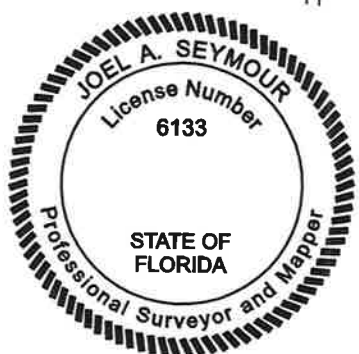
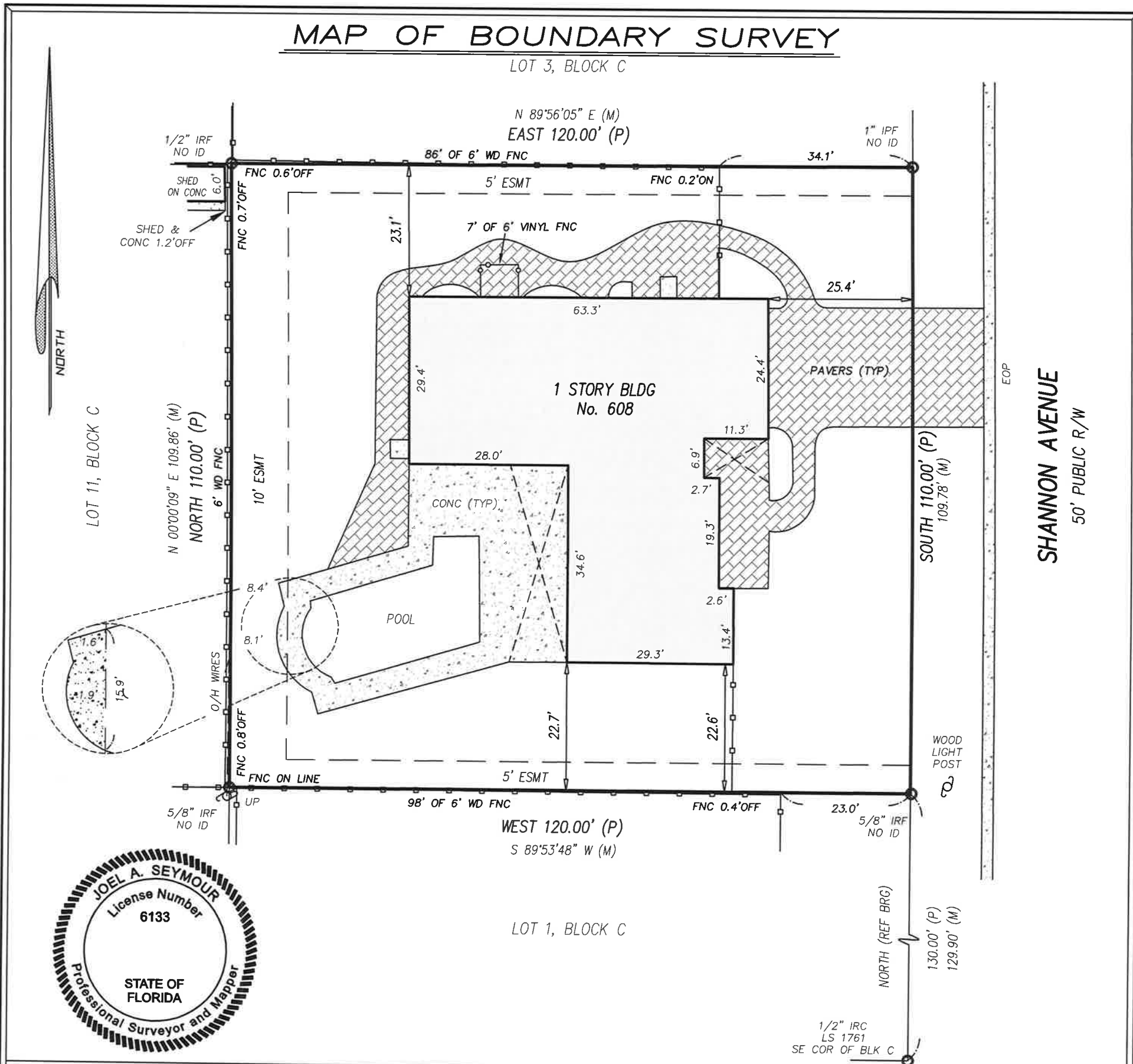
C	DRAWN BY: TAM	SCALE 1 INCH = 30 FEET
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- NOTES:**
- BEARINGS BASED ON SAID PLAT (SEE SKETCH)
 - ELEVATIONS BASED ON _____
 - FLOOD ZONE "X", MAP No. 12009C0535E COMMUNITY No. 125128, NOVEMBER 19, 1997
 - HORIZONTAL CLOSURE MEETS OR EXCEEDS THE ACCURACY REQUIREMENTS FOR SUBURBAN LAND AS PER FLORIDA STATUTE 61G17-6.003
 - BEARINGS, DISTANCES OR ANGLES SHOWN ARE THE SAME AS PLAT, DEED OR RECORD UNLESS SHOWN OTHERWISE.
 - NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
 - THE SURVEYOR HAS NOT LOCATED NOR ATTEMPTED TO LOCATE ANY UNDERGROUND UTILITIES, FOUNDATIONS, OR STRUCTURES OTHER THAN THOSE THAT MAY BE SHOWN HEREON.
 - ONLY BOUNDARY CORNER MONUMENTS AS SHOWN HEREON ARE TO BE USED FOR THE LOCATION AND CONSTRUCTION OF IMPROVEMENTS.
 - UNLESS OTHERWISE INDICATED THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE SEARCH OR ATTORNEY'S TITLE OPINION.

KANE SURVEYING
FLORIDA LICENSED BUSINESS No. LB 7179
1637 SOUTH WICKHAM ROAD
WEST MELBOURNE, FLORIDA 32904
(321) 676-0427
FAX (321) 984-1448

MAP OF BOUNDARY SURVEY

LOT 3, BLOCK C



LEGEND

- | | | |
|---|---|--|
| <p>A = ARC
A/C = AIR CONDITIONER
BFE = BASE FLOOD ELEVATION
BLDG = BUILDING
BLK = BLOCK
BM = BENCHMARK
BRG = BEARING
(C) = CALCULATED
CATV = CABLE TELEVISION
CBS = CONCRETE BLOCK STRUCTURE
CHD = CHORD
C/L = CENTERLINE
CLF = CHAIN LINK FENCE
CMF = CONCRETE MONUMENT FOUND
CMP = CORRUGATED METAL PIPE
CONC = CONCRETE
COR = CORNER
(D) = DEED
DB = DEED BOOK
DA = DELTA ANGLE
ELEC = ELECTRIC
ELEV = ELEVATION
ENC = ENCROACHMENT
EOP = EDGE OF PAVEMENT
ESMT = EASEMENT
FB = FIELD BOOK</p> | <p>FEMA = FEDERAL EMERGENCY MANAGEMENT AGENCY
FF = FINISHED FLOOR
FNC = FENCE
FND = FOUND
FP&L = FLORIDA POWER & LIGHT COMPANY
ID = IDENTIFICATION
IPF = IRON PIPE FOUND
IRC = IRON ROD & CAP FOUND
IRF = IRON ROD FOUND
IRS = 5/8" IRON ROD SET "LB 7838"
LB = LICENSED BUSINESS NUMBER
LS = (RLS) or (PLS) REGISTERED OR PROFESSIONAL LAND SURVEYOR
(M) = MEASURED
NAVD = NORTH AMERICAN VERTICAL DATUM
NDF = NAIL & DISK FOUND
NDS = 1 1/4" NAIL & DISK SET "LB 7838"
NGVD = NATIONAL GEODETIC VERTICAL DATUM
No. = NUMBER
O/H = OVERHEAD
ORB = OFFICIAL RECORDS BOOK
O/S = OFFSET
(P) = PLAT
PB = PLAT BOOK</p> | <p>PC = POINT OF CURVATURE
PCC = POINT OF COMPOUND CURVATURE
PCP = PERMANENT CONTROL POINT
PI = POINT OF INTERSECTION
PLS = PROFESSIONAL LAND SURVEYOR
POB = POINT OF BEGINNING
POC = POINT OF COMMENCEMENT
PRC = POINT OF REVERSE CURVATURE
PRM = PERMANENT REFERENCE MONUMENT
PSM = PROFESSIONAL SURVEYOR AND MAPPER
PT = POINT OF TANGENCY
PUDE = PUBLIC UTILITY & DRAINAGE EASEMENT
PUE = PUBLIC UTILITY EASEMENT
R = RADIUS
REF = REFERENCE
RNG = RANGE
R/W = RIGHT OF WAY
SEC = SECTION
SFHA = SPECIAL FLOOD HAZARD AREAS
TEL = TELEPHONE RISER
TWP = TOWNSHIP
TYP = TYPICAL
UP = UTILITY POLE
WD = WOOD
WIT-COR = 5/8" IRON ROD SET WITH CAP "WITNESS LB 7838"
WM = WATER METER
XCF = CROSS CUT FOUND</p> |
|---|---|--|

LEGAL DESCRIPTION:
LOT 2, BLOCK C, THE RIVER COLONY OF MELBOURNE BEACH EAST SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 17, PAGE 54, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA

- NOTES:**
- BEARINGS BASED ON THE W. R/W LINE BEING SOUTH AS PER PLAT (SEE SKETCH)
 - ELEVATIONS BASED ON _____
 - FLOOD ZONE "X", MAP No. 12009C0604H COMMUNITY No. 125128, FIRM INDEX DATE: JANUARY 29, 2021. FLOOD ZONE INFORMATION DEPICTED HEREON IS APPROXIMATE. FEMA RETAINS SOLE AUTHORITY REGARDING BOUNDARY AND EXTENT OF SFHA.
 - HORIZONTAL CLOSURE MEETS OR EXCEEDS THE ACCURACY REQUIREMENTS FOR SUBURBAN LAND AS PER FLORIDA STATUTE 5J-17-6.003
 - BEARINGS, DISTANCES OR ANGLES SHOWN ARE THE SAME AS PLAT, DEED OR RECORD UNLESS SHOWN OTHERWISE.
 - NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL, OR THE DIGITAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
 - THE SURVEYOR HAS NOT LOCATED NOR ATTEMPTED TO LOCATE ANY UNDERGROUND UTILITIES, FOUNDATIONS, OR STRUCTURES OTHER THAN THOSE THAT MAY BE SHOWN HEREON.
 - ONLY BOUNDARY CORNER MONUMENTS AS SHOWN HEREON ARE TO BE USED FOR THE LOCATION AND CONSTRUCTION OF IMPROVEMENTS.
 - UNLESS OTHERWISE INDICATED THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE SEARCH OR ATTORNEY'S TITLE OPINION.

BOUNDARY	DATE: 3/16/26	JOB No. 44768
		RIVCOLON/L2BC

CERTIFIED TO:
WILLIAM MASON

CERTIFICATION:
I HEREBY CERTIFY: THAT THE ATTACHED SURVEY WAS DONE UNDER MY DIRECTION AND MEETS THE STANDARDS AND PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 FLORIDA STATUTES.

Joel A Seymour Digitally signed by Joel A Seymour
Date: 2026.03.18 06:35:46 -04'00' DATE: 3/18/26

JOEL A. SEYMOUR PROFESSIONAL LAND SURVEYOR AND MAPPER
STATE OF FLORIDA No. LS 6133

Kane Surveying, Inc.
FLORIDA LICENSED BUSINESS No. LB 7838
505 DISTRIBUTION DRIVE
MELBOURNE, FLORIDA 32904
(321) 676-0427

DRAWN BY: JIL SCALE 1 INCH = 20 FEET

Planning and Zoning Meeting

Section: New Business
Meeting Date: April 7, 2026
From: Building Department
RE: Site Plan Approval for 200 Shannon Ave. – Renovation & Addition

Background Information:

The Town received plans for a renovation and an addition at 200 Shannon Ave.

Recommendation:

Approve the site plan for 200 Shannon Ave.

Attachments:

- Town Planner Letter – Pages 29-31
- Development Application and Narrative – Pages 32-36
- Original Plans and Survey – Pages 37-42

Site Plan Review

Applicable Codes:

**Town of Melbourne Beach Land Development Code
Current Florida Building Code**

Date: April 7, 2026
Owner: Connor and Victoria Scalise
Owner Address: 200 Shannon Avenue, Melbourne Beach FL 32951
Site Address: 200 Shannon Avenue, Melbourne Beach FL 32951
Parcel ID: 28-38-06-75-2-1
Zoning: 2RS- Single- Family

Proposed Project: Renovation to existing home and garage addition
References: Town of Melbourne Beach Code of Ordinances:
 7A-32 Single-Family Residential District
 7A-51.1, Site Plan Approval For Single-Family Residential Districts

Request: Site Plan Approval in Accordance with 7A-51.1
Staff Review: The property lies in Zoning District 2RS

- 1) The project includes renovation of the existing single-family home and a garage addition. The proposed garage addition extends into the 25' setback from Shannon Avenue and a variance was granted by the Melbourne Beach Board of Adjustment that was needed in advance of the Planning & Zoning Board consideration of the site plan.
- 2) The Building Lot Zoning District requirements for min. lot area, width and depth.
 Lot area is 13,638 sq. ft. (min. 11,250 sq. ft.)
 Lot width is 115 ft. (min. 90 ft. measured from the front building line)
 Lot depth is approximately 118 ft. (min. 100 ft.)
- 3) Lot coverage is a maximum of 30% for principal structure.
 Lot coverage per plan is 28%
 Footprint of Primary Structure is 3,832 SF.
 Max allowed for Primary Structure is 4091.4 sq. ft. for Lot Area of 13,638 sq. ft.
 Minimum pervious area per lot is 30%. Pervious area is 54%.

- 4) Structure maximum height for zoning district is 28 ft.
 The proposed height provided is 9'4" to the tie beam and approximate 20' to the top of the roof from FFE.
 Flood Zone: X per survey

Zoning District Setback requirements:

Proposed Primary Structure Front Setback (Shannon): 15.3' (min. 25'.) Variance Granted
 Existing Primary Structure Rear Setback: 12.5' (min. 25') existing nonconformity
 Existing Primary Structure Side Corner Setback: 16.9' (min. 25') existing nonconformity
 Existing Primary Structure Side Interior Setback 11.7' (min. 15') existing nonconformity
 Existing nonconformities are allowed to continue under 7A-83.

- 5) Applicable sediment and erosion control measures shall be met and approved by the Building Official in accordance with the Town of Melbourne Beach Code of Ordinances, Chapter 27 Stormwater, and the current Florida Building Code.
- 6) On-site Storm water Retention Control measures are not applicable as the proposed improvements do not exceed the threshold for compliance with the Town of Melbourne Beach Code of Ordinances, Chapter 27 Stormwater, and the current Florida Building Code.
- 7) The requirements of Chapter 9A Landscape are applicable for any tree removal and replacement which will be addressed during the building permitting process.

Based on the above review, I find the proposed site plan for the referenced property is in compliance with The Town of Melbourne Beach Code of Ordinances.



Corey W. O'Gorman
 Town Planner

200 Shannon Avenue

IMPERVIOUS		PERVIOUS	
Primary Structure	3832	Open areas	7358
Pool & Deck	1773		
Driveway	675		
 Total Paved Area	 6280		
<hr/>		<hr/>	
Total Lot Area	13,638	Total Lot Area	11,250
 <hr/>		 <hr/>	
% IMPERVIOUS	46%	% PERVIOUS	54%



TOWN OF MELBOURNE BEACH DEVELOPMENT APPLICATION

I. SUBMITTAL REQUIREMENTS:

1. Fees per current schedule.
2. Deed to property.
3. Pre-Application meeting is mandatory. Contact the Building Official or Building Clerk to submit information required and to schedule a pre-application meeting.
4. Application deadlines are determined annually by the Boards and will be provided at the pre-application meeting.
5. All applicants must complete pages 1-3 and the section(s) as applicable to the request (refer to section II. below). All materials listed in the applicable sections must be provided, and fees paid.

II. REQUEST:

- | | |
|--|--|
| <input type="checkbox"/> Land Use Plan Amendment | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Special Exception | <input type="checkbox"/> Coastal Construction Variance |
| <input type="checkbox"/> Variance | <input type="checkbox"/> Appeal (Application must be filed within 30 days) |
| <input checked="" type="checkbox"/> Site Plan Review Single Family (1RS, 2RS, 3RS) | <input type="checkbox"/> Site Plan Review Multifamily (4RM, 5RMO) |
| <input type="checkbox"/> Site Plan Review Commercial (6B, 7C, 8B, 9I) | <input type="checkbox"/> Amendment to the Land Development Code |
| | <input type="checkbox"/> Other (specify) _____ |

III. PROPERTY INFORMATION:

General Location: _____

Address: 200 Shannon Ave Melbourne Beach 32951

Parcel Number(s): 28-38-06-75-2-1

Area (in acreage): .31 Area (in square feet): _____

Current Zoning: _____ Proposed Zoning: _____

Current Future Land Use: _____ Proposed Future Land Use: _____

Brief Description of Application: Remodel existing home / add new garage

Date of Mandatory Pre-Application Meeting (attach meeting minutes if applicable): _____

IV. APPLICANT INFORMATION:

Property Owner

Name: Connor & Victoria Scalise

Phone: 321 525-0469

Address: 200 Shannon Ave

Fax: _____

Melbourne Beach FL 32951

Email: Scalise88@gmail.com

Applicant (if other than property owner)

Name: McHenry Construction

Phone: 321 626 6648

Address: 1268 Wild Rose Dr NE

Fax: _____

Palm Bay FL 32905

Email: MCCkitchens@gmail.com

V. OWNER AUTHORIZATION:*

The undersigned hereby affirms the following:

1. That I/we are the fee simple title owner/contract purchaser (circle one) of the property described in this application.
2. That I/we have read and understands the entire application and concurs with the request.
3. That I/we have appointed the Applicant to represent the application, and empowers the Applicant to accept any and all conditions of approval imposed by the Town of Melbourne Beach.

Signature: *Connor Scalise*

Date: 8-26-2025

Print Name: Connor Scalise

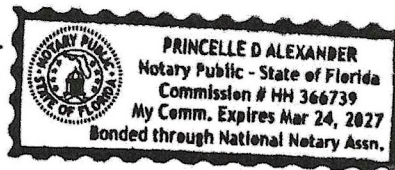
Title: Owner

*Must sign in front of notary.

State of Florida
County of Brevard.

The foregoing application is acknowledged before me this 26 day of August, 2025 by Connor Scalise who is/are personally known to me, or who has/have produced Personally Known as identification.

Princelle D Alexander
Signature of Notary Public, State of Florida



VI. APPLICANT CERTIFICATION:*

I/we affirm and certify that I/we understand and will comply with the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the application and support documents are fully complete and comply with the requirements of the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the statements and/or diagrams made on any paper or plans submitted here with are true to the best of my/our knowledge and belief that this application, attachments and application filing fees become part of the official public record of the Town of Melbourne Beach, Florida and are not returnable or refundable.

Under penalties of perjury, I/we declare that I/we have read the foregoing application and that to the best of my/our knowledge and belief the facts stated in the application are true.

Signature: [Handwritten Signature] Date: 9/2/25

Print Name: John Brannan Title: President

*Must sign in front of notary.

State of Florida
County of Brevard.

The foregoing application is acknowledged before me this 2nd day of SEPTEMBER 2025, by JOHN BRANNAN who is/are personally known to me, or who has/have produced F. DRIVER LIC as identification.

[Handwritten Signature]
Signature of Notary Public, State of Florida



VII. PROJECT DESCRIPTION:

Describe Application: Remodel existing home / add new garage

Provide attachment if more space is needed.

Describe Existing Conditions: 1957 home with 2909 total sq. ft.

Provide attachment if more space is needed.

Project Narrative

The following narrative provides the background and reasoning for our request for a setback variance to allow the construction of a new garage addition at our residence in Melbourne Beach, Florida. The existing home, originally constructed in the 1950s, does not conform to current setback standards as it sits today and presents multiple functional limitations that make it challenging for a modern family. To reach the main bedroom, one must pass through another bedroom on a different elevation, and the home's plumbing configuration is outdated, including a water heater drain line that runs directly through the main shower wall. These conditions have made the home increasingly impractical for everyday living.

In July 2024, we met with Kim Kotisfas, Building Assistant, and Robert Bitgood at the Melbourne Beach Town Hall to discuss potential renovation and improvement options for our property. During that meeting, we were informed that a new garage could be constructed at the front of the existing house, provided it was located within a 15-foot setback from Shannon Avenue. Based on this official guidance, we engaged a licensed architect and proceeded with the design development process, including floor plans and construction drawings that adhered to the information provided by Town representatives. Over the course of more than a year, we invested significant resources into design, planning, and coordination based on the understanding that a 15-foot setback would be acceptable for the garage location.

Recently, however, we were informed that the correct required setback from Shannon Avenue is 25 feet, not 15 feet. This updated information has placed our project in a position where the existing design, created in good faith and based on direction from Town staff, can no longer proceed as planned. The miscommunication has caused substantial financial and logistical setbacks, and this variance request is being made to allow our project to move forward consistently with the plans previously approved conceptually by the Town.

Additionally, Section 7A-50 of the Melbourne Beach Land Development Code (Off-Street Parking) requires that:

“(7) Single-family dwelling units. Enclosed parking space must be provided for at least two vehicles.”

The proposed garage addition is intended to bring the property into compliance with this section by providing enclosed parking for two vehicles, which the existing home currently lacks. Strict adherence to the 25-foot setback requirement would make compliance with this code section physically impossible, given the placement of the existing home on the lot.

Our goal is to update this home to meet modern family needs and to create a long-term residence designed with our growing family in mind. We currently have an infant and plan to add a nursery and additional space to accommodate more children in the future. The proposed

design reflects not just a renovation, but the development of our dream home — one that provides safety, functionality, and the ability to grow within our existing neighborhood.

The requested variance will not negatively impact adjacent properties, neighborhood character, or public welfare. The proposed garage maintains a compatible residential appearance consistent with other homes in the area, and its placement will improve property functionality while preserving aesthetics and safety standards. Granting this variance will allow the home to be modernized responsibly, comply with current off-street parking requirements, and serve as a safe and practical long-term residence for our family.

We respectfully request the approval of this variance to allow the garage to be constructed as originally designed, within the 15-foot setback from Shannon Avenue, thereby aligning the property with both functional needs and Town Code requirements.

CONCRETE SPECIFICATIONS:

- 1. The contractor shall verify all plan dimensions and confirm the foundation layout and staking with the site plan and setbacks before proceeding.
2. The contractor shall coordinate the work of all trades affected in or under the foundation before the placement concrete.
3. Excavating near or under existing foundations and footings, which disturbs the soil beneath the foundation/footing, shall not be permitted without prior approval of the engineer or architect.
4. All reinforced concrete work shall conform to the current codes of standard practice and those by the American Concrete Institute.
5. All foundations and slabs shall rest on clean, compacted, and terminate treated fill or undisturbed soil with a minimum soil bearing pressure of 2,500 p s f.
6. Provide terrace treatment in all areas of new construction and for any area of disturbed soil beneath the existing structure or any areas within 12" outside the new/existing structure which will be covered by concrete.
7. Concrete strength shall be at least 3,000 psi in compression at 28 days for foundations, slabs, columns, filled cells and tie beams.
8. Forms shall be set true and secure to the dimensions shown in the plans and shall not be removed until the proper strength is obtained. Contractor to verify all dimensions on site.
9. Slabs on grade shall be 4" minimum in thickness and reinforced with fibermesh or wire mesh as shown on the plan over a minimum 6 mil vapor barrier.
10. Vertical reinforcing in concrete columns or filled block cells shall be anchored with upset bars set in the concrete foundation and the vertical reinforcing lapped 45 diameters continuous to the steel in the tie beam.
11. Reinforcing shall be supported on concrete pads, bolts or dowels for columns and filled cells and shall be secured in place prior to pouring concrete. Use templates for setting anchor protrusions or column dowels/upbars.
12. Concrete for filled cells shall be poured or pumped in lifts not to exceed 8 ft. in height, and shall be consolidated at the time of placement, by rodding or vibrating. Provide knock-outs at the base of the block wall to allow for visual verification of completely filled cells.
13. Concrete slabs shall be finished level and true to the elevations or slopes given on the plans.

REINFORCING SPECIFICATIONS:

- 1. All reinforcing shall conform to the codes of standard practice and those adopted by the reinforcing steel institute, latest edition.
2. Reinforcing steel shall be deformed bars.
Structural Bars Minimum Clear Coverage
Footings (against exposed earth) 3 in
Footings (formed & exposed to earth) 2 in
Slabs (in contact with earth) 2 in
Pedestals (to ties) 2 in
Columns (to ties above grade) 1 1/2 in
Beams (to stirrups) 1 1/2 in

MASONRY SPECIFICATIONS:

- 1. All masonry & workmanship shall conform to codes of standard practice and those adopted by the National Concrete Masonry Institute's latest edition.
2. Contractor is responsible for ensuring that all masonry and concrete work is adequately braced to resist soil compaction, backfilling, wind loads and any other natural or construction generated forces during construction.
3. Concrete blocks and all other masonry units shall be modular in dimension and shall include all special shapes and sizes to complete the work as shown on the plans. Where used as the finish surface of exposed masonry walls, the units shall be full of surface defects.
4. Concrete masonry units shall be grade "N", type 1, in accordance with ASTM C90. Specifications for hollow load-bearing concrete masonry units with a minimum compressive strength of F'_{m} = 1,500 psi.
5. Mortar and grout shall be in accordance with ASTM C476, specifications for reinforced masonry mortar and grout with type M or S with a minimum compressive strength F'_{m} = 1,500 psi.
6. Horizontal reinforcement shall be placed 16" O C vertically and conform to ASTM A-B2 and be made of #9 wire with 3/16" diameter wire.
7. Vertical reinforcing in concrete masonry unit filled cells shall be at 48" o.c. max, unless noted otherwise, & anchored with upset bars set in concrete and dowels lapped 36 diameters and placed continuous to the top steel in the tie beam. Terminate vertical steel with ACI hooks 10" hook for #5 bars.
8. Unless noted otherwise, tie-beams shall be A) 2 courses of 8" knock-out block with a #5 bar in each. Each course fully grouted B) 8" x 16" poured concrete tie-beam with 2-#5's (top & bottom) #3 stirrups at 16" o.c. max.
9. Reinforcing bars shall conform to code, ASTM A618, GR 60. Detail, fabricate, and install reinforcing per ACI-318. All reinforcing steel (deformed bars) shall be free of any coating which will affect its bond to concrete.
10. Cells to be filled shall be cleared of all debris with a clean-out hole in the bottom block course.
11. At intersecting wall, 50% of the masonry shall be laid in an overlapping bonding pattern.
12. Note the filled cell locations on the plan. Vertical reinforcing is to be placed at these locations in new work and confirmed and / or filled in existing walls where shown or required by code. This includes where fill cells are shown in the existing structure and each side of all openings in the connecting wall.

WOOD FRAMING NOTES:

- 1. Wood construction shall conform to the A I T C National Design Specification and the In-Force Code.
2. Hurricane clips, joist hangers, beam hangers and other standard connections shall be adequate for loads. Metal exposed to the weather shall be hot-dipped galvanized. Connectors by "Simpson Strong Tie" approved equal.
3. Structural wood shall be stress graded #2 Southern Pine, Fb=1,400 psi, E=1,600,000 psi, MAX. M.C. = 1.9%, provide 1x3 wood or metal cross bridging between all joists.
4. All wood in contact with masonry or concrete shall be pressure treated or shall have moisture barrier protection. P.T. criteria Adequately suited for contact with galvanized steel connectors.
5. Bolts and screws shall be ASTM A-307. Standard 2"x2" washers shall be used between wood and bolt heads and nuts. Unless noted elsewhere on the plans.
6. Where beams are formed with two or more members, they shall be adequately fastened together throughout their length, and each member shall be full length wherever possible. Members are to lap 24" min where full length members are not possible or practical.
7. Joists shall be adequately supported at their ends by solid blocking, strapping, or other means to prevent rotation.
8. Stud walls shall be 2x and set at 16" O.C. unless otherwise noted. Stud walls shall be #2 Southern Pine and or construction grade spruce, or metal studs equal to wood. Provide proper blocking in stud walls at mid point or as required by code.
9. Double studs shall be provided at each end of beams, and each side of openings up to 4'-0" in width. Provide triple studs at each side of opening, up to 7'-0" in width unless otherwise noted.
10. Adequate bracing shall be provided during construction to resist wind and construction loads.
11. Nail 5/8" x 4" ply CDX roofing plywood to all supports with 8d ring-shank nails at 4 inches on center at all plywood edges and 4 inches on center at all intermediate framing members at exposures B & C. Nail at 3" & 4" in exposure D.
12. Parallam/ LVL lumber as manufactured by the "Truss-Joist" Corp., or approved equal, with minimum design properties per manufacturer or as follows:
a. Fb=2,800 psi, E=2,000,000 psi
b. Fv=285 psi, Fc (perp)=500 psi

- 13. Multiple "parallams" or "LVLS" shall be fastened together with 2 rows, staggered, of 16d nails at 12 inches on center. Bearing to be on multiple studs or columns as shown in the construction documents. Verify minimum standards with the mfc.
14. Wood members shall be securely fastened per the construction documents or the FBC fastening schedule.
15. The framing contractor shall coordinate his work with other contractors whose work touches or is affected by his work.
16. Where not specified framing shall be connected per current FBC.
17. Wood finishes at the exterior shall be as selected by owner, approved by the architect, and shall provide proper protection from the elements.
18. All interior exposed trim, trusses, columns, beams, and other exposed materials shall be SYP or better (clear). Materials and surfaces shall be protected or prepared to receive a clear, natural finish.
19. All exposed exterior materials, such as beams, columns, & trim, shall be SYP or better and shall be free of large or loose knots or other defects. The material shall be surfaced on all four sides.

TRUSS SPECIFICATIONS:

- 1. The wood trusses shall be sized and detailed to fit the dimensions and loads specified in these plans. All designs shall be in accordance with the allowable values and section properties assigned and approved by all applicable codes.
2. Sealed verification of the trusses by a licensed structural engineer in the state of Florida is to be submitted to the architect for confirmation of the configuration and loading per the wind load specification. Also interconnecting anchorage between the truss members supplied by the fabricator shall be provided with the truss layout and the individual member shop drawings to the architect prior to fabrication and shipping of the trusses to the site.
3. Bridging perpendicular to the span of the trusses shall be specified and provided as required by the truss manufacturer.
4. The design of metal plate connected roof trusses shall comply with:
a. The NFPA's national design specification for the design of lumber and its fastening.
b. The truss plate institute's design specs for light plate metal connected roof trusses.
c. The standard building code.

- 5. Where roof plywood is not permanently attached to the top chord of the truss, provide continuous 2x4 blocking at 4' O C perpendicular to the top chord. Where a ridge occurs at the top or bottom of the trusses, provide continuous 2x4 blocking perpendicular to the bottom chord.
6. Brace all trusses during construction until all bridging, cross bracing, and sheathing is secured. Also provide the necessary temporary anchorage for all trusses until the connectors are fastened for loading in all directions.

DOOR & WINDOW NOTES:

- 1. Install all doors and windows per code & MFC specifications. Confirm all rough opening sizes with the MFC prior to construction of the opening. Sub-contractors shall verify all window & door rough opening sizes with the GC prior to commencement of work.
2. Install impact resistant windows & door systems or code approved hurricane protection at all openings. Provide Building Department with MFC specs and installation requirements.
3. All operable windows are to have screens.
4. Use clear glass in doors and windows unless noted otherwise on the plans.

- 5. Use tempered or safety glass where noted on the plans and/or required by code. FBC R308.4
6. Exterior doors are to be solid core or be insulated and have a U-factor of 0.40 or less.
7. Doors between conditioned space and the garage shall be 1-3/8" min solid core or 1-3/8" min solid core or honey comb metal, or 20 minute label.
PLUMBING NOTES:

- 1. All plumbing work shall conform to the latest requirements of the in-force plumbing code and local, state and county health regulations.
2. The system is to be connected to the City/County sewer or an on-site septic system. The contractor shall get Health Department and/or Building Department approvals and permits as required prior to permitting of the project.

- 3. Plumbing contractor shall be responsible for all cutting and patching where his equipment passes through existing walls, floors, roofs, etc.
4. All water lines shall be supported rigidly and shall follow the building structure where possible.
5. Purge and sanitize water lines before final connection.
6. Test all systems in accordance with in-force building code.
7. All fixtures shall have shut-off valves at or near each fixture and a house valve at the service entrance.
8. All water and waste piping shall be PVC of type, size required and installed as per MFC specifications and the code.
9. Plumbing systems shall be complete and operate in accordance with accepted standards.
10. All plumbing fixtures which are removed or relocated should be appropriately capped below the slab.
11. Confirm or install an expansion tank on existing hot water heaters.
12. "Instant hot" hot water generators (optional) may be installed in lieu of or in addition to the traditional hot water heater. Verify additional electric needs with the electrician.
13. Shower construction receptors and lining per code Sec. P2709.
14. Provide recessed hot & cold water with drain at washing machine space.
15. Provide cold water line, as needed, for ice maker at refrigerator.

ELECTRICAL NOTES:

- 1. Electrical work shall be in accordance with the Electrical Code, National Electric Code and all other applicable codes for construction (Federal, State and Local).
2. Coordinate electrical work with local power company if needed.
3. Electrician is to supply electric load cales and panel schedule, if required by the city or county, prior to the time of permit submittal.
4. Coordinate telephone, computer, and media related wiring and equipment with the local phone and/or cable company.
5. Contractor is to verify the size, location, & condition of electrical systems prior to construction.
6. Electrical contractor to verify all equipment loads. Notify architect of any changes or conditions found not to be as shown on the plans.

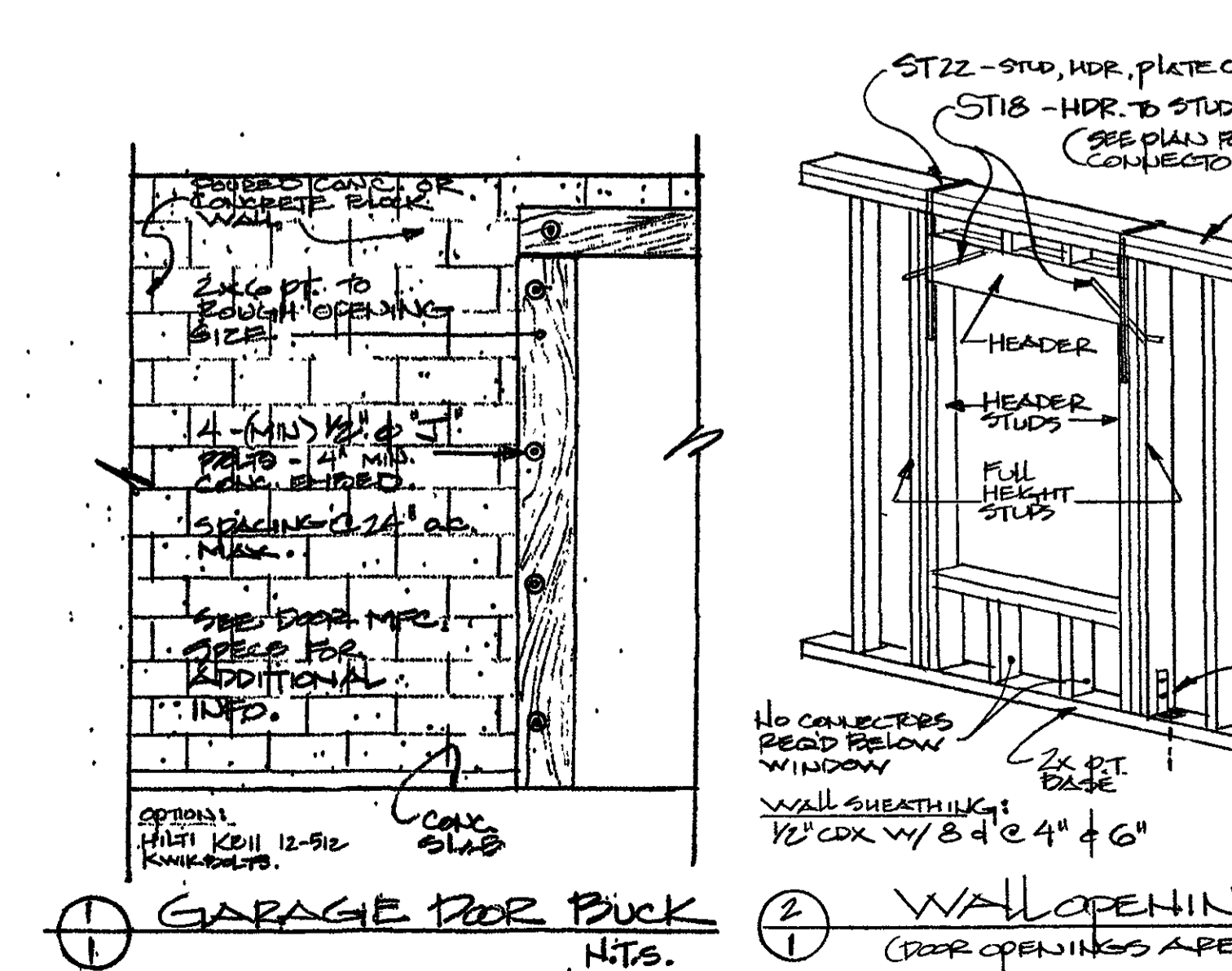
- 7. The electrical contractor shall coordinate his work with other contractors / subs whose work touches or is affected by his work.
8. The electrical contractor shall be responsible for checking the shop drawings and MFC specifications of all equipment to obtain the exact location for the rough-in, the proper connections and any special electrical requirements.
9. The electrical contractor shall be responsible for cutting & patching where his equipment passes through walls, roofs, floors, etc.

- 10. Circuit breakers or blanks shall be installed in any unused spaces in the panel. The directory card shall be typed to reflect the final as-built configuration. The electrical contractor is responsible for panel schedules & load cales.
11. At the time of final inspection, all equipment & fixtures shall be complete & operational, clean & free of defects.
12. Telephone, cable TV, computer/media, switches, fixtures, and receptacles are to be located per plan or per the owner.
13. New wall receptacles shall be installed approximately 12 inches AFF & wall switches @ 48" AFF.
14. GFCI receptacles shall be installed where shown and/or required by current code.
15. All branch circuits where outlets are installed in habitable rooms, dens, closets, hallways, and similar rooms shall be protected by AFCI per current in-force NEC.
16. In all areas specified in the NEC, all 125 volt, 15 & 20 amp receptacles shall be listed tamper resistant.

- 17. The electrical contractor shall furnish and install all disconnects, wiring, etc. to all electrical equipment unless otherwise noted.
18. Light fixtures (inclusive of lamps) and fans shall be as selected by the owner.
19. Smoke and CO2 alarms shall be installed in all bedrooms and the areas directly leading to the bedrooms. Alarms are to be hardwired and interconnected per code.
20. Contractor shall visit the site prior to bidding for field inspection and project coordination.
21. Electrician to field verify all existing conditions and equipment in renovations and additions.
22. Under eave receptacles (optional) are to be located per plan or per owner.
23. Landscape lighting is optional per owner.

HVAC NOTES:

- 1. All heating, ventilation and air conditioning work shall conform strictly to the mechanical code and all local ordinances that apply.
2. All duct work shall conform to the latest edition of the ASHRAE standard for low pressure duct work.
3. The air conditioning sub-contractor shall supply, to the Building Department, energy, heat load, & Manual J/S calculations along with equipment and duct sizes and layouts when the plans are being submitted for permitting.
4. Contractor is to site verify condition & size of existing equipment in renovations and additions, A/C, heat, compressor, supply air & return air ducts and grills.
5. HVAC systems shall be complete and operate in such a manner as to adequately heat and air condition in accordance with accepted industry standards.
6. All ductwork shall be suspended or secured according to good practice. Ductwork in attics or other non-conditioned areas shall have a min of R-8 insulation. Ducts in conditioned spaces may have R-6 minimum insulation.
7. All A/C grills and diffusers shall be sized properly to provide a noise level in the N.C. 25 range.
8. Contractor shall test and balance system.
9. Return air grills shall be properly sized, filter back type and shall be readily accessible.
10. All A/C grills and diffusers shall have volume dampers.
11. A programmable thermostat is to be verified or installed per code.
12. Air & heating systems shall have a minimum of 14 SEER/8.2 HSPF. Unless noted otherwise on the plans.
13. If mini-split systems are used, the GC/owner-builder shall provide the Building Department with all MFC specifications, output power & size, and install instructions.
14. Anchor the condenser unit to the slab per current code.



CRITERIA for WIND DESIGN:

8th Edition (2023) Florida Building Code - Residential

- 1) Exposure category "D" - 160 mph (7-20 deg roof angle)
2) "Low rise" Building (enclosed)
Max roof ht. = +/- 12'-6", Mean ht = +/- 15'-6"
Roof slope <= 12
3) Importance Factor = 1.0
4) Wind Direction All
5) Height and Exposure adjustment coefficient 1.47 @ 15'-0" mean
6) Category II
7) Internal Pressure Coefficient = 18

WIND PRESSURES for DESIGN:

The following loads in PSF include all applicable factors

A. Wind Uplift Forces (V_{as}) - table R802.1-9

Table with columns for Roof span in ft., 10 sf, and 20 sf. Rows for Zone 1, 2, 3, 4, 5.

B. Roof and wall component loads (V_{wd}) - table R301.2(2)

Table with columns for Zone 1, 2, 3, 4, 5 and values for 10 sf and 20 sf.

C. Garage Door loads (V_{a}) - table R301.2(4)

16' x 8', 36.4/40.6

Attic Ventilation:

Square footage of roof including overhangs = 4417 SF (4417 SF = 636,048 Sq In.)
Required minimum venting = 1/300 of attic area = 636,048 / 300 = 2,120 Sq In.
Therefore 1060 Sq In is required within 36" of the roof ridge and 1060 Sq In is required in the vented soffits.

Provide: (7) min., 48" long (minimum) off ridge vents = 167 Sq In each (7 x 167 = 1169) OK
OR
(1) min., 48" long (minimum) off ridge vents = 167 Sq In each (1 x 167 = 167)

56 linear feet of ridge vent @ 18 Sq In per 12" (56' x 18 = 1008)
(167 + 1008 = 1175) OK

-306 linear feet of 24" wide vented soffit. OK.

No roof or soffit venting is allowed if spray foam insulation is used in the attic spaces.

* For BIDDING:
TOP OF EXTERIOR DOORS & WINDOWS ARE SHOWN AT 6'-8" HT. EXISTING WINDOWS & EXT. DOORS ARE 6'-8" HT. UNLESS NOTED OTHERWISE.

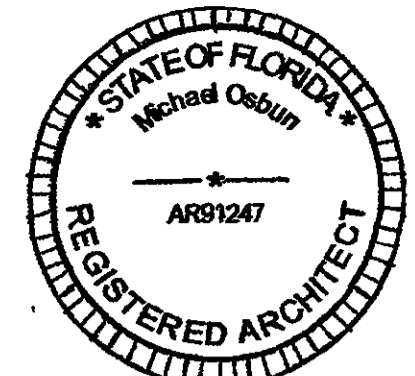
WINDOW SCHEDULE

Table with columns: No, Description, Nominal Size (area), Zone, Min Pos Pressure (psf), Min Neg Pressure (psf), Comments, Lintels/Headers. Rows A through T.

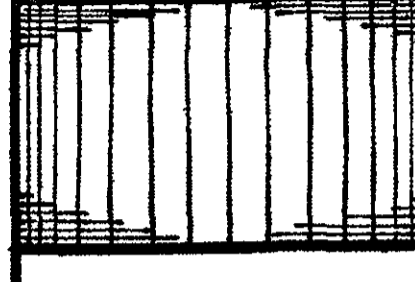
DOOR SCHEDULE

Table with columns: No, Description, Size (area), Zone, Pos Pressure (p), Neg Pressure (p), Comments, Lintels/Headers. Rows 1 through 11.

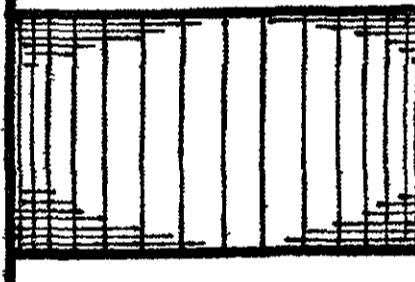
All new windows and exterior doors are to be Impact Rated or have code approved shutters. Verify all rough opening sizes, both new (on plans) and existing (in the field), prior to the purchase of new or replacement windows and/or doors. See building elevations for additional information. Also see the "Door & Window Notes" in the specifications in this set. Typical window call-out 3650 indicates a 3'-6" wide x 5'-0" tall nominal window. Typical door call-out 3068 indicates a 3'-0" x 6'-8" door. HR indicates a horizontal rolling window. SH indicates a single hung window. DH indicates a double hung window.



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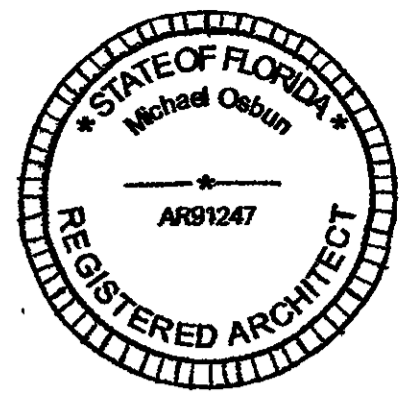
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482 St. Johns Dr., Satellite Beach, FL 32937



A Renovation & Addition for:
Victoria & Conner Scalise
200 Shannon Ave.
Melbourne Beach, FL 32951

Revisions table with columns: Revisions, By.





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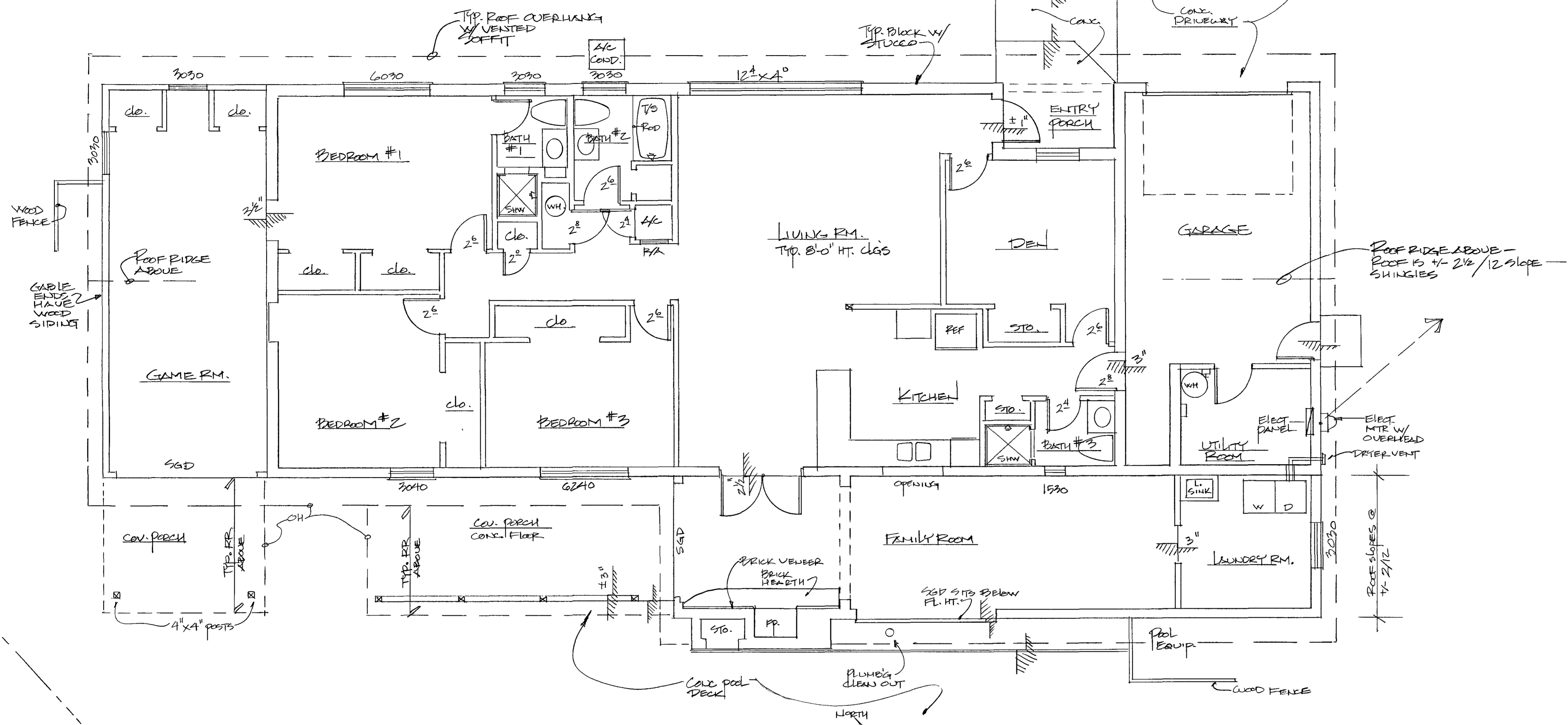
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A Renovation & Addition for:
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Melbourne Beach, FL 32951

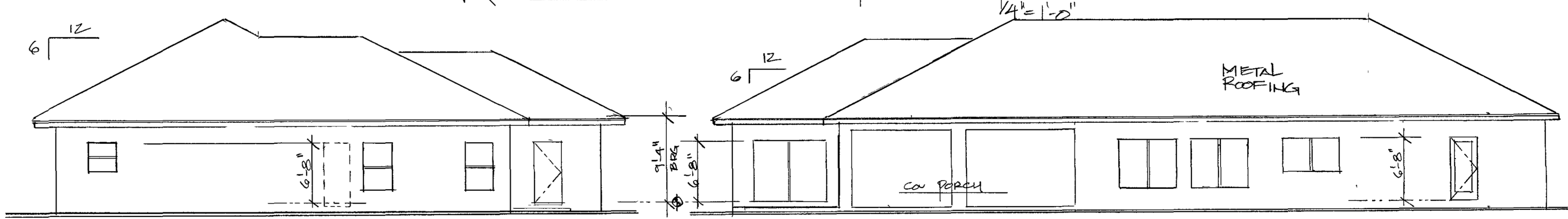
Revisions	By

7/28/25

1/21/24
2 of 6
SCALISE
24-696d
Job No

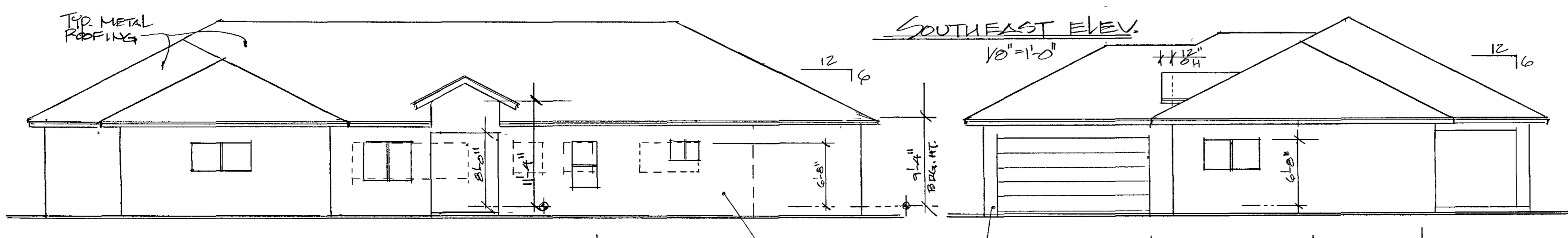


EXISTING FLOOR PLAN



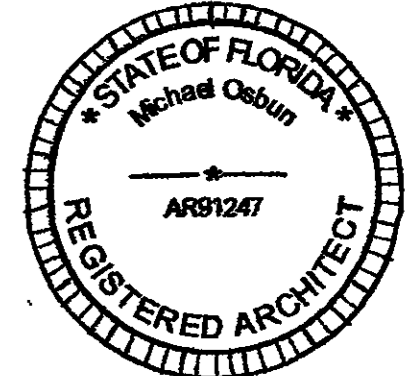
SOUTHEAST ELEV.

SOUTHWEST ELEVATION



NORTHEAST ELEVATION

NORTHWEST ELEVATION

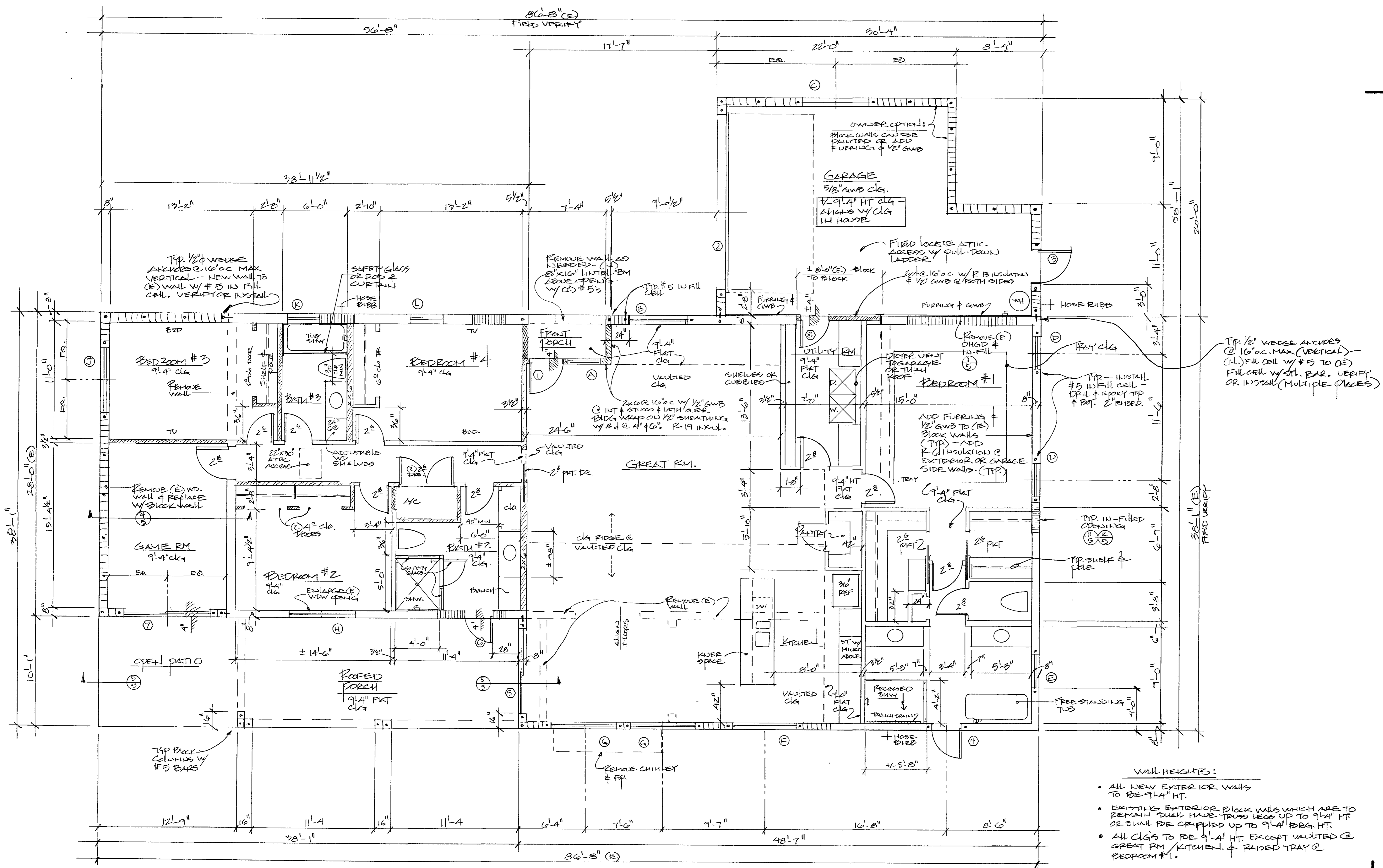
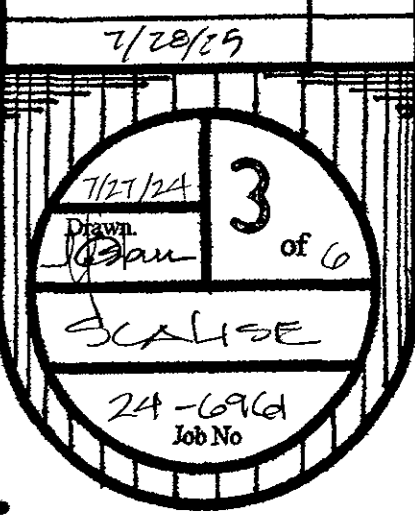


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A Renovation & Addition for:
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200 Shannon Ave.
Melbourne Beach, FL 32951

Revisions	By



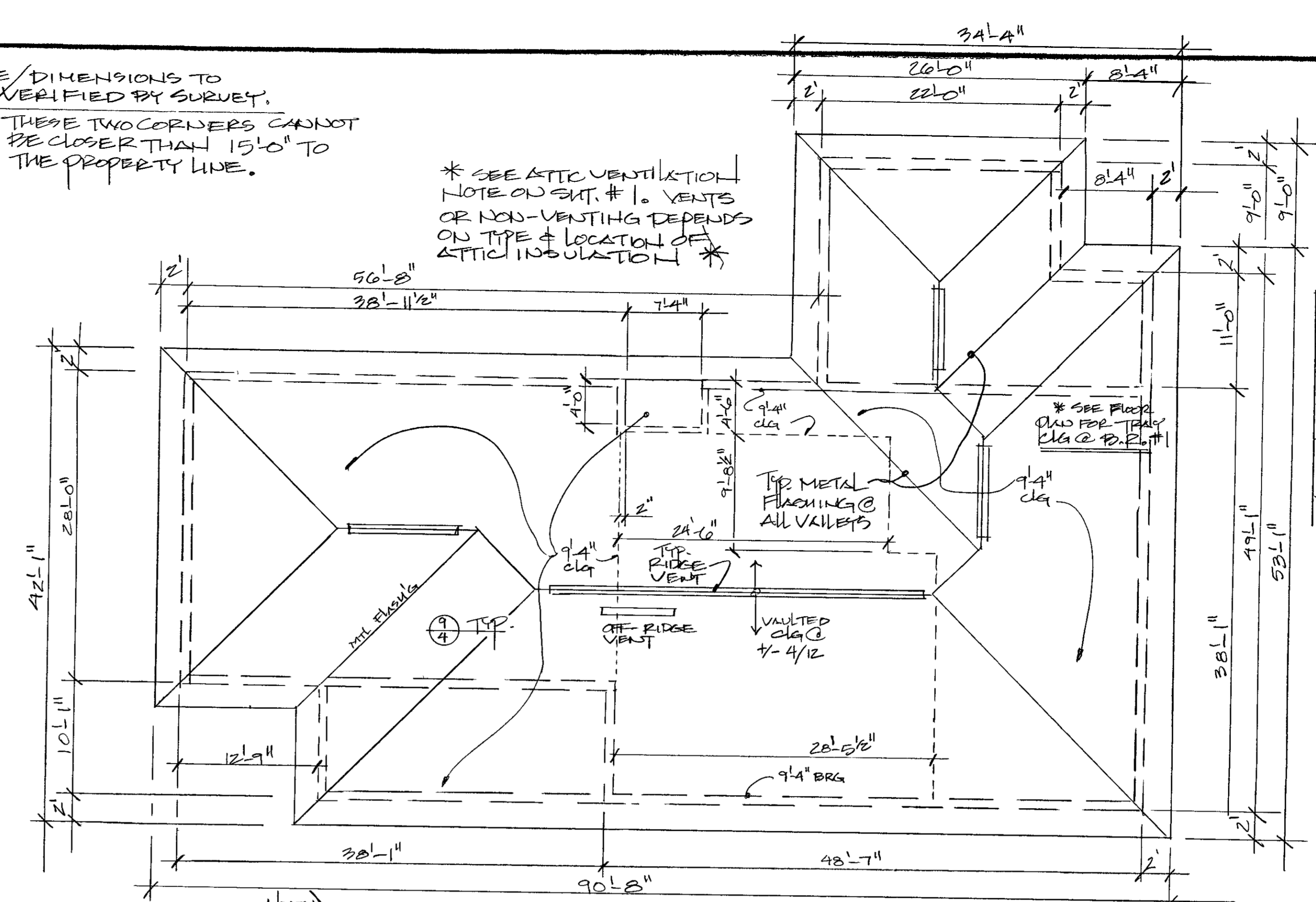
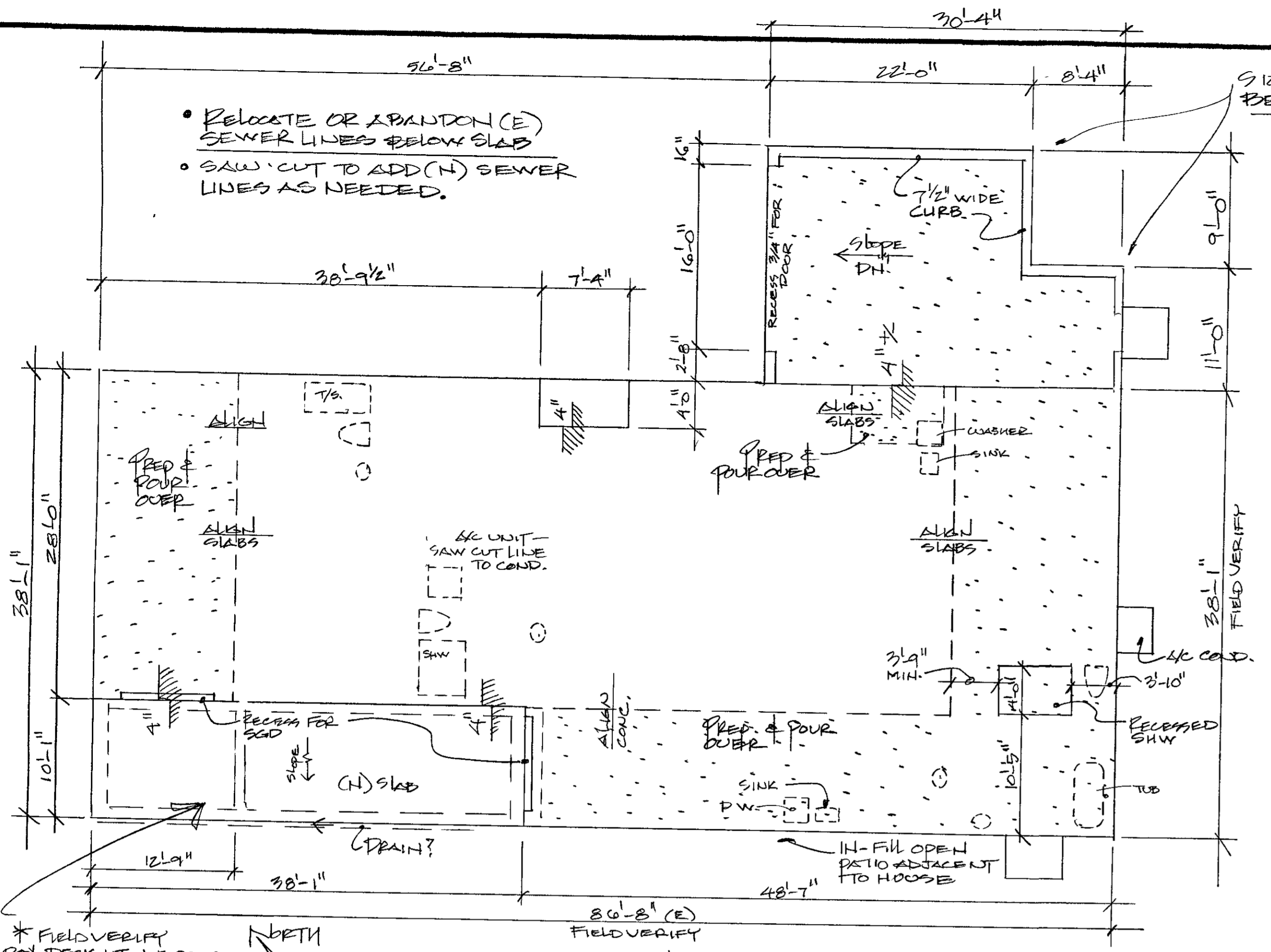
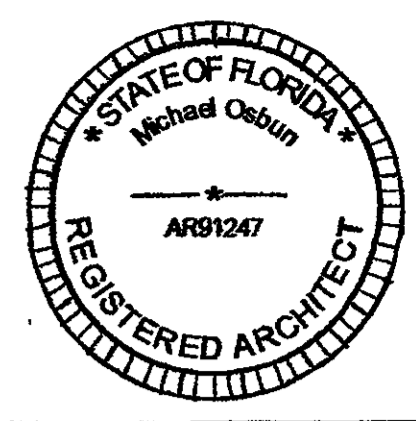
- WALL HEIGHTS:**
- ALL NEW EXTERIOR WALLS TO BE 9'-4" HT.
 - EXISTING EXTERIOR BLOCK WALLS WHICH ARE TO REMAIN SHALL HAVE TRUSS LEGS UP TO 9'-4" HT OR SHALL BE CRIPPED UP TO 9'-4" BRG. HT.
 - ALL CLG'S TO BE 9'-4" HT. EXCEPT VAULTED @ GREAT RM / KITCHEN. & RAISED TRAY @ BEDROOM #1.

REVISED FLOOR PLAN

- INSULATE ALL INTERIOR WALLS FOR SOUND.
- A/C & DUCT SIZING, LAYOUTS, ETC., BY OTHERS.

1/4" = 1'-0"

1 bath



HURRICANE CONNECTORS:
TOP TRUSS TO (N) BLOCK WALLS / LINTEL BMS W/ METAZOS.
UNLESS NOTED OTHERWISE.
ALSO SEE SHT. # 5 FOR CONNECTOR LIST.

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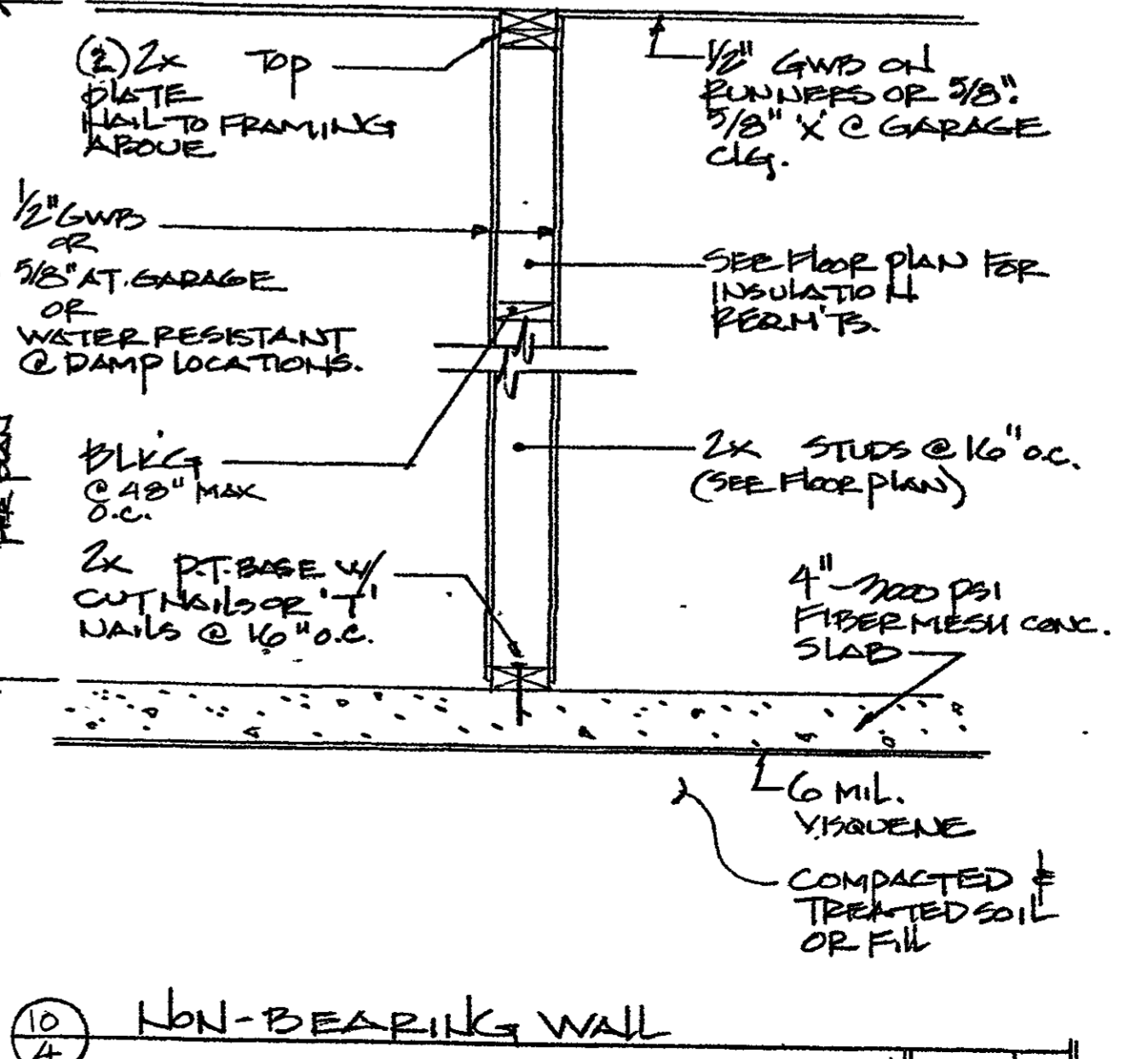
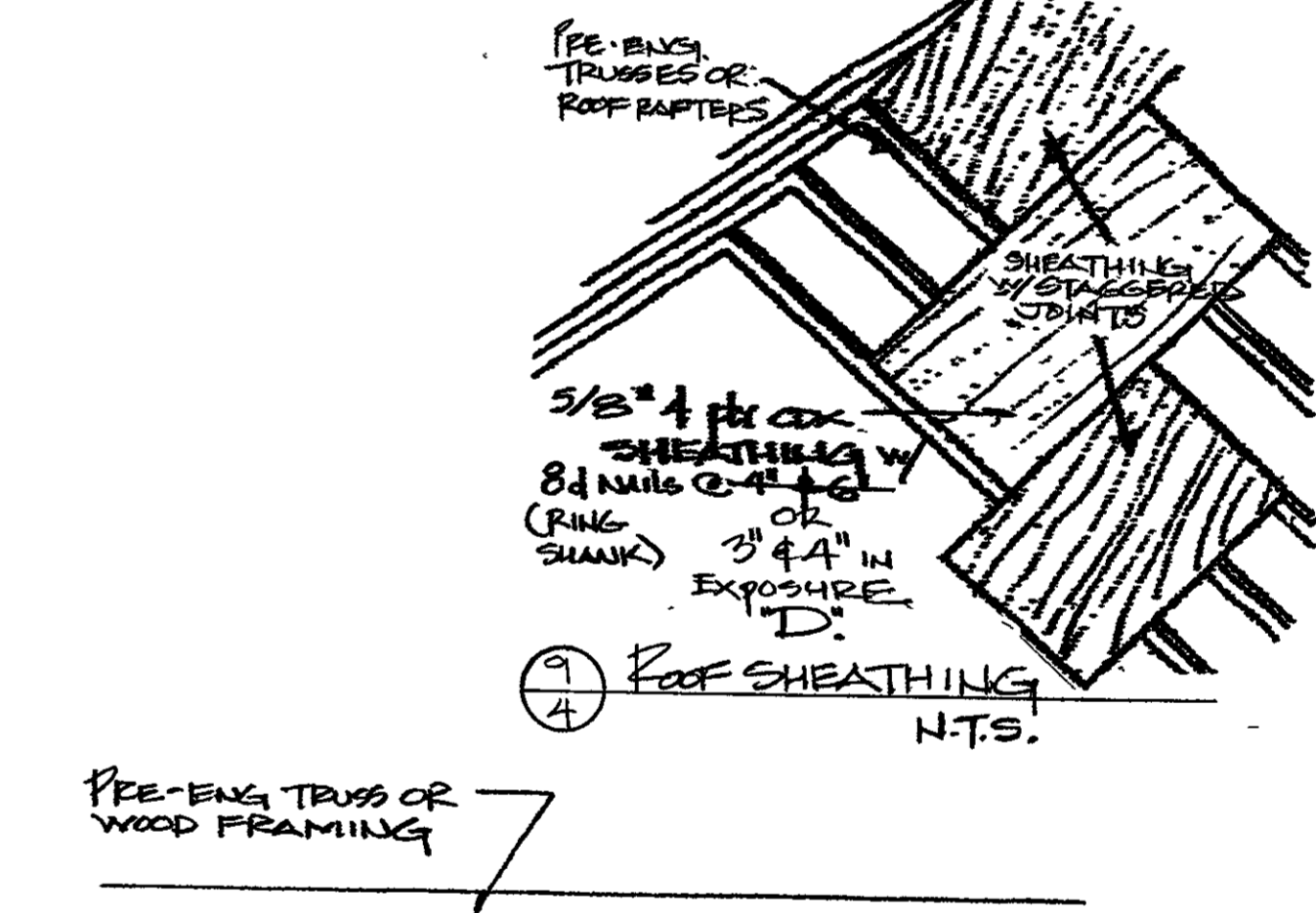
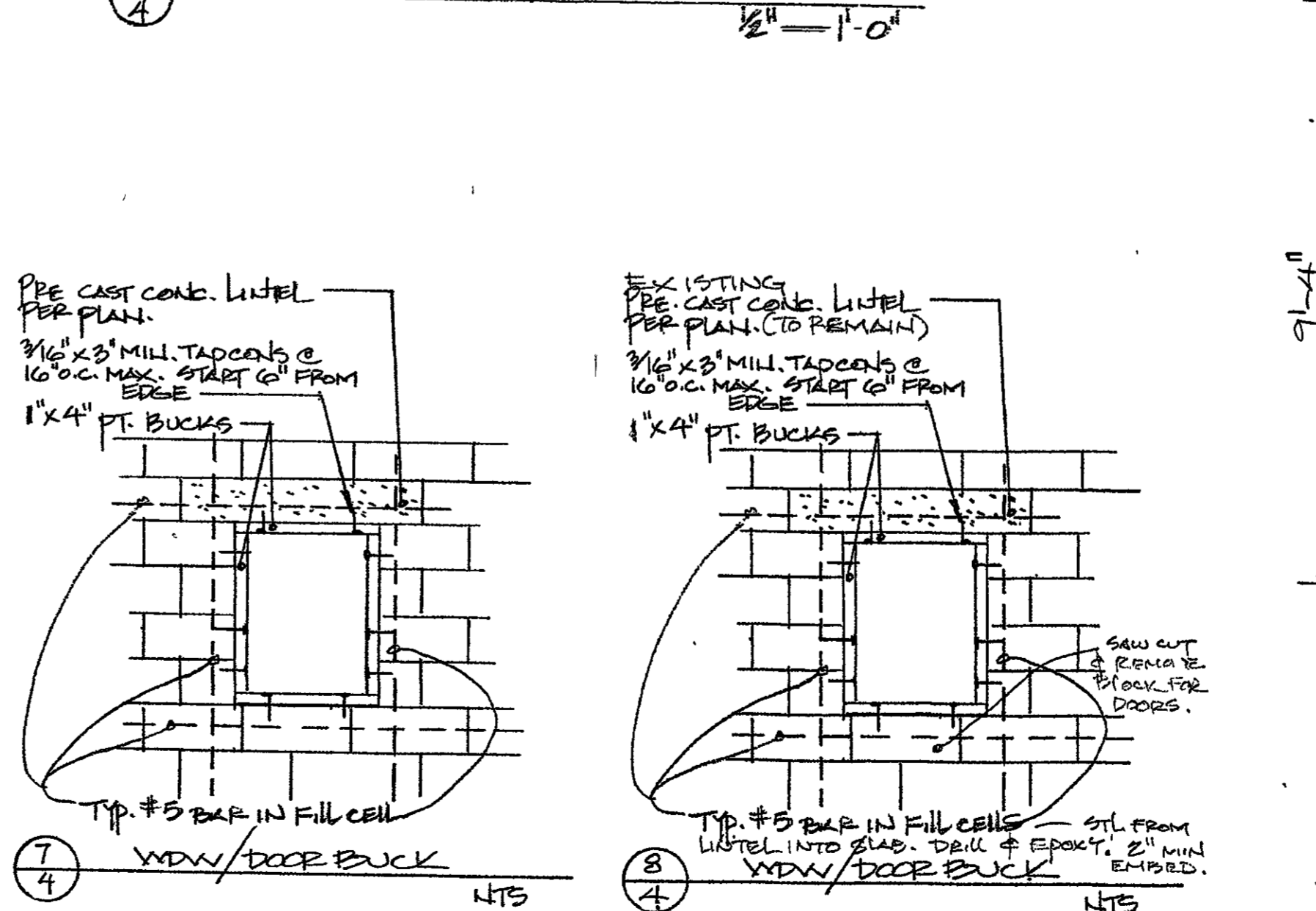
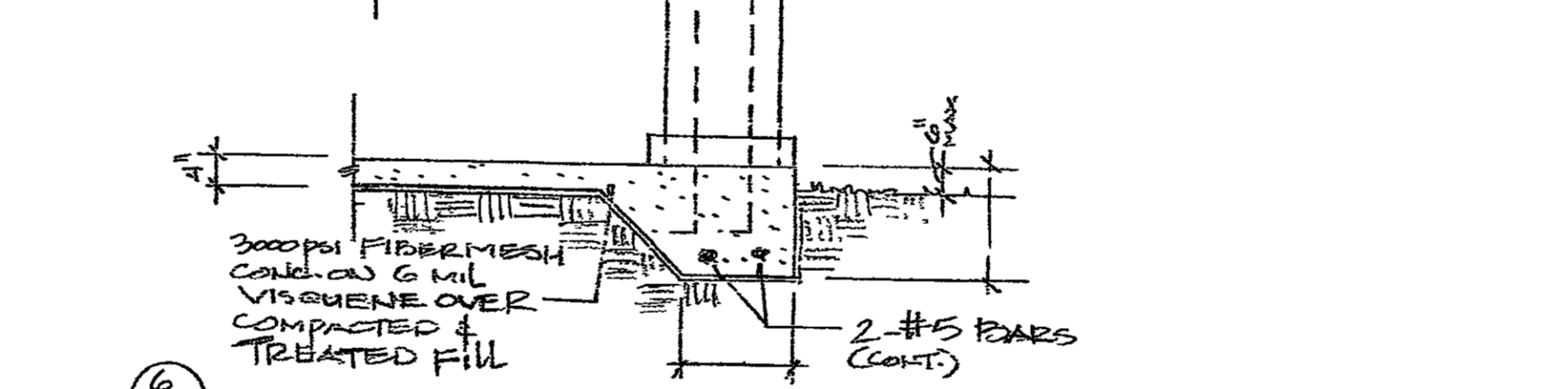
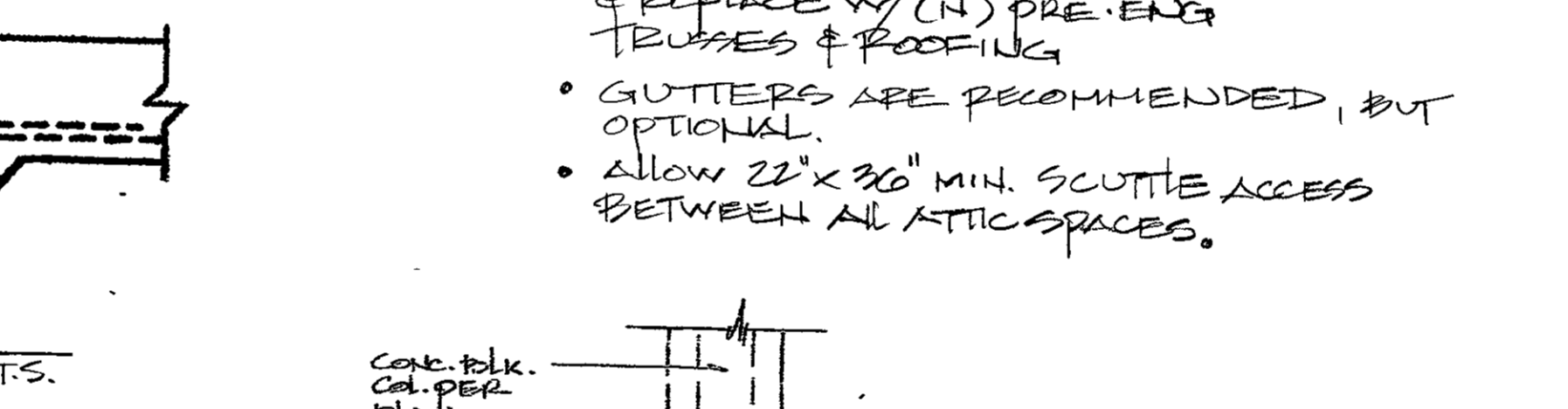
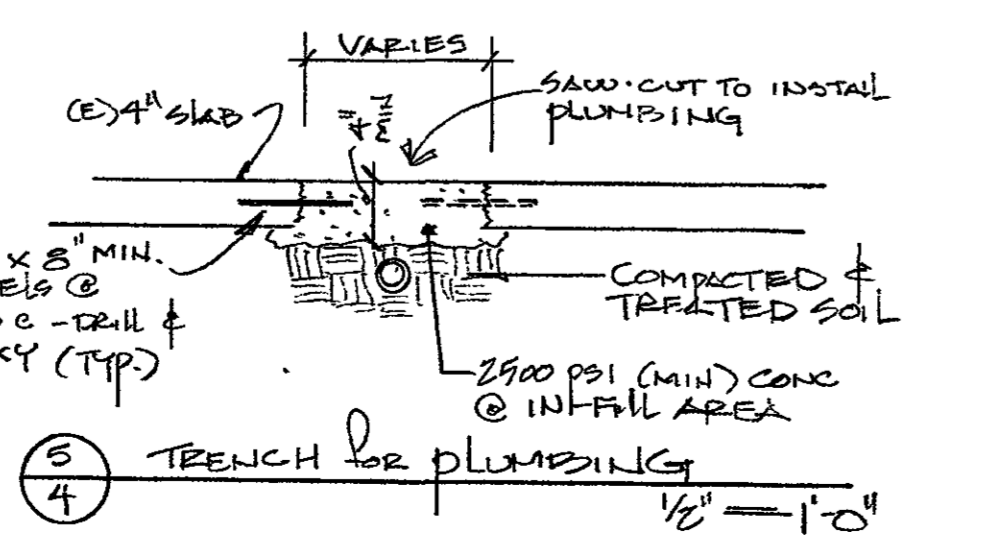
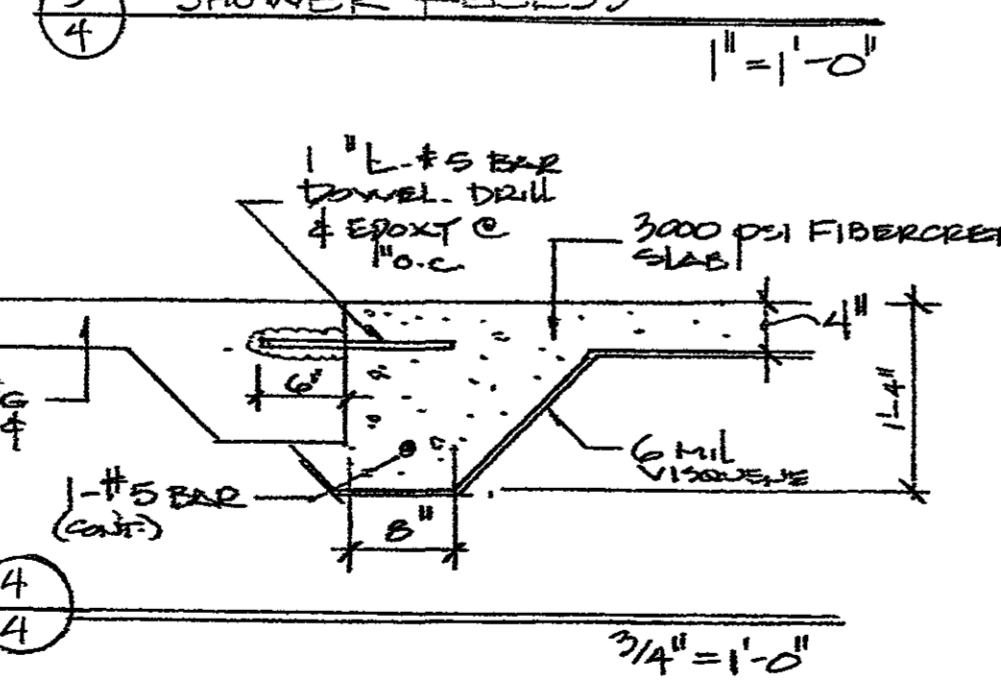
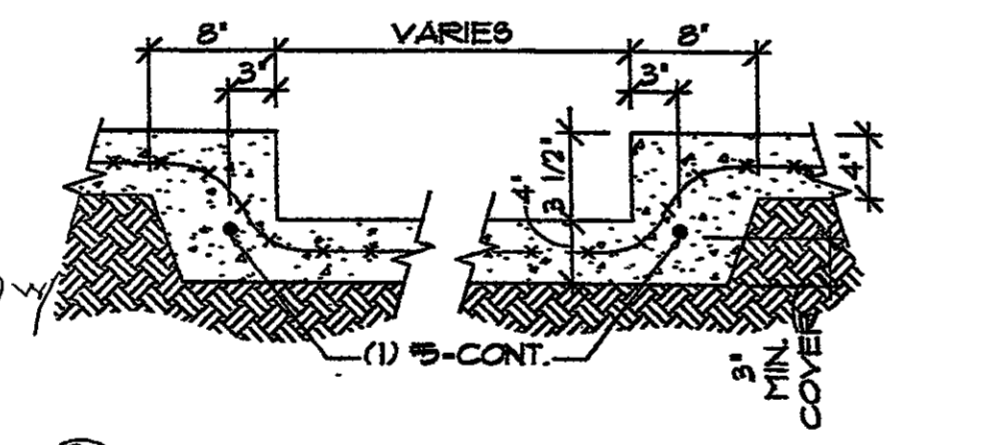
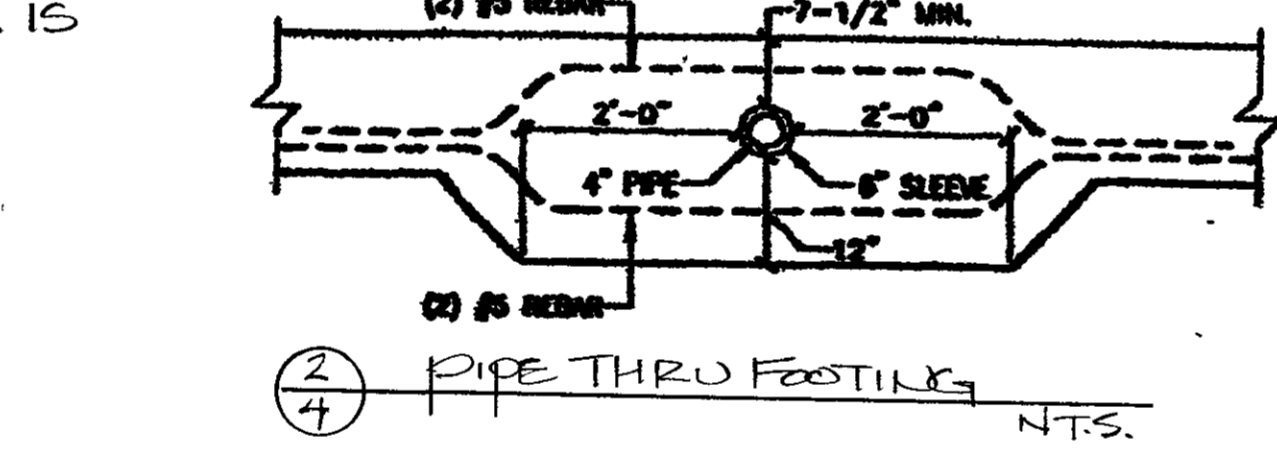
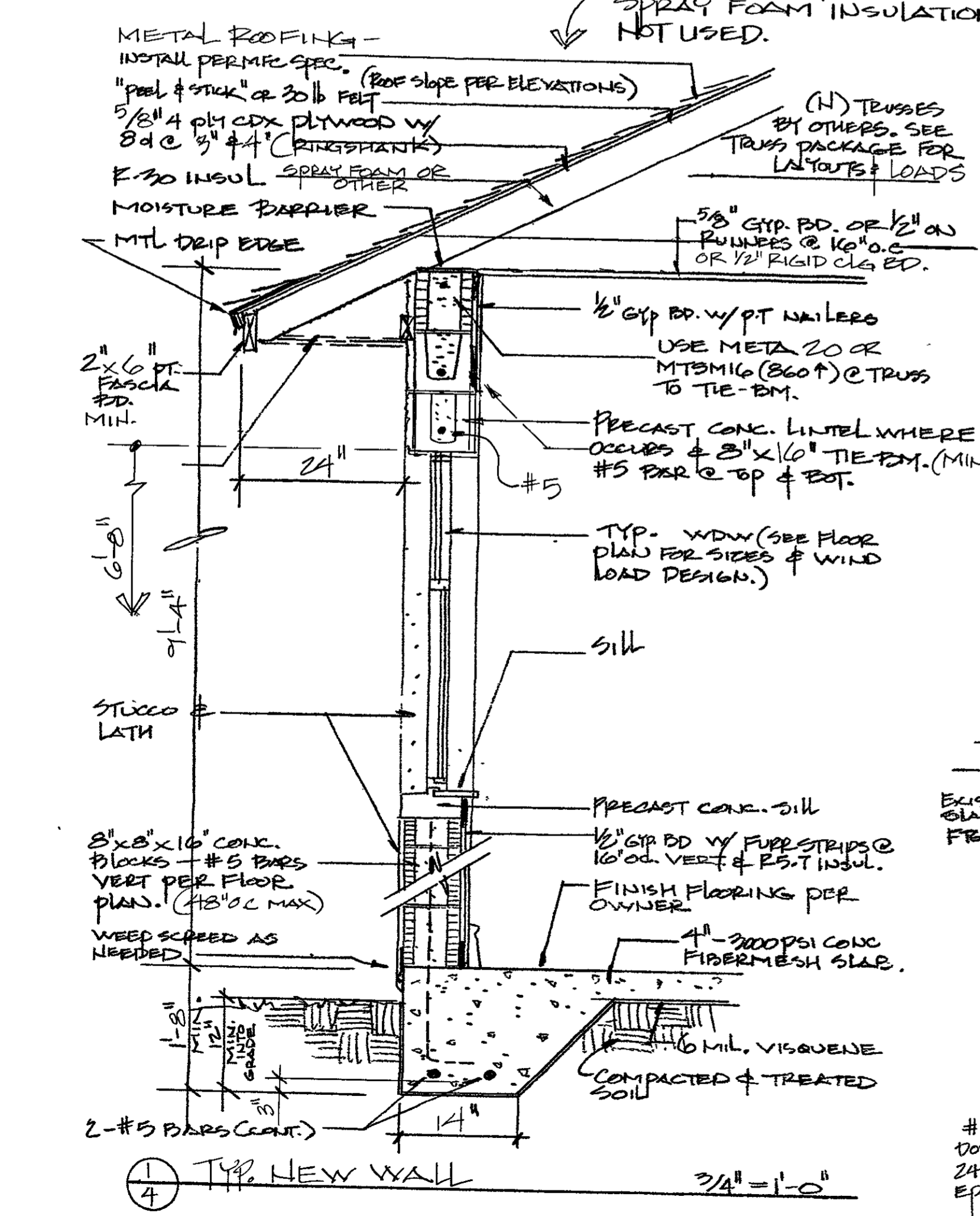
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A Renovation & Addition for:
Victoria & Conner Scalise
200 Shannon Ave.
Melbourne Beach, FL 32951

* FIELD VERIFY POOL DECK HT. VERSUS CONCRETE SLAB HT. ADD LARGE TRENCH DRAIN AS NEEDED *

FOUNDATION
1/8" = 1'-0"

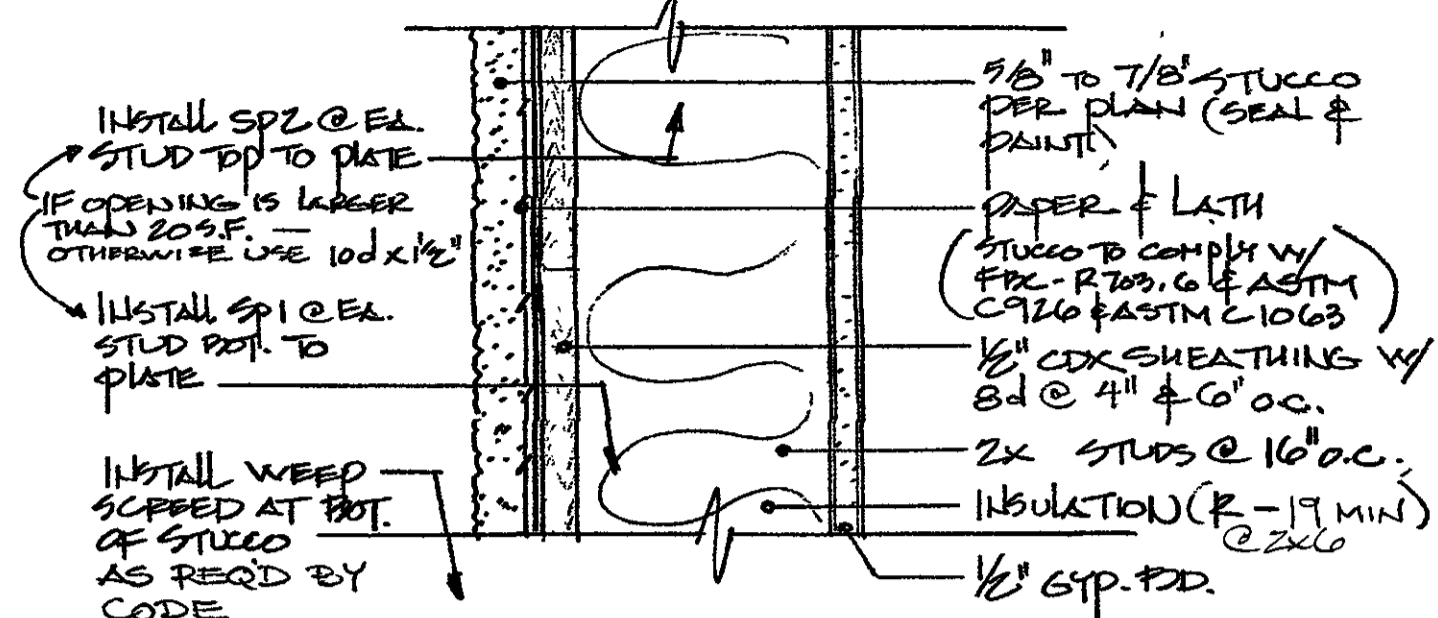
ROOF PLAN
1/8" = 1'-0"



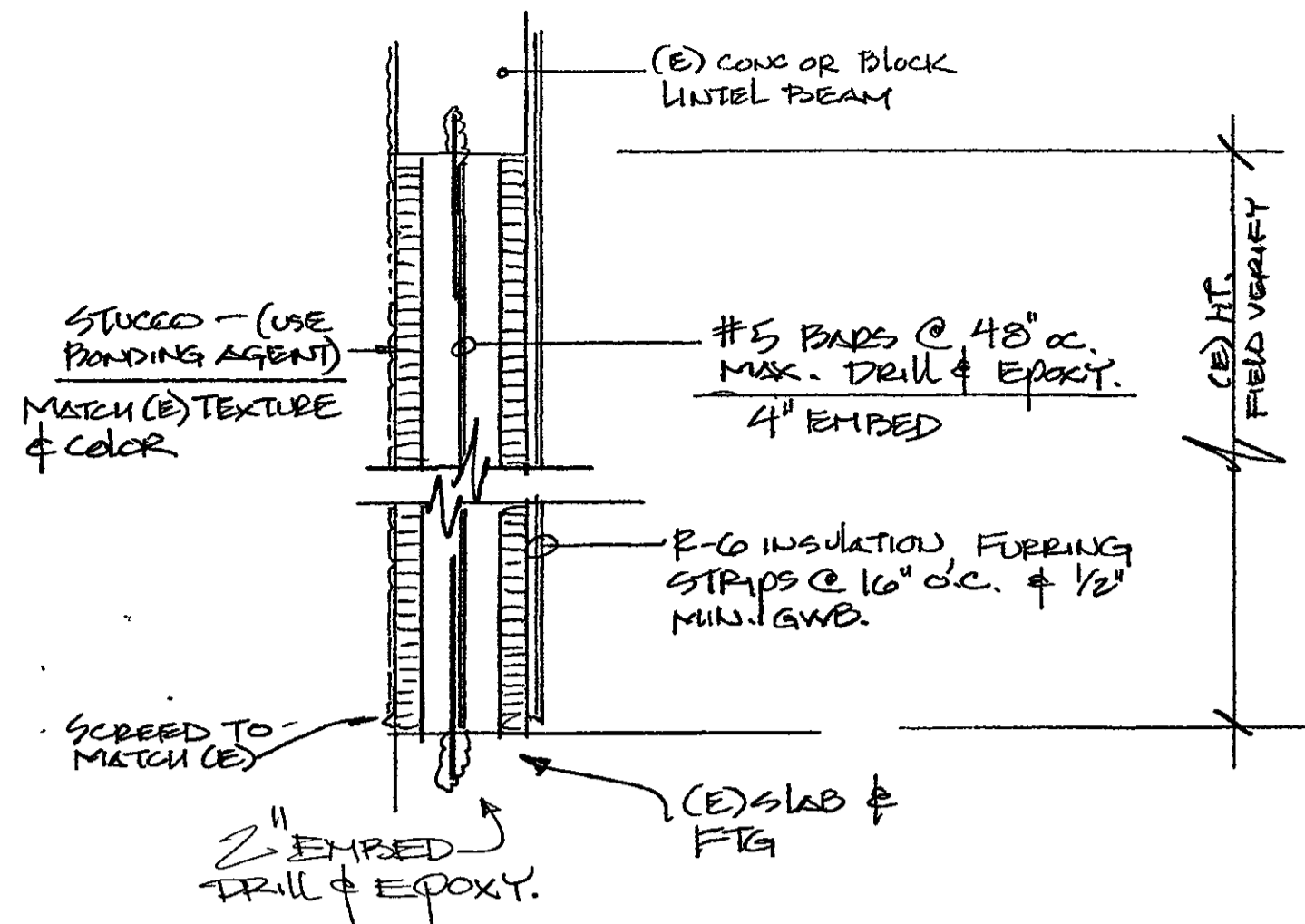
Revisions	By
1/20/25	OSBURN
4	OSBURN
24-6761	Job No

EXT. IN-FILL WALLS

ANCHOR TOP & BOTTOM PLATES & 1st STUD AGAINST SIDE WALLS TO CONC. SLAB. LINTEL FR. OR POURED BLOCK SIDE WALL W/ 3/8" (MIN.) TAPCONS OR RED HEADS @ 16" O.C.

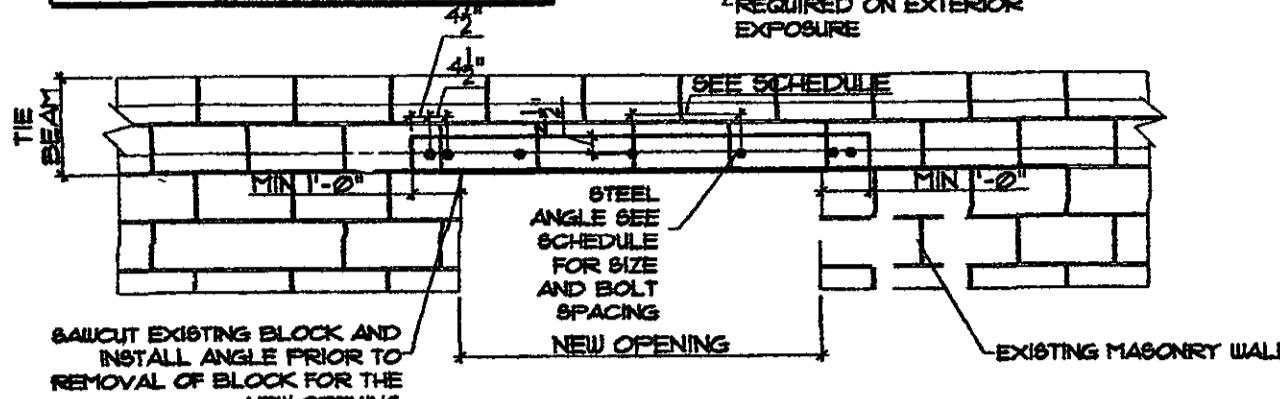


1 EXTERIOR WALL (WOOD IN-FILL OPTION) 3/8" = 1'-0"

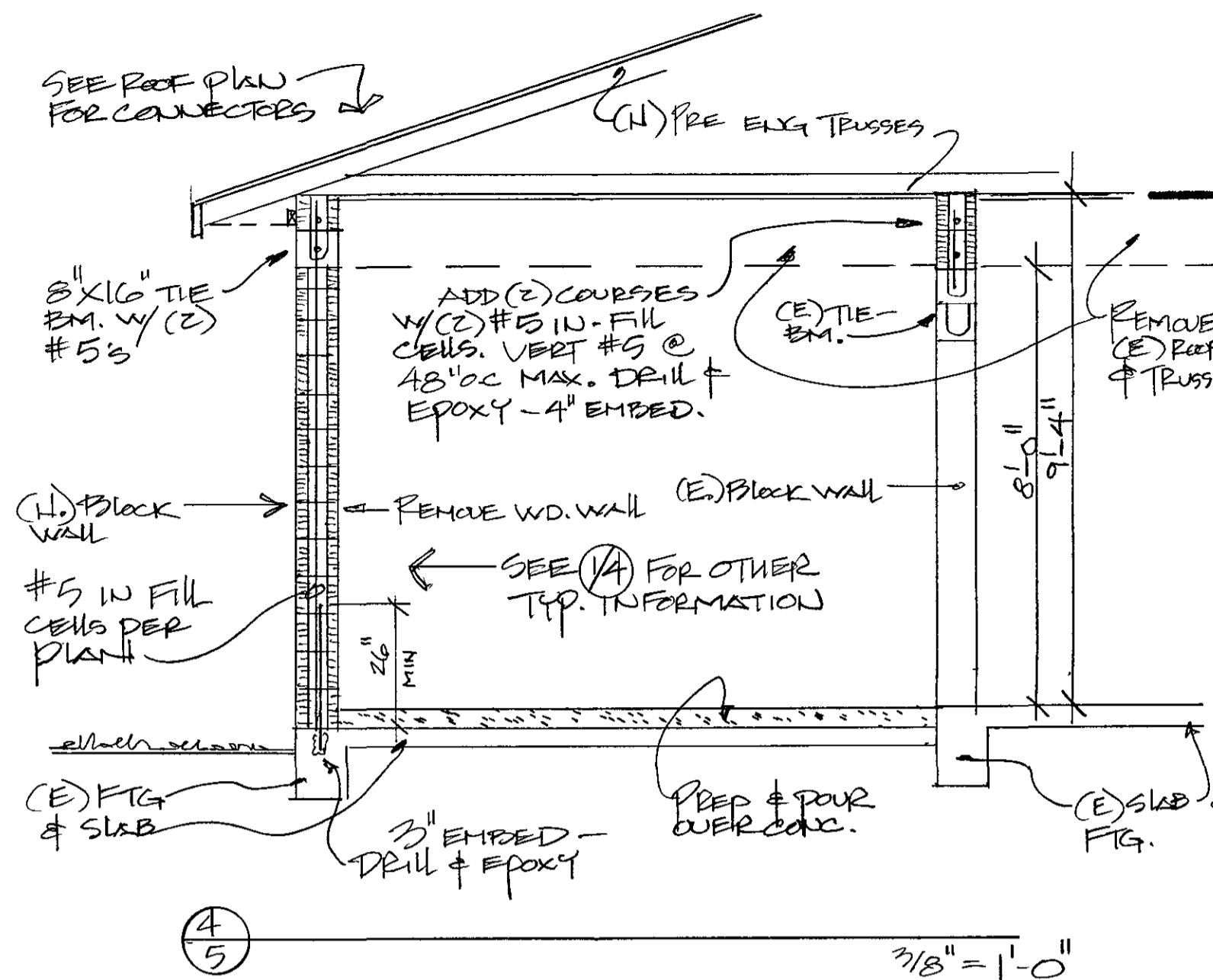


2 1" = 1'-0"

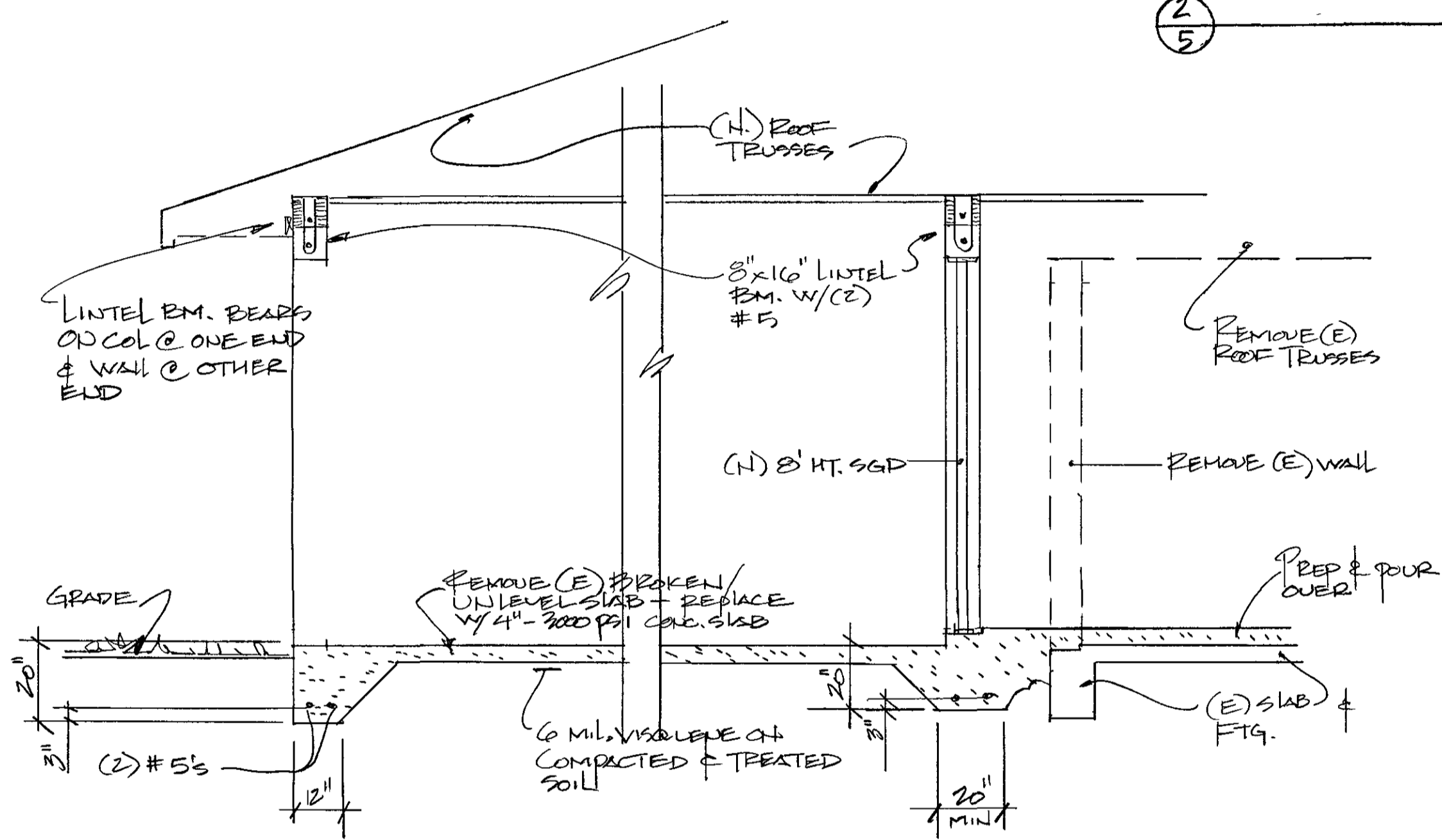
OPENING	SUPPORT ANGLE AND BOLTS (GALVANIZED)
0 TO 4'-0"	3/4" x 3/4" x 1/4" ANGLE W/ 1/2" DIA. BOLTS @ 24" O.C.
4'-1" TO 6'-0"	4" x 3/4" x 1/4" ANGLE LVL W/ 1/2" DIA. BOLTS @ 24" O.C.
6'-1" TO 10'-0"	6" x 3/4" x 1/4" ANGLE LVL W/ 1/2" DIA. BOLTS @ 24" O.C.



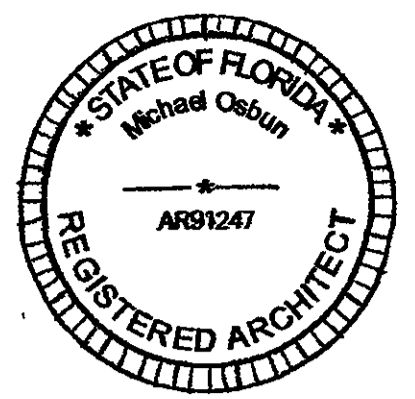
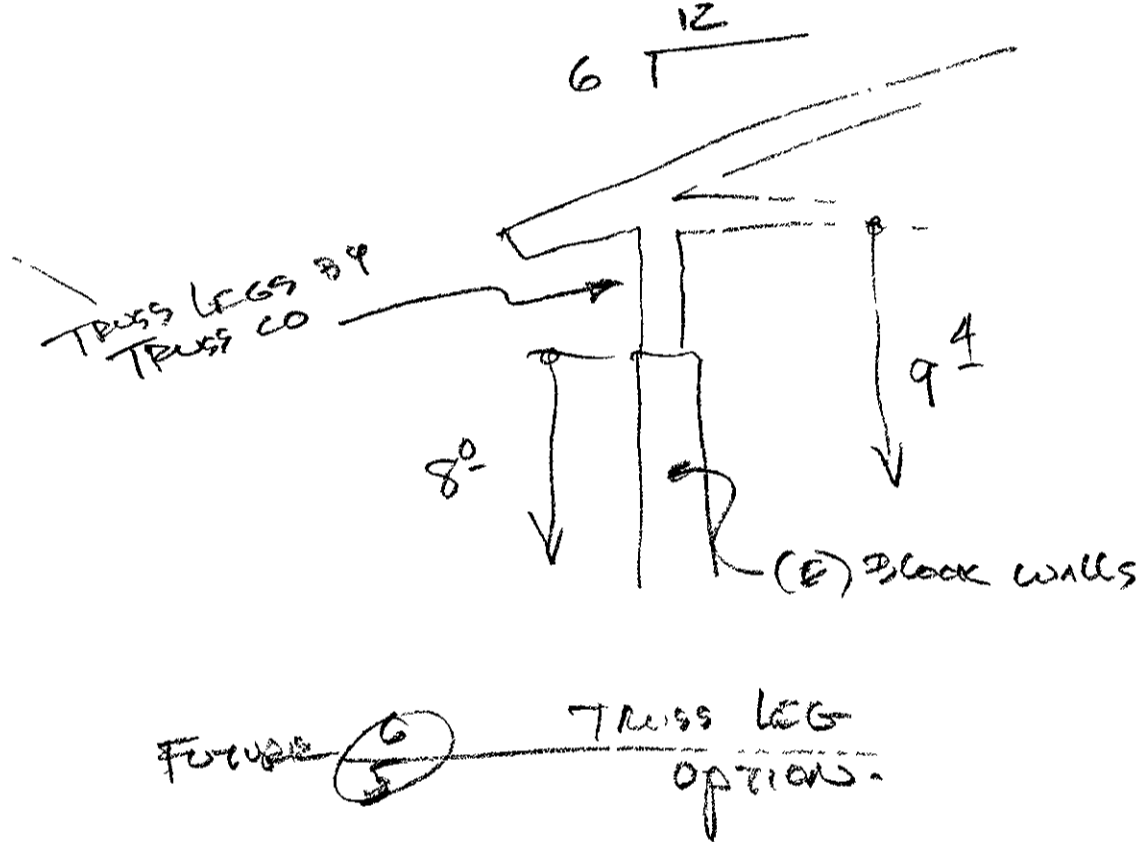
3 TYPICAL REINFORCING FOR NEW OPENING IN EXISTING MASONRY WALL NOT TO SCALE



4 3/8" = 1'-0"



5 1/16" = 1'-0"



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A Renovation & Addition for:
Victoria & Conner Scalise
200 Shannon Ave.
Melbourne Beach, FL 32951

- Connector Schedule:**
See truss package for specific up & down load requirements.
- A- META 20 (1450 up) with 7-10d x 1 1/2" Typ truss to conc
 - B- HHETA20 (2120 up) Typ truss to conc
 - C- LGT2 (2150 up) Girder to conc or wood post
 - D- HUC412 (max) (1505 up) LVL or girder to conc
 - E- HCP (590 up)
 - F- H2.5A. (565 up) Truss to bm or top plate to truss
 - G- H10A. (1040 up) Top plate to truss or beam to truss H10A-2 (930 up)
 - H- MGT (3965 up) Bm to conc. col or truss to wood post
 - I- VTC2 (405 up) Valley sets to roof trusses (also see truss package)
 - J- MSTAM36 (1870 up) Flat strap block to truss at +/- 48" oc max (see plan for spacing)
 - K- HTSM20 (1175 up) Twist strap, block to truss
 - L- SP1 (555 up) Each stud to base plate
 - M- SP2 (1010 up) Each stud to double top plate
 - N- RSP4 (245 & 390 up) Studs to top and bottom plates
 - Q- LSTAM8 (1235 up) Flat strap at conc to wood bm or truss
 - P- (2) 2x10 ledger board with 5/8" dia AB at 24" oc max (see truss reference plan) - staggered, with PA123 (purlin anchors) at 48" oc max.
 - Q- MSTCM60 (3840 up) Stud to block at 32" oc.
 - R- AC4-max (2490 up) and LCE4 (1955 up) 4x4 post to beam above
- S- ABU44Z post base (1900 up)(7570 dn.) with 5/8" anchor with 3" hook embedded 10" min into concrete tie-bm below
T- CC46 post cap (24060 dn.) @ 6x6 post
U- ECCLL end post cap (12030 dn.) @ 6x6 post
V- HTT5 post or multi studs to concrete (4350 up)

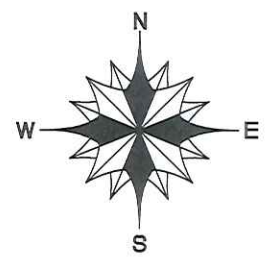
Revisions

	By

7/28/25

1/16/24
5
SCALISE
24-6961
Job No

BOUNDARY SURVEY OF:
LOT 1, BLOCK 2 AS SHOWN ON THE PLAT OF ISLAND SHORES OF MELBOURNE BEACH
AS RECORDED IN PLAT BOOK 10, PAGE 52A OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.



HIBISCUS TRAIL

ASPHALT ROAD
(60' PUBLIC RIGHT-OF-WAY)

SET N&D
"ID LS5085"

S89°53'58"E 112.9'(P)
S89°53'58"E 112.97'(M)

FD 3/4" I.P.
"NO ID"

FD 5/8" I.R.
"NO ID"

LOT 2
BLOCK 2

N00°06'02"E 115.00'(P)
N00°06'50"E 114.88'(M)

1 STORY CBS RESIDENCE
200 SHANNON AVE
FINISH FLOOR=10.30
GARAGE FLOOR=9.88

PROPOSED
ADDITION

SHANNON AVE
ASPHALT ROAD
(60' PUBLIC RIGHT-OF-WAY)

S05°41'52"E 115.60'(P)
N05°31'00"E 116.60'(M)

SET N&D
"ID LS5085"

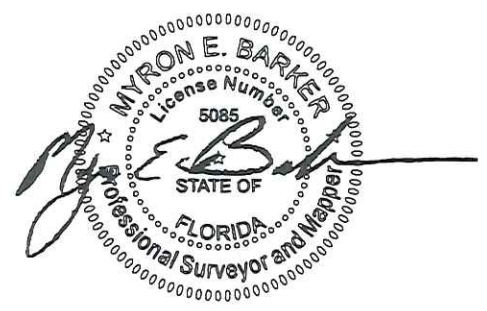
FD 5/8" I.R.
"NO ID"
6" WF
(0.4'S)(1.5'E)

N89°53'58"W 124.57'(P)
N89°49'25"W 124.31'(M)

SET N&D
"ID LS5085"
IN CONC.
6" WF
(0.0'S)

LOT 15
BLOCK 2

LOT 16
BLOCK 2



NOTE
ELEVATIONS BASED ON NAVD88

PROFESSIONAL SURVEYOR & MAPPER IN RESPONSIBLE CHARGE
MYRON E. BARKER - FLORIDA CERTIFICATE NO. 5085
CERTIFICATE OF AUTHORIZATION LB. 6586

LEGEND

(AKA)	= ALSO KNOWN AS
BM	= BENCHMARK
CL	= CENTERLINE
CBS	= CONCRETE BLOCK STRUCTURE
CLF	= CHAIN LINK FENCE
CH	= CHORD
CM	= CONCRETE MONUMENT
CONC.	= CONCRETE
COR.	= CORNER
(D)	= DEEDED
DEL	= DELTA
FD	= FOUND
ID	= IDENTIFICATION
I.P.	= IRON PIPE
I.R.	= IRON ROD
L	= LENGTH
LB	= LICENSE BUSINESS
LS	= LICENSE SURVEYOR
(M)	= MEASURED
N&D	= NAIL & DISK
(P)	= PLATTED
PC	= POINT OF CURVATURE
PT	= POINT OF TANGENCY
PL	= PROPERTY LINE
P.S.M.	= PROFESSIONAL SURVEYOR & MAPPER
PRC	= POINT OF REVERSE CURVE
P.U.&D.	= PUBLIC UTILITY & DRAINAGE
R	= RADIUS
R/W	= RIGHT-OF-WAY
(TYP.)	= TYPICAL
WF	= WOOD FENCE

SURVEYOR'S NOTES:

- 1) THE BEARING SYSTEM SHOWN HEREON IS BASED ON A ASSUMED BEARING OF S.89°53'58"E., ALONG THE SOUTH RIGHT-OF-WAY LINE OF HIBISCUS TRAIL.
- 2) AS PER FLOOD INSURANCE RATE MAP NO.12009C 0604 H, INDEX DATED 01-29-2021, THE ABOVE DESCRIBED PROPERTY LIES IN ZONE X.
- 3) THIS SURVEY WAS PREPARED FROM TITLE INFORMATION PROVIDED TO THE SURVEYOR. THERE MAY BE ADDITIONAL RESTRICTIONS OR EASEMENTS THAT AFFECT THE PROPERTY.
- 4) UNDERGROUND UTILITIES AND FOUNDATIONS HAVE NOT BEEN SHOWN.
- 5) LANDS SHOWN HERON WERE NOT ABSTRACTED FOR RIGHT-OF-WAY, RESERVATION, AGREEMENT AND/OR EASEMENTS OF RECORD, SUCH INFORMATION IF DESIRED, SHOULD BE OBTAINED AND CONFIRMED BY OTHER THROUGH APPROPRIATE TITLE VERIFICATION.
- 6) NOT VALID WITHOUT A SIGNATURE AND THE ORIGINAL SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

TYPE OF SURVEY:
BOUNDARY SURVEY

PROJECT:
25-1866

SCALE: **1" = 20'**

DATE: **09/16/2025**

CAD FILE: **25-1866.DWG**

F.B. NUMBER: _____

REVISION: **09/22/25-ADDED SETBACKS**

PRECISION
LAND SURVEYING, INC.

2900 LAKE WASHINGTON ROAD, SUITE 1
MELBOURNE, FLORIDA 32935
PHONE: 321-259-4600
EMAIL: PRECISIONSURVEYING1993@GMAIL.COM

CERTIFIED TO:
CONNER AND VICTORIA SCALISE

Planning and Zoning Meeting

Section: New Business
Meeting Date: April 7, 2026
From: Building Department
RE: Site Plan Approval for 209 Surf Rd. – New Home

Background Information:

The Town received plans for a new home at 209 Surf Rd.

Recommendation:

Approve the site plan for 209 Surf Rd. contingent upon the Engineer report.

Attachments:

- Development Application – Pages 44-46
- Original Plans and Survey – Pages 47-55
- Stormwater Calculations Report – Pages 56-72
- Town Planner Letter – Pages 73-75



**TOWN OF MELBOURNE BEACH
DEVELOPMENT APPLICATION**

I. SUBMITTAL REQUIREMENTS:

1. Fees per current schedule.
2. Deed to property.
3. Pre-Application meeting is mandatory. Contact the Building Official or Building Clerk to submit information required and to schedule a pre-application meeting.
4. Application deadlines are determined annually by the Boards and will be provided at the pre-application meeting.
5. All applicants must complete pages 1-3 and the section(s) as applicable to the request (refer to section II. below). All materials listed in the applicable sections must be provided, and fees paid.

II. REQUEST:

- | | |
|--|--|
| <input type="checkbox"/> Land Use Plan Amendment | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Special Exception | <input type="checkbox"/> Coastal Construction Variance |
| <input type="checkbox"/> Variance | <input type="checkbox"/> Appeal (Application must be filed within 30 days) |
| <input checked="" type="checkbox"/> Site Plan Review Single Family (1RS, 2RS, 3RS) | <input type="checkbox"/> Site Plan Review Multifamily (4RM, SRMO) |
| <input type="checkbox"/> Site Plan Review Commercial (6B, 7C, 8B, 9I) | <input type="checkbox"/> Amendment to the Land Development Code |
| | <input type="checkbox"/> Other (specify) _____ |

III. PROPERTY INFORMATION:

General Location: 209 Surf Rd

Address: 209 Surf Rd, Melbourne Beach FL 32951

Parcel Number(s): 28-38-08-FZ-41-8

Area (in acreage): 0.29

Area (in square feet): 12,500

Current Zoning: 2RS

Proposed Zoning: 2RS

Current Future Land Use: _____

Proposed Future Land Use: _____

Brief Description of Application: New Single Family Residence

Date of Mandatory Pre-Application Meeting (attach meeting minutes if applicable): Dec 1, 2025

IV. APPLICANT INFORMATION:

Property Owner

Name: PAMELA C GILLETTE REVOCABLE LIVING TRUST

Phone: 321-704-4817

Address: 209 Surf Rd, Melbourne Beach FL 32951

Fax: _____

Email: pgillette61@gmail.com

Applicant (if other than property owner)

Name: Coastline Construction, LLC

Phone: 321-428-0325

Address: 219 Surf Rd, Melbourne Beach, FL 32951

Fax: _____

Email: Bob@CoastlineConstructionFL.com

V. OWNER AUTHORIZATION:*

The undersigned hereby affirms the following:

- 1. That I/we are the fee simple title owner/contract purchaser (circle one) of the property described in this application.
- 2. That I/we have read and understands the entire application and concurs with the request.
- 3. That I/we have appointed the Applicant to represent the application, and empowers the Applicant to accept any and all conditions of approval imposed by the Town of Melbourne Beach.

Signature: Pamela C. Gillette

Date: 1-28-2026

Print Name: Pamela C. Gillette

Title: _____

*Must sign in front of notary.

State of ~~Florida~~ North Carolina
County of ~~Brevard~~ Guilford

The foregoing application is acknowledged before me this 28th day of January, 2026 by Pamela Gillette who is/are personally known to me, or who has/have produced NC driver license as identification.

[Signature]
Signature of Notary Public, State of ~~Florida~~ North Carolina

JORDAN CHILDERS
NOTARY PUBLIC
FORSYTH County
North Carolina
My Commission Expires 05/27/2029

15-2029

Notary Public, State of North Carolina

VI. APPLICANT CERTIFICATION:*

I/we affirm and certify that I/we understand and will comply with the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the application and support documents are fully complete and comply with the requirements of the land development regulations of the Town of Melbourne Beach, Florida. I/we further certify that the statements and/or diagrams made on any paper or plans submitted here with are true to the best of my/our knowledge and belief that this application, attachments and application filing fees become part of the official public record of the Town of Melbourne Beach, Florida and are not returnable or refundable.

Under penalties of perjury, I/we declare that I/we have read the foregoing application and that to the best of my/our knowledge and belief the facts stated in the application are true.

Signature: [Handwritten Signature]

Date: Jan 29, '26

Print Name: By Robert Deal

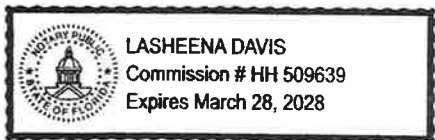
Title: Manager

*Must sign in front of notary.

State of Florida
County of Brevard.

The foregoing application is acknowledged before me this 29th day of January 2026, by Robert Deal who is/are personally known to me, or who has/have produced FL Drivers License as identification.

[Handwritten Signature]
Signature of Notary Public, State of Florida



VII. PROJECT DESCRIPTION:

Describe Application: New Single Family Residence

Provide attachment if more space is needed.

Describe Existing Conditions: Old Single family residence to be razed

Provide attachment if more space is needed.

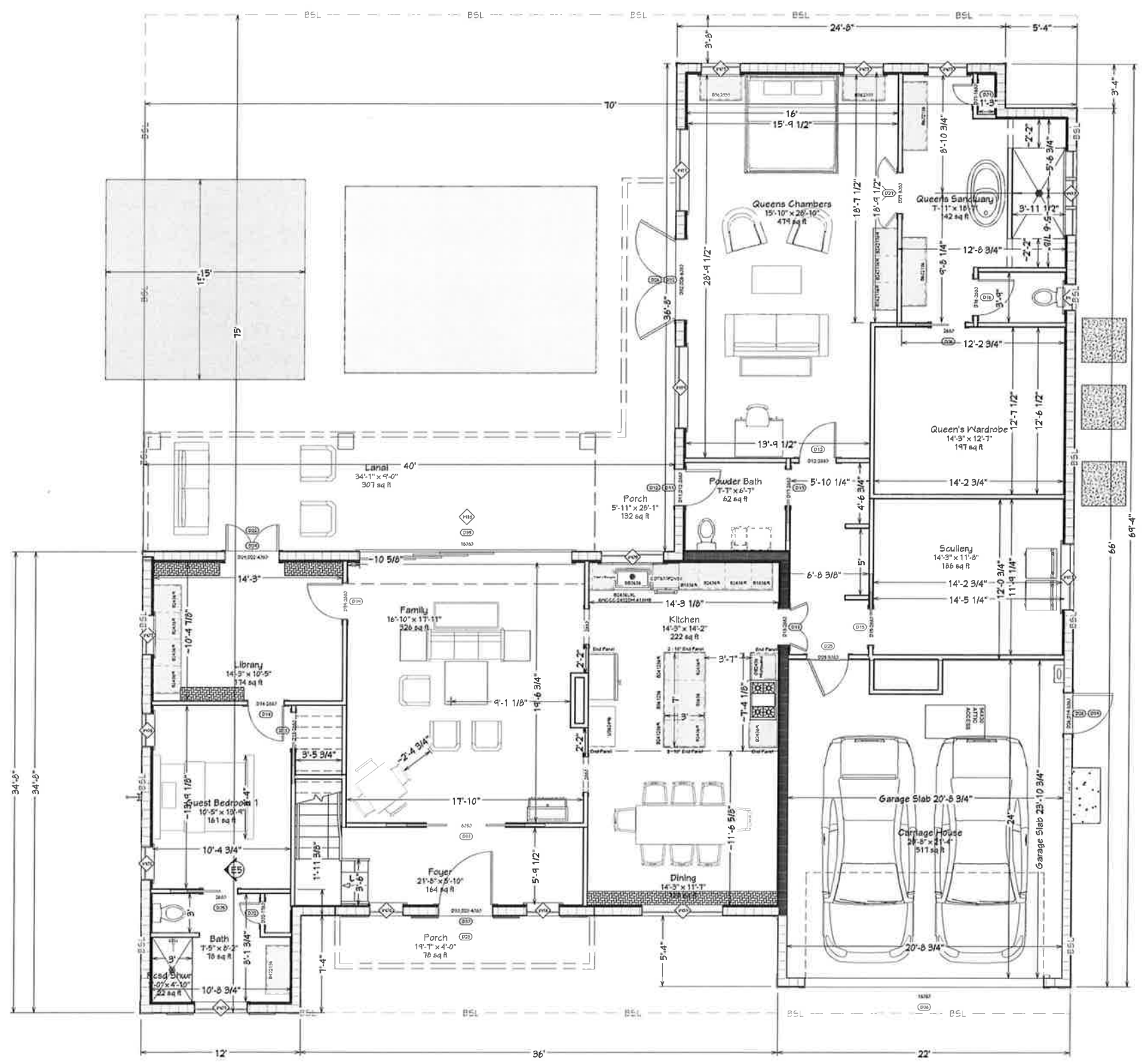
NOTES: ALL WINDOWS TO BE PROTECTED WITH STORM PANELS UNLESS OTHERWISE NOTED

NO	EXTERIOR ELEVATION	NUMBER	DATE	BY	REVISION	DESCRIPTION	CODE	STATUS
1	101	1	02/02/20	RSB/RSB	101	101	101	101
2	102	1	02/02/20	RSB/RSB	102	102	102	102
3	103	1	02/02/20	RSB/RSB	103	103	103	103
4	104	1	02/02/20	RSB/RSB	104	104	104	104
5	105	1	02/02/20	RSB/RSB	105	105	105	105
6	106	1	02/02/20	RSB/RSB	106	106	106	106
7	107	1	02/02/20	RSB/RSB	107	107	107	107
8	108	1	02/02/20	RSB/RSB	108	108	108	108
9	109	1	02/02/20	RSB/RSB	109	109	109	109
10	110	1	02/02/20	RSB/RSB	110	110	110	110
11	111	1	02/02/20	RSB/RSB	111	111	111	111
12	112	1	02/02/20	RSB/RSB	112	112	112	112
13	113	1	02/02/20	RSB/RSB	113	113	113	113
14	114	1	02/02/20	RSB/RSB	114	114	114	114
15	115	1	02/02/20	RSB/RSB	115	115	115	115
16	116	1	02/02/20	RSB/RSB	116	116	116	116
17	117	1	02/02/20	RSB/RSB	117	117	117	117
18	118	1	02/02/20	RSB/RSB	118	118	118	118
19	119	1	02/02/20	RSB/RSB	119	119	119	119
20	120	1	02/02/20	RSB/RSB	120	120	120	120

DESIGN CRITERIA
 Florida Building Code-Residential 8TH Edition (2023)
 ICC 600 - 2020
 OCCUPANCY CLASS = R3 - Residential Single Family
 CONST. TYPE = V B
 EXPOSURE CATEGORY = C
 BUILDING RISK FACTOR = II
 ROOF MEAN HEIGHT < 15'
 ULTIMATE DESIGN WIND SPEED: 160 MPH (3 SEC)
 ASSUMED WIND SPEED = 124 MPH
 INTERNAL PRESSURE COEFF = +/- 0.18
 COMPONENTS & CLADDING LOADS PER 10 S.F.
 Per ICC 600 Table 301(3) Exposure Adj Coeff = 1.35
 Per ICC 600 Table 301(2) 10 S.F. Adjusted by EAC (1.35)
 Zone 1 21.8 -50
 Zone 2e, 2r, 3 27.8 -66.9
 Zone 4 31.3 -40.5
 Zone 5 (w/in 4' of corners) 31.3 -50
 Garage Door 9X7 32.8 -37.1
 Garage Door 16X7 31.5 -35.1

PLANS DESIGNED TO CONFORM WITH ALL LOCAL BUILDING CODES.
 1. ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES AND INDUSTRY WORKMANSHIP STANDARDS.
 2. CONTRACTOR TO CONFIRM ALL DIMENSIONS IN THE FIELD AND TO REFER ANY QUESTIONS ON POSSIBLE DISCREPANCIES ON WORKING DRAWINGS TO DESIGN PROFESSIONAL BEFORE THE CONSTRUCTION BEGINS.
 3. ALL INTERIOR WALLS ARE NONBEARING.
 SCALE 1/4" = 1'

Interior Non Bearing framing may be wood or steel.



Living Area
2671 sq ft

Label	Title	Description	Comments
1	FLOOR PLAN	Floor Plan, Window & Door Schedule	
2	FOUNDATION	Foundation Layout	
3	ELEVATIONS	Elevations	
4	ELECTRICAL / TRUSS	Electrical & Truss Layout	



Date	Description

Design Professional:
 Robert Deal, Certified General Contractor
 Pursuant to FBC-Building 107.3.4.2 &
 489.115(4)(b)2 & FL Statute 489.113(9)(b)2
 Note: Not an Architect or Engineer.

Pam Gillette
 209 Surf Rd
 Melbourne Beach, FL 32951

DRAWINGS PROVIDED BY:
 Coastline Construction, LLC
 321-428-0325
 C6C152652

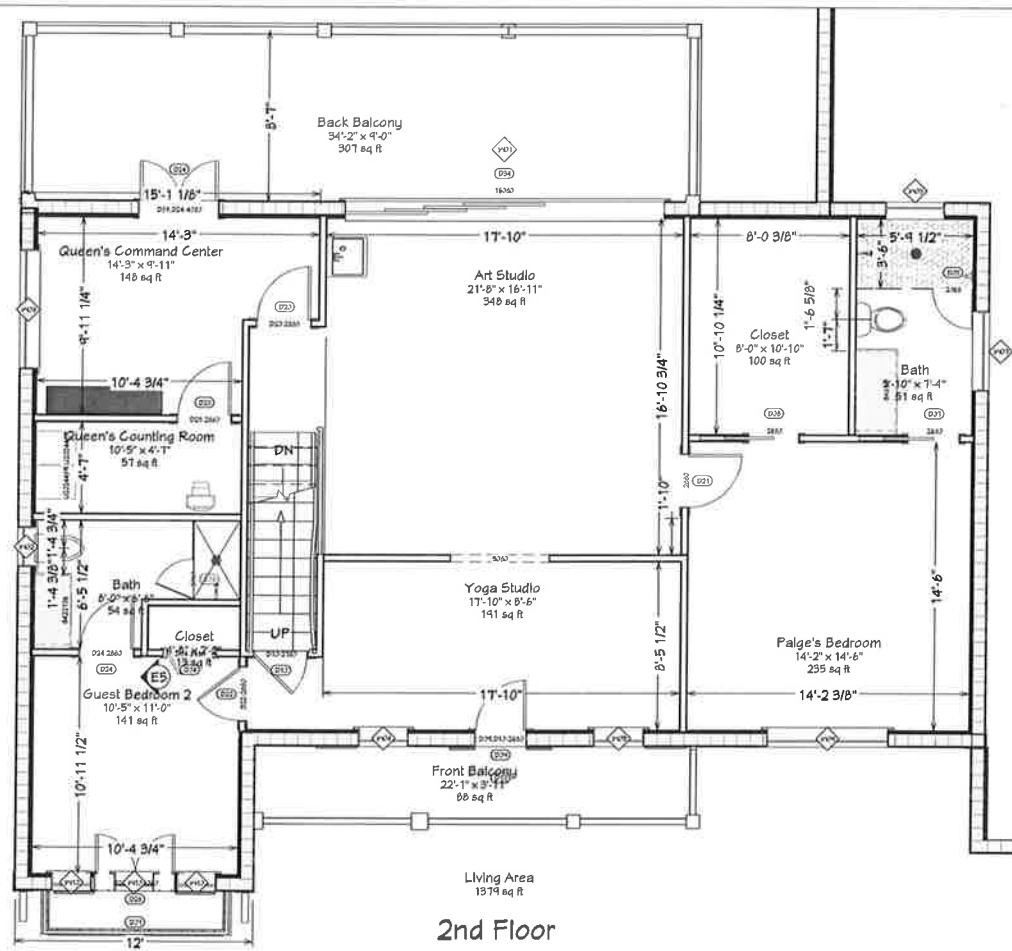
DATE:
01/02/26

SCALE:
1/4" = 1'

SHEET:
1

3D EXTERIOR ELEVATION	NUMBER	QTY	SIZE	WINDOW SCHEDULE				DESCRIPTION	
				EGRESS	TEMPERED	U-FACTOR	SHGC		
	W01	1	16080 R EX	149"X17"	YES	YES	0.3	0.3	EXT. 4-1/2" PANEL SLIDER-GLASS PANEL
	W02	1	20305C	25 3/4"X31"	YES		0.33	0.23	SINGLE CASEMENT-HR
	W03	1	211011	36 3/4"X12"			0.31	0.22	FIXED GLASS
	W04	1	26525C	31 3/4"X63"	YES		0.33	0.23	SINGLE CASEMENT-HL
	W05	1	26525C	31 3/4"X63"	YES		0.33	0.23	SINGLE CASEMENT-HR
	W07	1	40011	49 3/4"X12"			0.31	0.22	FIXED GLASS
	W06	1	6052	13 3/4"X63"			0.3	0.3	MULLED UNIT-HL
	W09	1	6252	15 3/4"X63"			0.3	0.3	MULLED UNIT-HL
	W10	3	2020FX	25 3/4"X25"	YES		0.33	0.23	FIXED GLASS

3D Exterior Elevation	Number	Label	Qty	Floor	Size	U/F	Door Schedule Description	Header
	D01	D28, D01-4080	1	2	4080 L/R IN	50"X96"	Double Hinged-Glass Panel	4"X2"X53"
	D10	D04, D10-2660	1	2	2660 R IN	32"X96"	Hinged-Glass Panel	4"X2"X35"
	D12	D11, D12-2860	1	1	2860 L EX	37 1/2"X100"	ext. Hinged-Glass Panel	1 5/8"X8"X40 1/2"
	D14	D26, D14-3080	1	1	3080 L EX	41 1/2"X100"	ext. Hinged 6801 Craftsmen One Lite II	1 5/8"X8"X44 1/2"
	D22	D24, D22-4080	1	1	4080 L/R EX	53 1/2"X100"	ext. Double Hinged-Glass Panel	1 5/8"X8"X56 1/2"
	D23	D30, D23-4080	1	1	4080 R IN	50"X96"	Hinged-4060 Quadrlite	4"X2"X53"
	D24	D31, D24-4080	1	2	4080 L/R EX	53 1/2"X100"	ext. Double Hinged-Glass Panel	1 5/8"X8"X56 1/2"
	D26	D32, D26-6080	1	1	6080 L/R EX	71 1/2"X100"	ext. Double Hinged-Glass Panel	1 5/8"X8"X80 1/2"



Date	Description

Design Professionals:
 Robert Deal, Certified General Contractor
 Pursuant to FBC-Building 107.3.4.2 &
 489.115(4)(b)2 & F.L. Statute 489.113(9)(b)2
 Note: Not an Architect or Engineer.

Fam Gillette
 209 Surf Rd
 Melbourne Beach, FL 32951

DRAWINGS PROVIDED BY:
 Coastline Construction, LLC
 521-428-0325
 C6C1526552

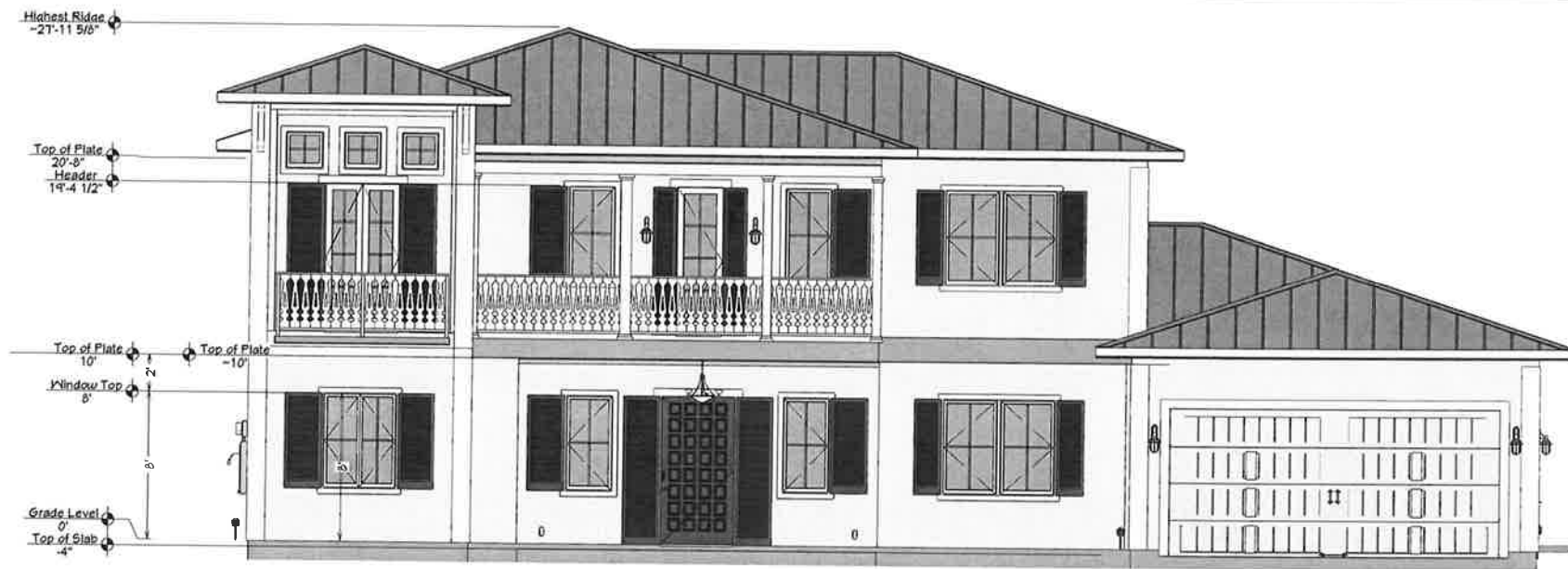
DATE:

01/02/26

SCALE:

1/4" = 1'

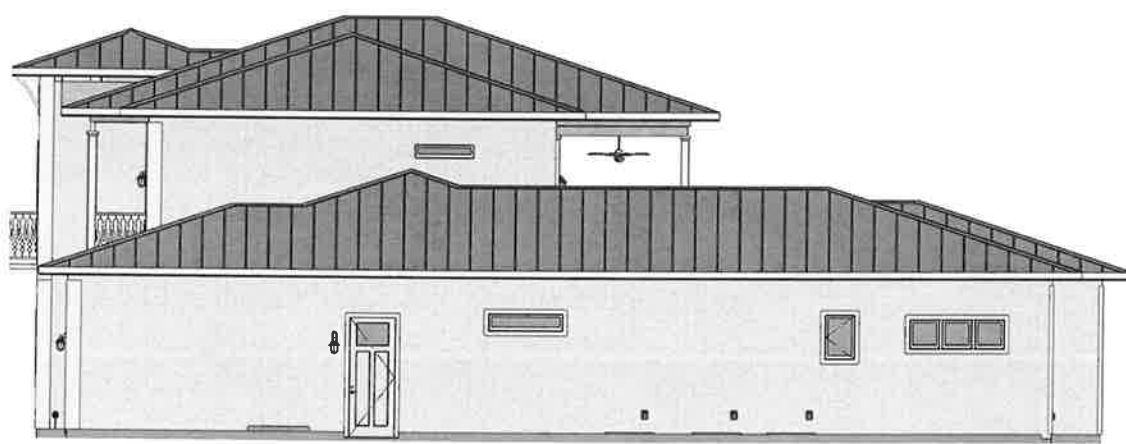
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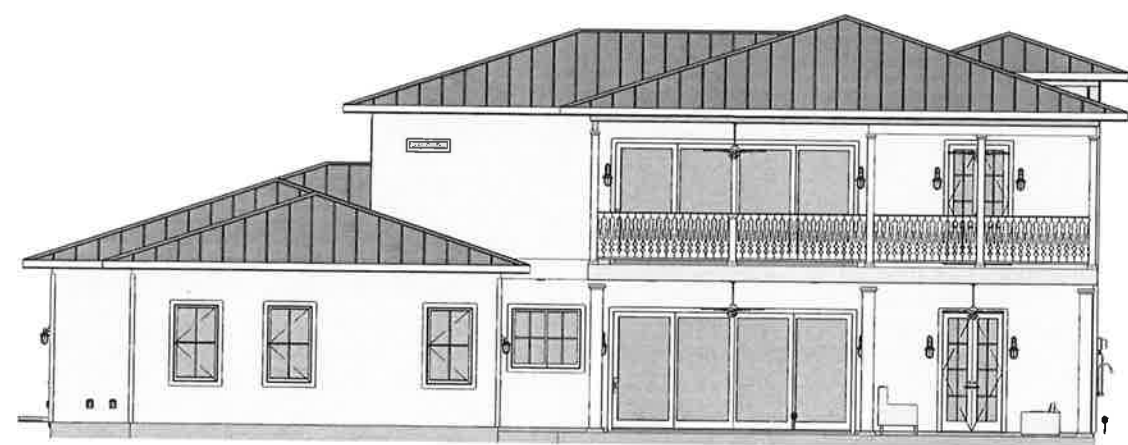
Exterior Elevation Front



Exterior Elevation Left



Exterior Elevation Right



Exterior Elevation Back

NOTES:
 Pitch 6:12 UNO
 Asphalt Shingles
 Overhangs 16" (14.5" Truss Tails) Typical
 4" Ceilings UNO
 Window Header Height 8' 0"
 Ridge / Off-Ridge Vents where necessary

Date	Description

Design Professional:
 Robert Debi, Certified General Contractor
 Pursuant to FBC-Building 107.3.4.2 &
 489.115(4)(b) 2 & F.L. Statute 489.113(9)(b) 2
 Note: Not an Architect or Engineer.

Pam Gillette
 209 Surf Rd
 Melbourne Beach, FL 32951

DRAWINGS PROVIDED BY:
 Coastal Construction, LLC
 321-426-0325
 CGC1526552

DATE:
 01/02/26

SCALE:
 1/4" = 1"

SHEET:
 3

PAMELA C GILLETE REVOCABLE LIVING TRUST

DRAINAGE PLAN

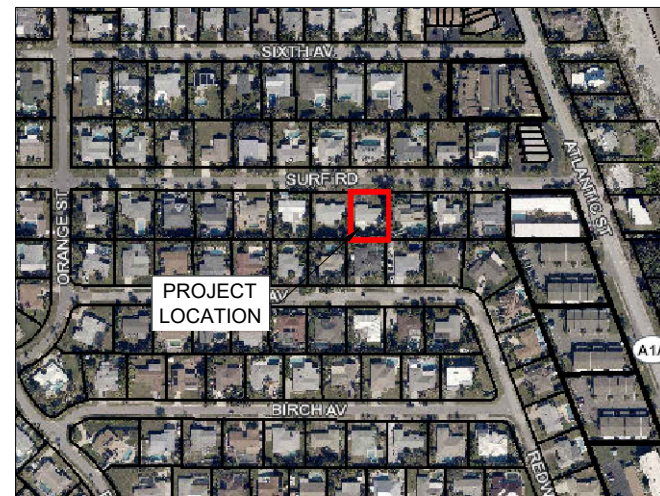
209 SURF ROAD
MELBOURNE BEACH, FL 32951

GENERAL NOTES:

1. PROPERTY LAYOUT INFORMATION SHOWN HAS BEEN PROVIDED TO THE ENGINEER BY THE OWNER AND/OR OWNER'S AGENT. IT HAS NOT BEEN VERIFIED FOR ACCURACY. ENGINEER DOES NOT ACCEPT LIABILITY FOR INCORRECT OR INACCURATE PROPERTY AND/OR AREA INFORMATION PROVIDED.
2. FOOTPRINT PROVIDED BY OWNER AND/OR OWNER'S AGENT. ANY DIMENSIONS ON SITE PLAN ARE FOR REFERENCE ONLY. CONTRACTOR TO ENSURE CORRECT DIMENSIONS INCLUDED PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO FIELD VERIFY ELEVATIONS OF ADJACENT PROPERTIES PRIOR TO CONSTRUCTION FOR CONNECTION TO EXISTING PROPERTY LINE WITHOUT BLOCKING OR DRAINING ONTO ADJACENT PROPERTIES. CONTRACTOR TO COORDINATE GRADING ALONG COMMON LOT LINES WITH ADJACENT NEIGHBORS TO ENSURE CONTINUED POSITIVE DRAINAGE.
4. SIDE SLOPES ON ANY AREA WITHIN THE LOT CANNOT EXCEED ONE (1) FOOT VERTICAL FOR EACH FOUR (4) FEET HORIZONTAL, EXCEPT FOR RETENTION AREAS. THEY CANNOT EXCEED (1) 1 FOOT VERTICAL FOR EACH THREE (3) FEET HORIZONTAL.
- ⚠ 5. DRIVEWAY AND SIDEWALK ARE PROPOSED WITH PVIOUS SURFACE. DETAIL FOR THE PVIOUS SURFACE IS INCLUDED IN SHEET 5 OF 5.
6. DRAINAGE EASEMENTS SHALL NOT CONTAIN PERMANENT IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO SIDEWALKS, DRIVEWAYS, IMPERVIOUS SURFACES, PATIOS, DECKS, POOLS, AIR CONDITIONERS, STRUCTURES, UTILITY SHEDS, POLES, FENCES, SPRINKLER SYSTEMS, TREES, SHRUBS, HEDGES, AND LANDSCAPING PLANTS OTHER THAN GRASS, EXCEPT FOR THE LANDSCAPING OF STORMWATER DETENTION AND RETENTION PONDS AS REQUIRED BY THE CODE.
7. ALL ELEVATIONS SHOWN HEREON ARE BASED ON THE NAVD88 DATUM. EXISTING ELEVATIONS WERE PROVIDED TO THE ENGINEER BY THE OWNER AND/OR OWNER'S AGENT AND WERE NOT VERIFIED FOR ACCURACY.
- ⚠ 8. PVIOUS SURFACE MAINTENANCE PER PRODUCT SPECIFICATIONS:
 - 8.1. MAINTAIN PUREPAVE IN ACCORDANCE WITH MANUFACTURER GUIDELINES AND THE PROJECT MAINTENANCE PLAN.
 - 8.2. PERFORM ROUTINE INSPECTIONS TO IDENTIFY SEDIMENT BUILDUP, SURFACE CLOGGING, OR STRUCTURAL DISTRESS; CLEAN SURFACE PORES AS NEEDED USING VACUUM SWEEPING, LOW-PRESSURE WASHING, OR OTHER APPROVED METHODS.
 - 8.3. INSPECT JOINTS, EDGES, AND OBSERVATION WELLS PERIODICALLY TO ENSURE PROPER FUNCTION AND DRAINAGE.
 - 8.4. MAINTENANCE MAY BE PERFORMED BY THE OWNER OR BY PUREPAVE-CERTIFIED CONTRACTORS AND SHOULD INCLUDE PERIODIC INSPECTION, CLEANING TO PREVENT CLOGGING, AND REMOVAL OF ACCUMULATED SEDIMENT AT APPROPRIATE INTERVALS OR AS SPECIFIED.
 - 8.5. IF THE SYSTEM INCLUDES SENSORS, INSTALLED DEVICES SUCH AS WATER LEVEL, WATER QUALITY, PAVEMENT DEFLECTION, AND LOAD-BEARING SENSORS TO ENSURE PROPER OPERATION. REPAIR, RECALIBRATE, OR REPLACE SENSORS AS REQUIRED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
 - 8.6. REPAIR MINOR SURFACE DEFECTS PROMPTLY TO PREVENT MOISTURE INFILTRATION, FREEZE-THAW DAMAGE, OR PROGRESSIVE DETERIORATION.

LEGAL DESCRIPTION:

LOT 80, BLOCK 8, PLAT OF MELBOURNE SHORES 1ST ADDITION, AS RECORDED IN PLAT BOOK 10, PAGE 87 OF THE PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA.



LOCATION MAP
N.T.S

SHEET INDEX:	
1	COVER SHEET & GENERAL NOTES
2	EXIST. CONDITIONS & DEMO PLAN
⚠ 3	SITE & LANDSCAPE PLAN
4	LOT DRAINAGE PLAN
⚠ 5	DETAILS SHEET

REVISIONS SUMMARY:

- ⚠ 1. SHEET 1: ADDED NOTE 5 IN GENERAL NOTES, AND ADDED SITE PLAN & DETAILS SHEET.
 2. SHEET 2: UPDATED SITE DATA TABLE.
 3. SHEET 3: ADDED SHEET.
 4. SHEET 4: REMOVED SWALE IN ROW, REVISED DRIVEWAY AND SIDEWALK MATERIAL, REVISED PERIMETER SWALE, REVISED CROSS SECTION D-D.
 5. SHEET 5: ADDED SHEET.
-
- ⚠ 1. SHEET 1: ADDED NOTE 8 IN GENERAL NOTES
 2. SHEETS 2&3: PROPOSED CONC. APRONS IN ROW
 3. SHEET 4: DIRECT SW TO RETENTION AREA.

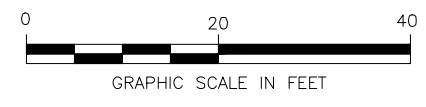
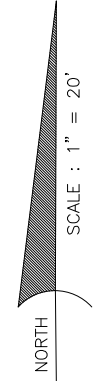
THIS PLAN HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY ELIA G. TWIGG, PE USING A DIGITAL SIGNATURE AND DATE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

CONTRACT NO.: C2512.68 JOB NO.: 25.12-151 DATE: 03/23/26	ELIA G. TWIGG, PE FLORIDA LICENSE NO: 65711 TITLE: COVER SHEET & GENERAL NOTES	PARCEL ID: 28-38-08-FZ-41-8 SUBDIVISION: ROMAC SUBDIVISION CONTRACTOR: COASTLINE CONSTRUCTION	LOTS /BLOCK: LOT 8 BLK 41 ORB BK/PG: 10 / 534	PROJECT: PAMELA C GILLETE REVOCABLE LIVING TRUST 209 SURF ROAD MELBOURNE BEACH, FL 32951	REVISIONS: ⚠ 2/13/26 - MELBOURNE BCH COMMENTS ⚠ 3/23/26 - MELBOURNE BCH COMMENTS
355 TORTOISE VIEW DRIVE, SUITE E SATELLITE BEACH, FL 32937 Ph: (321) 413-0027 eliatwigg@lanticsolutions.com					

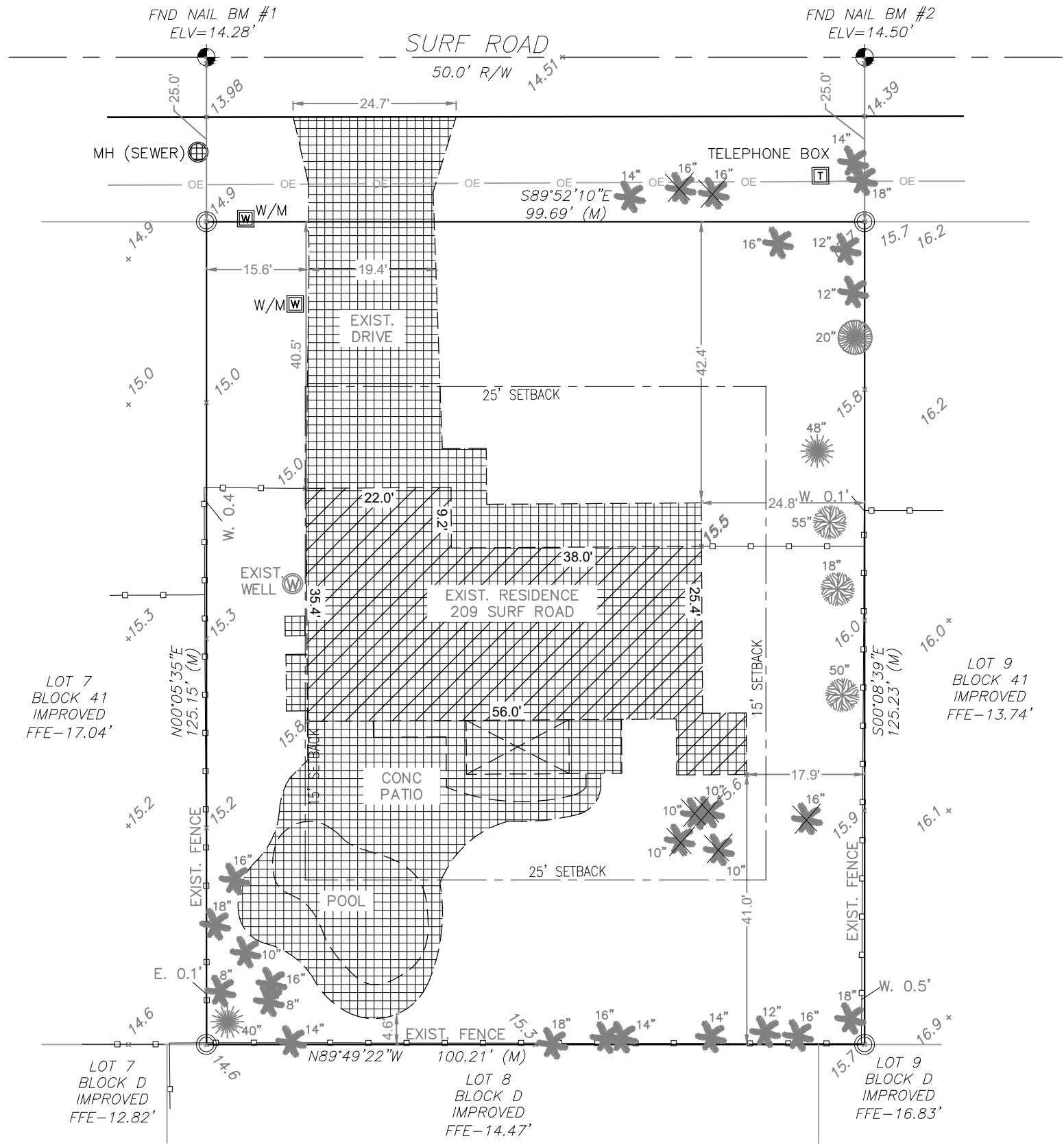
- LEGEND:**
- EXISTING ELEVATION
 - PROPOSED ELEVATION
 - FLOW DIRECTION
 - TO BE REMOVED

- TREE LEGEND**
- PALM TREE
 - PINE TREE
 - SHEFALERA TREE
 - FIG TREE
 - TREES TO BE REMOVED

SITE DATA	AREA
TOTAL SITE AREA	12,500 SF
EXISTING:	SF
HOUSE & PORCH	2,066 SF
DRIVEWAY & S/W	1,110 SF
POOL DECKING	1,159 SF
CONCRETE	37 SF
TOTAL IMPERVIOUS AREA	4,372 SF 35%
TOTAL PERVIOUS AREA	8,128 SF 65%
PROPOSED IMPERVIOUS AREA	
HOUSE	3,201 SF
PORCH	432 SF
POOL AND DECKING	1,035 SF
ENTRY	78 SF
CONCRETE A/C PAD	33 SF
PROPOSED PERVIOUS AREA	
PERVIOUS DRIVEWAY & S/W	1,260 SF
GRASS/SWALES	6,461 SF
TOTAL IMPERVIOUS AREA	4,779 SF 38%
TOTAL PERVIOUS AREA	7,721 SF 62%



ELEVATIONS BASED ON: NAVD88		ELEVATION
MELBOURNE BEACH BENCHMARK: AK-4032		16.93



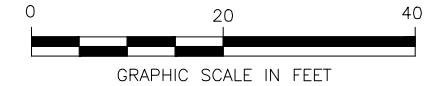
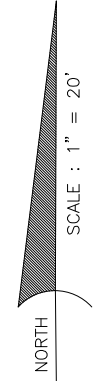
**LOT 8
BLOCK 41
ROMAC SUBD**

CONTRACT NO.: C2515.68	DATE: 03/18/26	SHEET 2 OF 51						
JOB NO.: 25-12-151	DATE: 03/18/26							
ELIA G. TWIGG, PE FLORIDA LICENSE NO: 65711	TITLE: EXIST. COND. & DEMO PLAN							
PARCEL ID: 28-38-08-FZ-41-8	LOTS/BLOCK: LOT 8							
SCALE: 1" = 20'	SUBDIVISION: ROMAC SUBDIVISION	CONTRACTOR: COASTLINE CONSTRUCTION						
	BLK 41	PLAT BK/PG: 10/534						
PROJECT: PAMELA C GILLETTE REVOCABLE LIVING TRUST 209 SURF ROAD MELBOURNE BEACH, FL 32951								
REVISIONS:								
<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>2/13/26</td> <td>MELBOURNE BCH COMMENTS</td> </tr> </tbody> </table>			NO.	DATE	DESCRIPTION	1	2/13/26	MELBOURNE BCH COMMENTS
NO.	DATE	DESCRIPTION						
1	2/13/26	MELBOURNE BCH COMMENTS						
<p>355 TORTOISE VIEW DRIVE, SUITE E SATELLITE BEACH, FL 32937 Ph: (321) 413-0027 ellatwigg@lanticsolutions.com</p>								

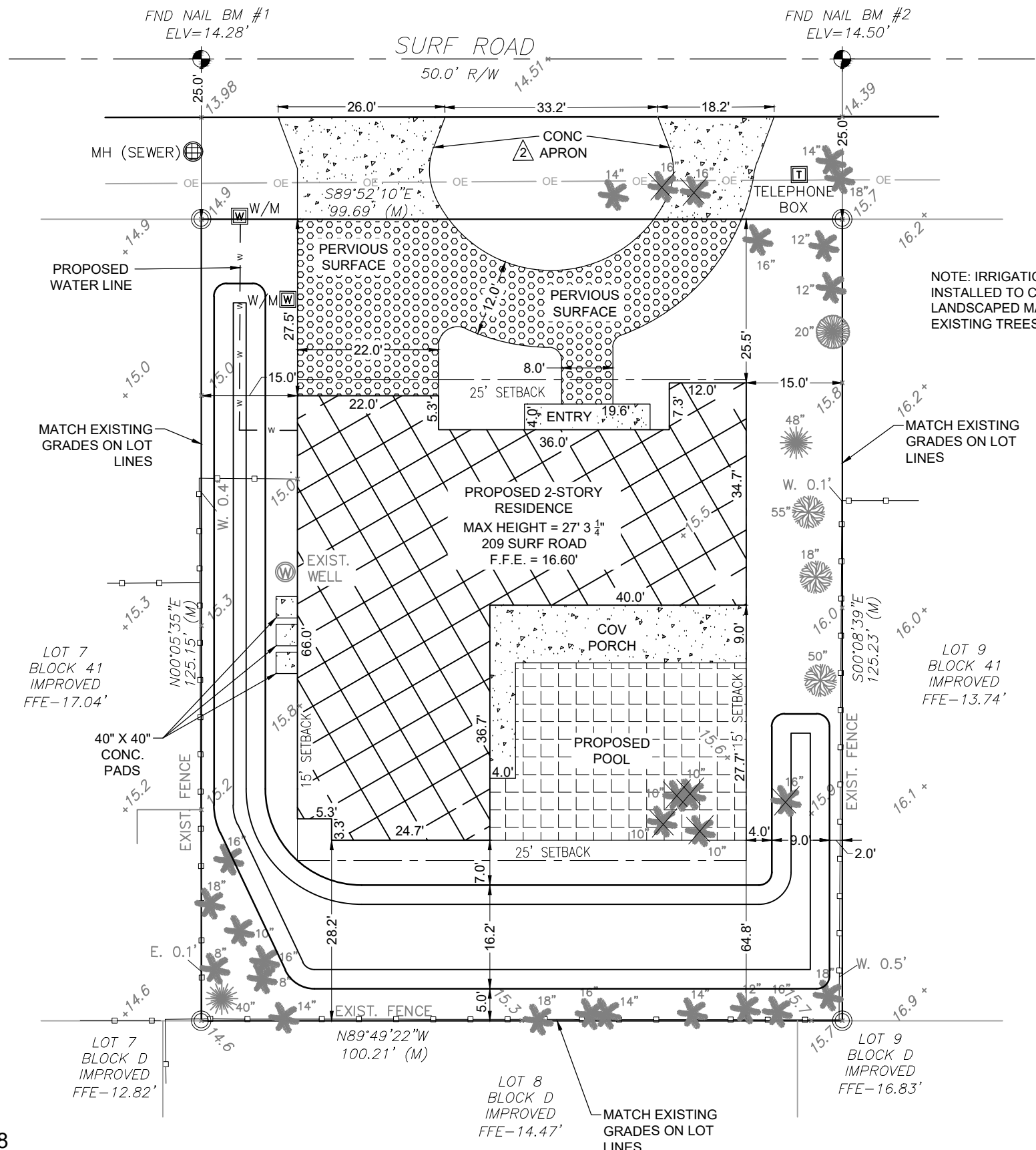
- LEGEND:**
- EXISTING ELEVATION
 - PROPOSED ELEVATION
 - FLOW DIRECTION
 - TO BE REMOVED

- TREE LEGEND**
- PALM TREE
 - PINE TREE
 - SHEFALERA TREE
 - FIG TREE
 - TREES TO BE REMOVED

SITE DATA	AREA
TOTAL SITE AREA	12,500 SF
EXISTING:	SF
HOUSE & PORCH	2,066 SF
DRIVEWAY & S/W	1,110 SF
POOL DECKING	1,159 SF
CONCRETE	37 SF
TOTAL IMPERVIOUS AREA	4,372 SF 35%
TOTAL PERVIOUS AREA	8,128 SF 65%
PROPOSED IMPERVIOUS AREA	
HOUSE	3,201 SF
PORCH	432 SF
POOL AND DECKING	1,035 SF
ENTRY	78 SF
CONCRETE A/C PAD	33 SF
PROPOSED PERVIOUS AREA	
PERVIOUS DRIVEWAY & S/W	1,260 SF
GRASS/SWALES	6,461 SF
TOTAL IMPERVIOUS AREA	4,779 SF 38%
TOTAL PERVIOUS AREA	7,721 SF 62%



ELEVATIONS BASED ON:	NAVD88
MELBOURNE BEACH BENCHMARK: AK-4032	16.93

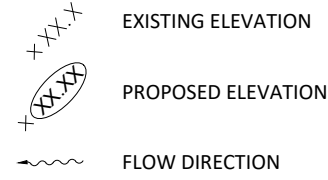


NOTE: IRRIGATION SYSTEM TO BE INSTALLED TO COVER ALL LANDSCAPED MATERIAL, INCLUDING EXISTING TREES AND PLANTS.

LOT 8
BLOCK 41
ROMAC SUBD

<p>CONTRACT NO.: C2515.68 JOB NO.: 25-12-151 DATE: 03/25/26</p>	<p>ELIA G. TWIGG, PE FLORIDA LICENSE NO: 65711</p>	<p>TITLE: SITE & LANDSCAPE PLAN</p> <p>SHEET 3 OF 52</p>						
<p>SCALE: 1" = 20'</p>	<p>PARCEL ID: 28-38-08-FZ-41-8</p>	<p>LOTS/BLOCK: LOT 8 BLK 41</p>						
<p>PROJECT: PAMELA C GILLETTE REVOCABLE LIVING TRUST 209 SURF ROAD MELBOURNE BEACH, FL 32951</p>	<p>SUBDIVISION: ROMAC SUBDIVISION</p>	<p>CONTRACTOR: COASTLINE CONSTRUCTION</p>						
<p>REVISIONS:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10%;">2/13/26</td> <td style="width: 80%;">MELBOURNE BCH COMMENTS</td> <td style="width: 10%;"></td> </tr> <tr> <td>3/23/26</td> <td>MELBOURNE BCH COMMENTS</td> <td></td> </tr> </table>			2/13/26	MELBOURNE BCH COMMENTS		3/23/26	MELBOURNE BCH COMMENTS	
2/13/26	MELBOURNE BCH COMMENTS							
3/23/26	MELBOURNE BCH COMMENTS							
<p>LANTIC SOLUTIONS 355 TORTOISE VIEW DRIVE, SUITE E SATILLITE BEACH, FL 32937 Ph: (321) 413-0027 ellatwigg@lanticsolutions.com</p>								

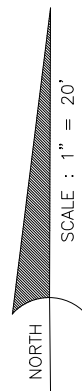
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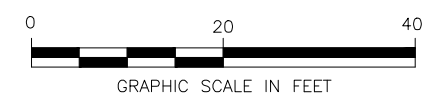
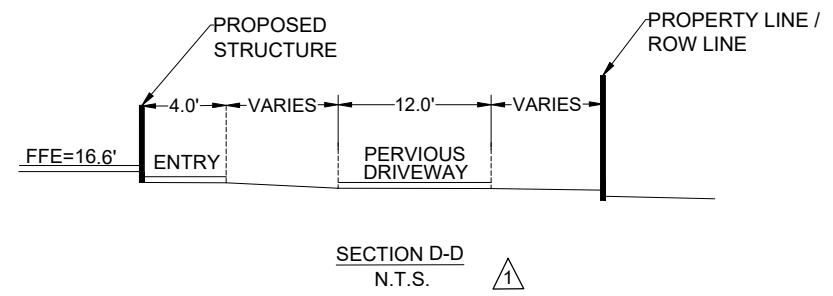
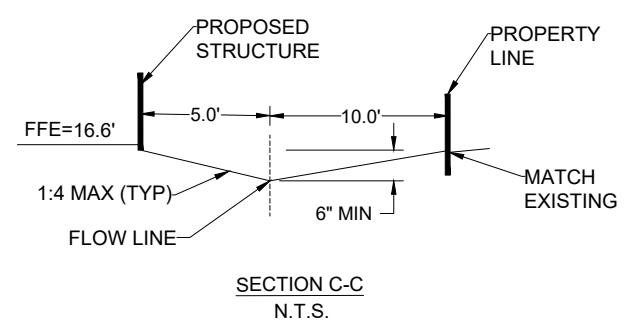
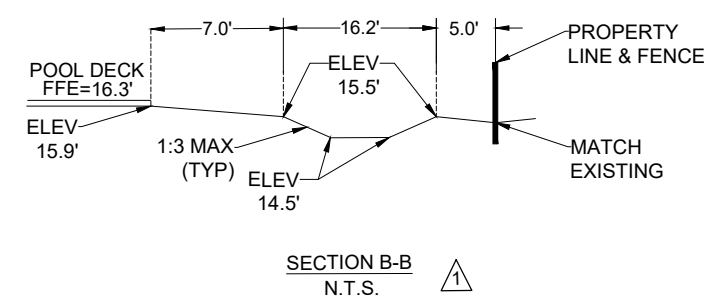
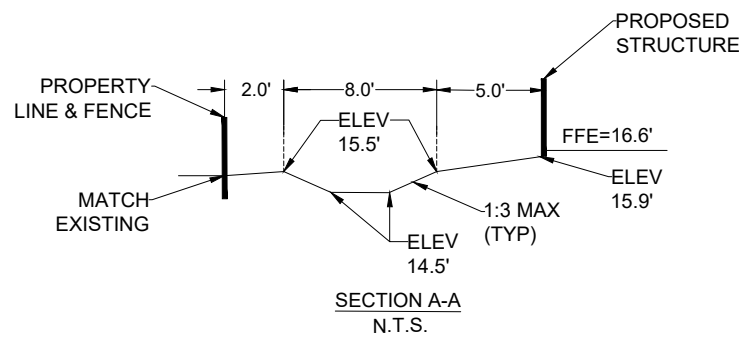
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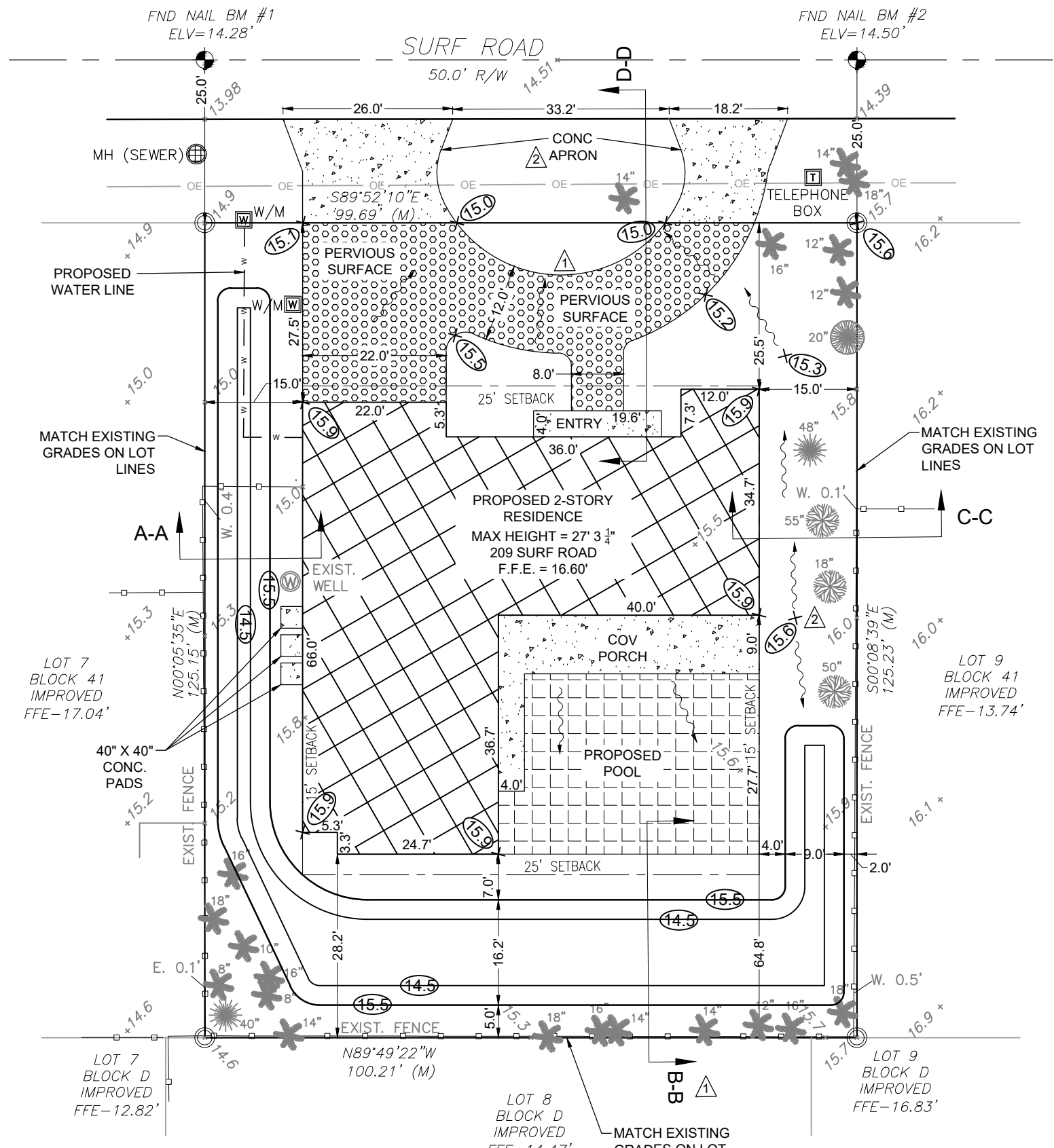
TRUNK SIZES SHOWN IN INCHES



CROSS SECTIONS:



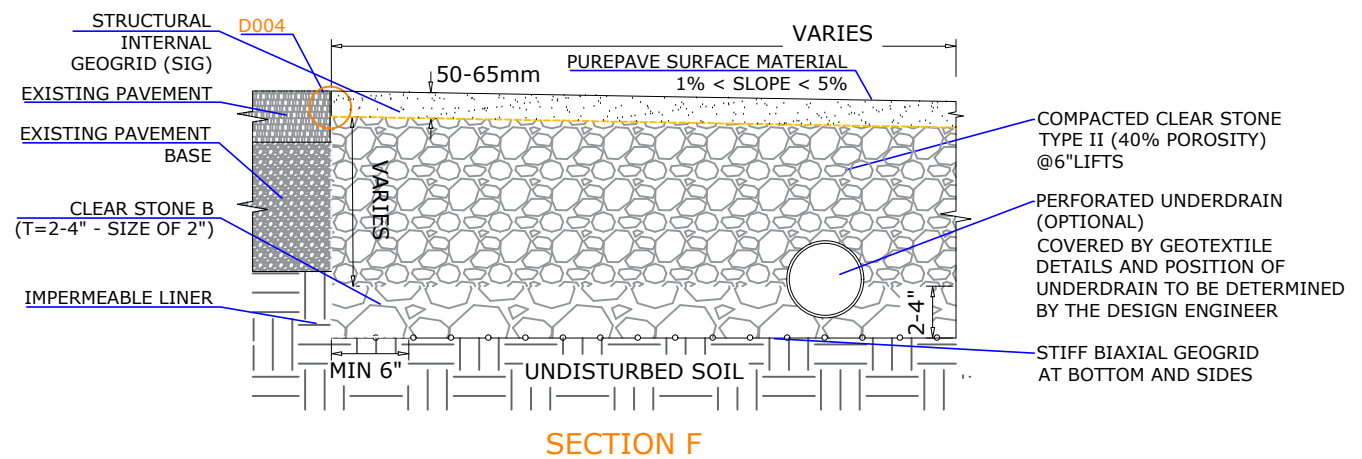
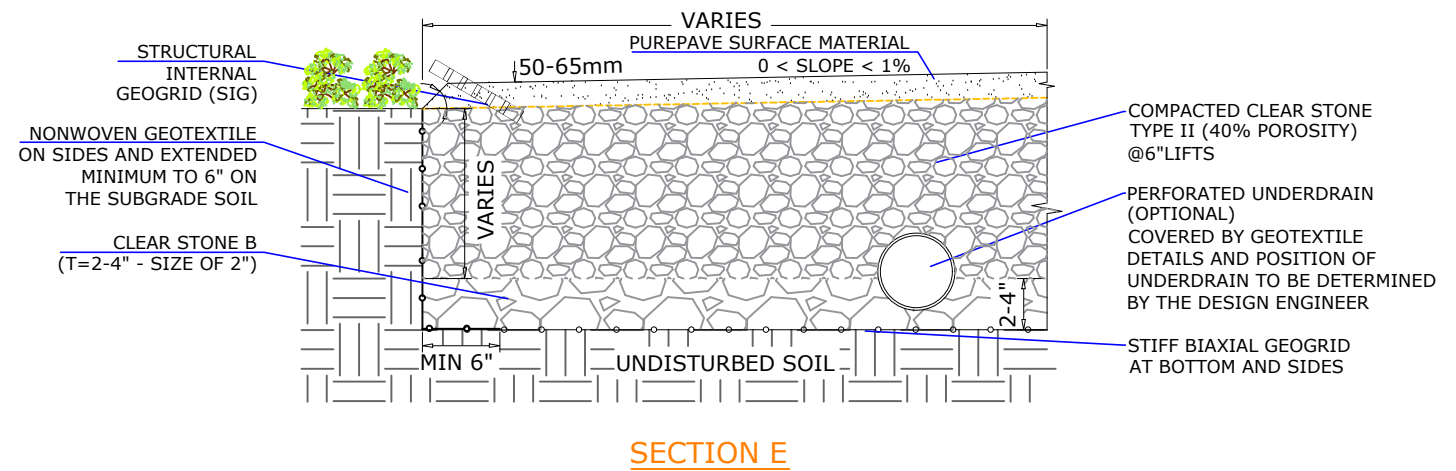
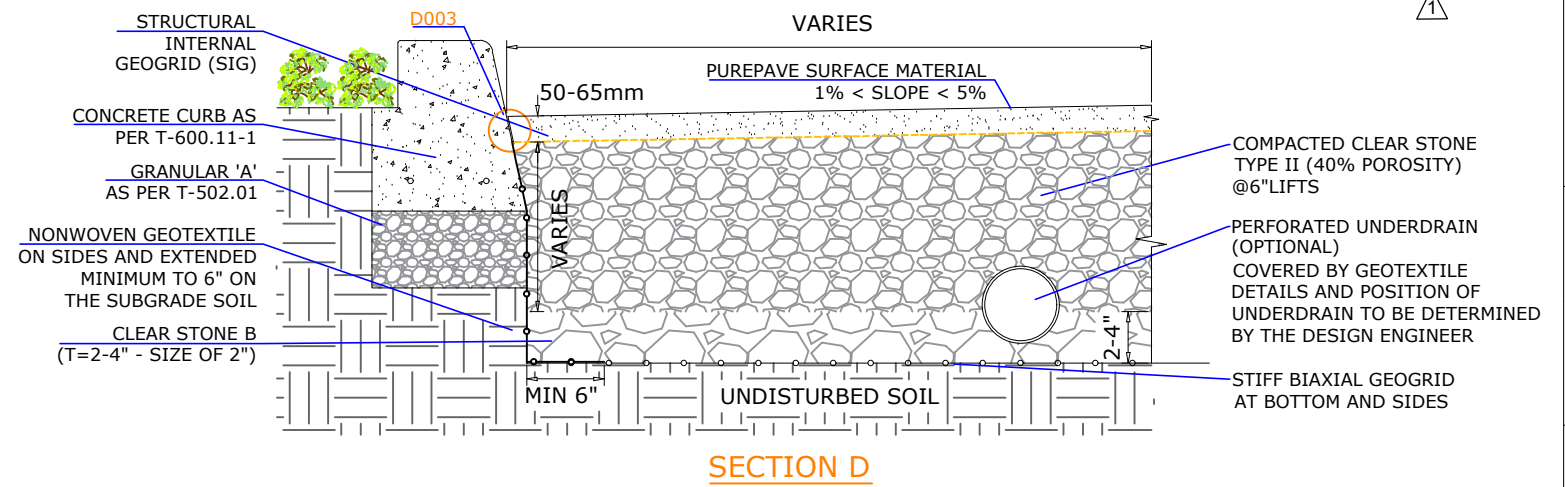
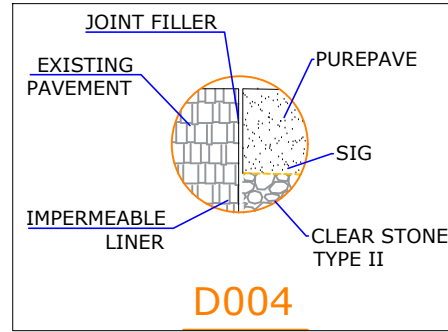
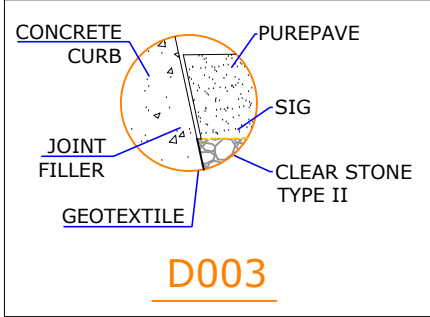
ELEVATIONS BASED ON:	NAVD88
MELBOURNE BEACH BENCHMARK: AK-4032	16.93



**LOT 8
 BLOCK 41
 ROMAC SUBD**

CONTRACT NO.: C2515.68 JOB NO.: 25.12-151 DATE: 03/25/26		SHEET 4 OF 53	
ELIA G. TWIGG, PE FLORIDA LICENSE NO: 65711		TITLE: LOT DRAINAGE PLAN	
SCALE: 1" = 20' SUBDIVISION: ROMAC SUBDIVISION CONTRACTOR: COASTLINE CONSTRUCTION	PARCEL ID: 28-38-08-FZ-41-8 LOTS / BLOCK: LOT 8 BLK 41 PLAT BK/PG: 10/534	PROJECT: PAMELA C GILLETTE REVOCABLE LIVING TRUST 209 SURF ROAD MELBOURNE BEACH, FL 32951	
REVISIONS: 2/13/26 - MELBOURNE BCH COMMENTS 3/23/26 - MELBOURNE BCH COMMENTS			
355 TORTOISE VIEW DRIVE, SUITE E SATELLITE BEACH, FL 32937 Ph: (321) 413-0027 elliatwigg@lanticsolutions.com			

LEGEND		
GEOTEXTILE		IMPERMEABLE LINER
GEOGRID		PUREPAVE
SIG		GRANULAR 'A'
SIDEWALK		CLEAR STONE
CONCRETE		SUBGRADE SOIL



NOTES:

- Surface material shall be PurePave Rustic HD permeable pavement, as manufactured or certified by PurePave Technologies Inc., Ottawa, ON, Canada. Website: www.purepave.com | Phone: +1 888-212-7873. Installation shall follow manufacturer specifications and approved project drawings.
- PurePave permeable surfacing shall be installed at a nominal thickness of 50-65 mm suitable for parking lot and light vehicular traffic applications. Final thickness shall be determined by the Design Engineer based on loading conditions and site requirements.
- The base course shall consist of clean, dry, angular clear stone in accordance with OPSS.PROV 1004 or approved equivalent. Clear Stone Type II (19 mm nominal size) shall be provided at a variable thickness as required by design. Clear Stone B (50 mm nominal size) shall be provided at a thickness of 50-100 mm over prepared subgrade.
- Hydrologic design shall be completed to ensure adequate management of Water Quality Volume (WQV), subsurface storage, and drainage performance appropriate for vehicular-use environments.
- Adjacent hardscape materials such as asphalt, concrete, or unit paving shall be separated from the PurePave system using flexible joints or edge restraints as indicated on the drawings.
- Where required, impermeable liners may be incorporated to prevent unintended water migration into adjacent structural elements or sensitive infrastructure.
- A stiff biaxial geogrid must be installed at the base of the system where subgrade stabilization is required, particularly in weak or variable soil conditions.
- A Structural Internal Grid (SIG) Might be installed between the PurePave surface layer and the underlying stone storage layer to enhance load distribution and reduce strain at the interface. SIG properties shall be determined by the Design Engineer.
- Nonwoven geotextile shall be installed where specified to provide separation, filtration, and protection of drainage components.
- Check dams, where specified, may be incorporated within the stone base to control internal flow and enhance storage performance.
- Underdrain systems may be included where infiltration capacity is limited or controlled drainage is required. The position, details, and properties of the underdrain shall be determined by the Design Engineer.
- Standard winter maintenance practices may be used. De-icing salt use should be minimized. Commercial snow blowers are recommended as an optimal method for winter snow removal.
- Installation shall be carried out using appropriate placement equipment to ensure uniform thickness, smooth surface finish, and continuous permeable structure.
- Monitoring wells as per T-850.041 and cleanout pipe as per T708-01-5 may be incorporated where required for performance monitoring.
- Refer to PurePave installation and maintenance guidelines for additional performance and operational requirements.
- The PurePave parking lot system may be installed under different lateral boundary configurations depending on site conditions, including concrete curbs as per T-600.11-1 along the perimeter (SECTION D), 45° sloped edges along the perimeter (SECTION E), or adjacent to asphalt pavement separated by a flexible joint (SECTION F), where the opposite edge may be either a curb or a 45° slope.

Based on project-specific conditions, combinations of these edge configurations may be selected.

CONTRACT NO.: C2515.68		JOB NO.: 25-12-151		DATE: 03/18/26		SHEET 5 OF 54	
ELIA G. TWIGG, PE		FLORIDA LICENSE NO: 65711		TITLE: DETAILS			
SCALE: N.T.S.	PARCEL ID: 28-38-08-FZ-41-8	LOTS/BLOCK: LOT 8	BLK 41	PLAT BK/PG: 10/534	CONTRACTOR: COASTLINE CONSTRUCTION		
PROJECT: PAMELA C GILLETTE REVOCABLE LIVING TRUST 209 SURF ROAD MELBOURNE BEACH, FL 32951							
REVISIONS: 2/13/26 - MELBOURNE BCH COMMENTS							
355 TORTOISE VIEW DRIVE, SUITE E SATELLITE BEACH, FL 32937 Ph: (321) 413-0027 eliatwigg@lanticsolutions.com							

26

Phone (321)724-2940
 Fax (321)951-4879
 E-MAIL: SMITHSURVEYING@GMAIL.COM



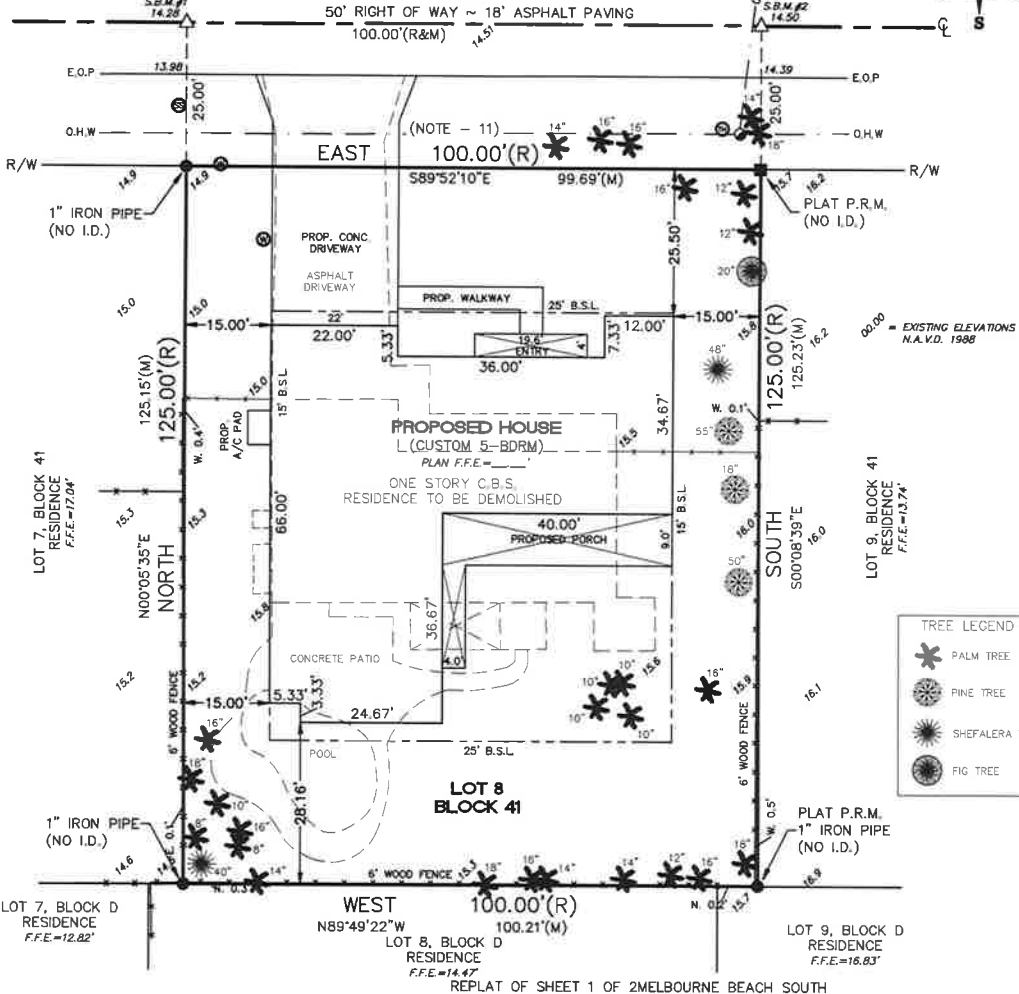
1350 MALABAR ROAD S.E., SUITE 1
 PALM BAY, FLORIDA 32907
 WEBSITE: SMITHSURVEYING.NET

MAP OF SURVEY
 CERTIFICATE OF AUTHORIZATION L.B. 7426

ACCORDING TO MAP NO. 12009C0616 H,
 DATED JAN 29, 2021, THIS PROPERTY
 LIES IN FLOOD ZONE "X".



SURF ROAD



TREE LEGEND

- PALM TREE
- PINE TREE
- SHEFLERA TREE
- FIG TREE

PROPERTY ADDRESS: 209 SURF ROAD
 MELBOURNE BEACH, FLORIDA 32951

CERTIFIED TO: COASTLINE CONSTRUCTION, LLC

THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP. COPYRIGHT 2026
 SMITH & ASSOCIATES, SURVEYING AND MAPPING, INC. NOT VALID WITHOUT
 THE SIGNATURE AND THE ORIGINAL RAISED SEAL OR DIGITAL SIGNATURE OF A
 FLORIDA LICENSED SURVEYOR AND MAPPER

SURVEYORS NOTES:

- LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR ADJOINING DEEDS, RIGHT-OF-WAY, RESERVATION, AGREEMENTS AND/OR EASEMENTS OF RECORD. SUCH INFORMATION, IF DESIRED, SHOULD BE OBTAINED AND CONFIRMED BY OTHERS THROUGH APPROPRIATE TITLE VERIFICATION.
- ADJOINERS SHOWN HAVE NOT BEEN SURVEYED.
- DRAWINGS ARE NOT TO BE RELIED UPON FOR SCALE PURPOSES.
- ALL MEASUREMENTS ARE IN FEET AND DECIMAL PARTS THEREOF AND ARE IN ACCORDANCE WITH THE STANDARDS OF THE UNITED STATES (CHAPTER 5J17-6.003(1)(B) F.A.C.)
- PURSUANT TO FLORIDA LAW (F.A.C. 5J17-8.003(1)) THIS SURVEY IS BASED ON A CLOSED TRAVERSE.
- USE ONLY PROPERTY CORNERS FOR CONSTRUCTION OF FENCES AND OTHER IMPROVEMENTS.
- ONLY OPEN AND NOTORIOUS EVIDENCE OF EASEMENTS AND RIGHT-OF-WAYS ARE LOCATED AND SHOWN HEREON. THE SURVEYOR HAS NOT LOCATED ANY UNDERGROUND UTILITIES OR FOUNDATIONS WHICH MAY ENDOREACH.
- LEGAL DESCRIPTION AS SHOWN WAS PROVIDED BY CLIENT.
- ELEVATIONS BASED ON 50.00' ASSUMED AT N/A.
- ELEVATIONS BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (PARENT B.M. AK4032 ELEVATION 16.93') AND ARE EXPRESSED IN FEET AND DECIMAL THEREOF.
- BEARINGS BASED ON SOUTH RIGHT OF WAY LINE OF SURF ROAD BEING EAST ASSUMED.
- PILOT PLANS ARE NOT TO BE USED FOR CONSTRUCTION LAYOUT PURPOSES.
- LOT DIMENSIONS AND BEARINGS ARE RECORDED AND MEASURED UNLESS OTHERWISE NOTED.
- SEPTIC TANKS AND WELLS IF SHOWN ARE APPROXIMATE LOCATIONS AND SHOULD BE FIELD VERIFIED BY CONTRACTOR FOR CORRECT POSITION AND SEPARATION.
- NORTH ARROW AS SHOWN DOES NOT REPRESENT TRUE NORTH OR GRID NORTH. IT IS FOR APPROXIMATE POSITION ONLY.
- ALL RIGHT-OF-WAYS, ALLEYS, DIRT ROADS, AND ASPHALT ROADS IF SHOWN ARE "OPEN TO TRAVEL" BOTH BY FOOT AND VEHICLE UNLESS OTHERWISE NOTED BY (CLOSED TO TRAVEL).
- SETBACKS AS SHOWN ON PLOT PLANS WERE PROVIDED BY CONTRACTOR.
- HORIZONTAL FEATURE ACCURACY: TOPOGRAPHIC LAND FEATURES (DRIKS, MULTS, VALVES, MALBONES, POWER POLES, DRIVEWAYS, CULVERTS, AND SIMILAR FEATURES) HAVE A HORIZONTAL FEATURE ACCURACY OF PLUS OR MINUS 0.25 FEET.
- VERTICAL FEATURE ACCURACY: ELEVATIONS ON THE SITE (GROUND, PAVEMENT, INLETS, ETC.) HAVE A VERTICAL FEATURE ACCURACY OF PLUS OR MINUS 0.10 FEET.
- THIS SURVEY IS FOR THE SOLE BENEFIT OF THE PARTIES NAMED HEREON AND FOR THE SPECIFIC PURPOSE NOTED, AND SHOULD NOT BE RELIED UPON BY ANY OTHER ENTITY, AND IS NOT TRANSFERABLE UNDER ANY CIRCUMSTANCES.
- THE EXPECTED USE OF THE LAND IS RESIDENTIAL. THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF BOUNDARY SURVEY IS 1 FOOT IN 7,500 FEET WHICH WAS MET IN THE CASE OF THIS SURVEY.
- ALL "PROPOSED" IMPROVEMENTS SHOWN HEREON ARE NOT "AS-BUILT". ALL CONSTRUCTION PERFORMED ACCORDING TO THE "PROPOSED" INFORMATION SHOWN HEREON IS SUBJECT TO BEING APPROVED BY THE APPLICABLE AUTHORIZING AGENCIES. THE CLIENT IS RESPONSIBLE FOR COMPARING THE "PROPOSED" INFORMATION AS SHOWN, WITH THE FINAL APPROVED FOR CONSTRUCTION DOCUMENTATION PRIOR TO AUTHORIZING ANY LAYOUT WORK.

LEGEND:

- S.B.M. = SITE BENCH MARK
- P.C.P. = PERMANENT CONTROL POINT
- P.O.B. = POINT OF COMMENCEMENT
- P.O.B. = POINT OF BEGINNING
- P.T. = POINT OF TANGENCY
- P.F.M. = PERMANENT REFERENCE MONUMENT
- R.P. = RADIUS POINT
- P.C. = POINT OF CURVATURE
- P.C.C. = POINT OF COMPOUND CURVATURE
- P.R.C. = POINT OF REVERSE CURVATURE
- D = DELTA (CENTRAL ANGLE)
- R = RADIUS
- A = ARC
- T = TANGENT
- E = PROPERTY LINE
- R = RECORD
- TRM = TRAIL MARK
- W = WOOD FRAME
- M = MEASURED
- STY. = STORY
- C = CALCULATED
- R/W = RIGHT-OF-WAY
- (S) = SET
- NG I.D. = NO IDENTIFICATION
- C.B.S. = CONCRETE BLOCK & STUCCO
- F.P.R. L. = FLORIDA POWER AND LIGHT RES. = RESIDENCE
- PROP. = PROPOSED
- TRX = TRANSFORMER
- CONC. = CONCRETE (TYP.) = TYPICAL
- APPROX. = APPROXIMATE
- E.O.P. = EDGE OF PAVEMENT
- T.O.S. = APPROX. TOE OF SLOPE
- E.O.W. = APPROX. EDGE OF WATER
- S.B.L. = BUILDING SETBACK LINE
- T.O.B. = APPROX. TOP OF BANK
- N.T.S. = NOT TO SCALE
- O/S = OFFSET
- L.F.E. = LOWEST FLOOR ELEVATION
- G.F.E. = GARAGE FLOOR ELEVATION
- F.F.E. = FINISHED FLOOR ELEVATION
- O.R.L. = OPTICAL RECORDING BOOK
- P.B. = PLAT BOOK
- D.B. = DEED BOOK
- P.G. = PAGE
- P.V.C. = POLYVINYL CHLORIDE
- C.M.P. = CORRUGATED METAL PIPE
- R.C.P. = REINFORCED CONCRETE PIPE
- C.P.P. = CORRUGATED PLASTIC PIPE
- F.Z.L. = FLOOD ZONE LINE
- N.A.V.D. = NORTH AMERICAN VERTICAL DATUM
- N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM
- M = GAS VALVE
- R = RECLAIM WATER METER
- G = GAS SERVICE
- W = WATER VALVE IN 2'x2' CONC.
- W = WATER VALVE
- F = FIRE HYDRANT
- P = POWER POLE
- L = LIGHT POLE
- O = OVERHEAD WIRE (O.H.W.)
- S/T = APPROXIMATE SEPTIC TANK
- U = UNDER MAIN ROOF
- W = WELL
- = IRON MARKER FOUND - SEE DESCRIPTION
- = 1/2" IRON ROD WITH PLASTIC CAP MARKED "K.A. SMITH LB 7426" SET
- = 4" x 4" CONC. MONUMENT FOUND
- = SEE DESCRIPTION
- ▲ = NINE & DIXIE FOUND - SEE DESCRIPTION
- △ = SET MAGNETIC NAIL
- = HUB & TACK SET

LOT 8, BLOCK 41, "ROMAC SUBDIVISION"

AS RECORDED IN PLAT BOOK 10, PAGE 534, PUBLIC RECORDS OF BREVARD COUNTY, FLORIDA

TYPE	SURVEY DATE	JOB NUMBER	CK. BY
TREE LOCATION	JAN. 7, 2026		
BOUNDARY SURVEY/PLOT PLAN	DEC. 4, 2025	25-1251 - 535 / 10,115	
DRAWN BY: A. TEJADA		SCALE: 1" = 20'	

Digitally signed by Kevin A Smith
 Date: 2026.01.13 13:13:38 -05'00'

PROFESSIONAL SURVEYOR & MAPPER IN RESPONSIBLE CHARGE
 KEVIN A. SMITH - FLORIDA CERTIFICATE NO. 4457
 ANDREW J. SMITH - FLORIDA CERTIFICATE NO. 5690





Stormwater Report

TOWN OF MELBOURNE BEACH

PAMELA C GILLETE REVOCABLE LIVING TRUST

209 SURF ROAD
MELBOURNE BEACH, FL 32951

Prepared By:

Elia Twigg, PE
LANTIC SOLUTIONS LLC
355 TORTOISE VIEW DRIVE, SUITE E
SATELLITE BEACH, FL 32937



TABLE OF CONTENTS

Project Location.....	1
Existing Conditions and Project Description	1
Site Description	1
Design.....	1
Appendix A: Exhibits	
Aerial Map (Brevard County Property Appriaser)	
Lot Drainage Plan	
Soil Map-Brevard County, FL	
Appendix B: Stormwater Calculations	

Stormwater Report

Project Location

The project site is a 0.29-acre previously developed property located at 209 Surf Road in Melbourne Beach, FL 32951. It is located approximately 0.1 miles west of Jimmy Buffett Mem Highway (Highway A1A) and approximately 0.14 miles east of Orange Street.

Existing Conditions and Project Description

The site has an existing single story, single-family home within the Melbourne Beach town limits and is zoned as 2-RS. The existing house and existing pool will be demolished, and a new house and a new pool will be built totaling 4,779 SF of impervious area. The driveway and sidewalk up to the front door is proposed to be a pervious surface on the property and totals 1,260 SF. The portion of the driveway that is in the right-of-way is proposed to be concrete and is not considered in the calculations since that portion of the driveway is within the right-of-way.

An aerial map from the Property Appraiser's site is included in Appendix A, as well as the Lot Drainage Plan.

Site Description

According to the National Resources Conservation Service (USDA), the soil types found on site were Canaveral – Palm Beach – Urban Land Complex. The soils can be classified as hydrologic soil group A/D.

According to the soils information and previous experience working in the area, the estimated groundwater table was assumed to be 4.5 feet below grade. This assumes that the virgin ground previously had approximately 1.5 feet of fill when the first home was constructed. Please refer to Appendix A for the soils map and description of the soil type.

Design

The Town of Melbourne Beach requires that stormwater management facilities provide retention of the first 8 inches of runoff from a 10-year, 24-hour storm event, in accordance with the adopted minimum level of service standards.

The proposed stormwater design includes a 1-ft-deep dry retention area that goes along the west side, the rear and part of the east side. The connected retention area is approximately 8 feet wide in west side yard, +/- 16 feet wide in the rear of the property, and 9 feet wide in the east side yard. The Lot Drainage Plan, which includes typical cross-sections of the proposed retention areas, is in Appendix A.

Retention basin recovery calculations were performed using methodologies outlined in the St. Johns River Water Management District (SJRWMD) Permit Information Manual, Part X, Section 23.0 – Methodologies & Design Examples.

The total impervious area for the site is 4,779 SF. Based on the 8-inch retention requirement, the total required retention volume is 3,186 cubic feet (CF). Since the total retention volume provided is 1,770 CF, the stormwater design incorporates unsaturated vertical (Stage 1) and saturated lateral (Stage 2) infiltration analyses to account for the remaining volume.

During Stage 1, the volume infiltrated during unsaturated vertical flow (V_1) is 1,511 CF. This leaves the remaining volume (V_2) of 1,675 CF to be recovered during Stage 2 through saturated lateral flow. Based on interpolation, the elevation for lateral flow is 0.95 feet above the bottom of the retention areas. Therefore, the 1-ft-deep proposed retention areas will accommodate this volume.

The total recovery time for the runoff volume includes both vertical and lateral infiltration stages. The calculated total recovery time is 3.2 hours, which is well within the required 24-hour recovery period.

Please refer to Appendix B for the Stormwater Calculations.

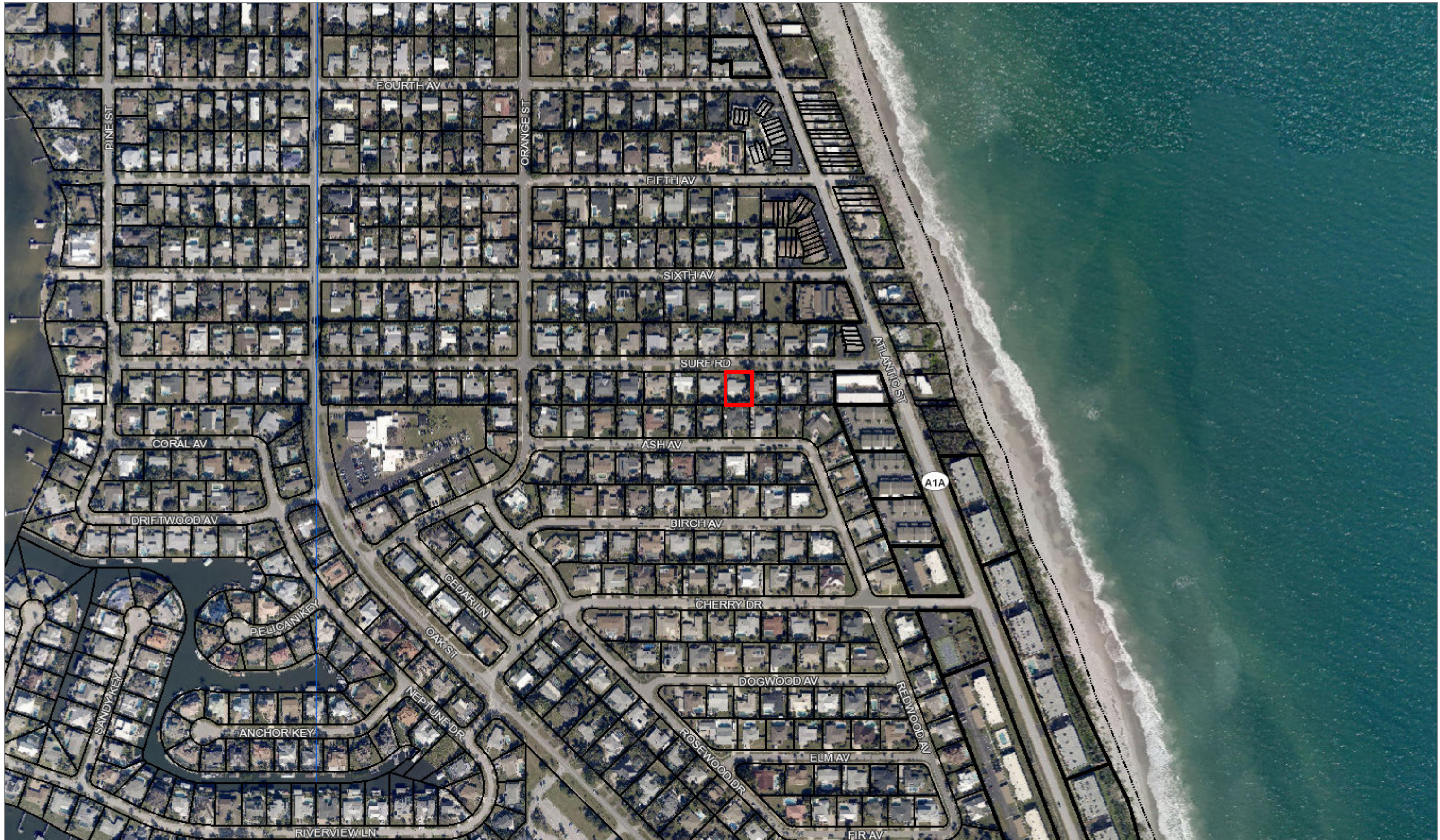
Appendix A

EXHIBITS:

AERIAL MAP (BREVARD COUNTY PROPERTY APPRAISER)

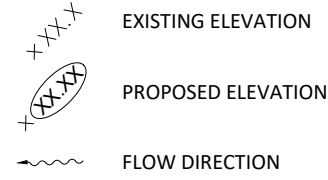
LOT DRAINAGE PLAN

SOIL MAP-BREVARD COUNTY, FL



All BCPAO maps and/or map applications are maintained for assessment and illustrative purposes only and do not represent surveys, plats, or any other legal instrument. Likewise, measurement and location tools are for assessment and illustrative purposes only and do not necessarily reflect real-world conditions. Due to the nature of Geographic Information Systems (GIS) and cadastral mapping, map layers may not precisely align and may not represent precise location, shape, and/or legal boundaries. Only a Florida-licensed surveyor can determine legally-relevant property boundaries, elevation, distance, area, and/or location in Florida.

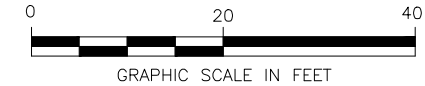
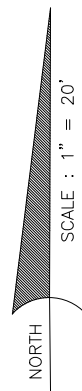
LEGEND AND TYPICAL SECTION:



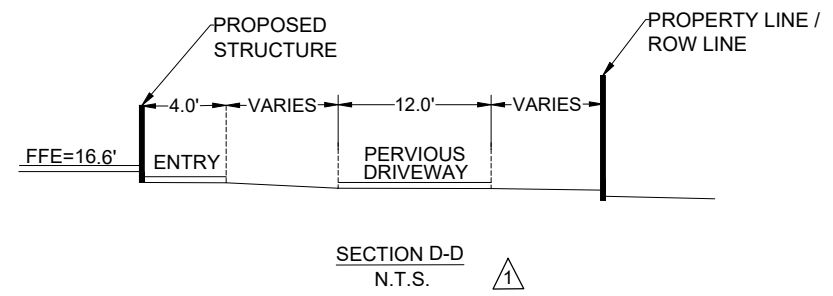
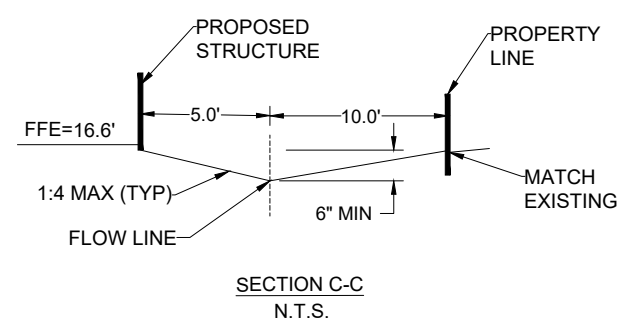
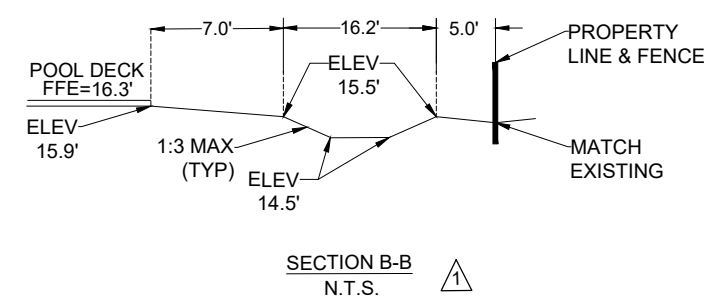
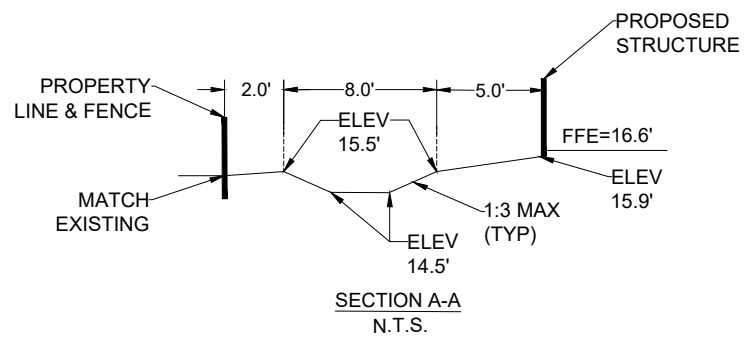
TREE LEGEND:



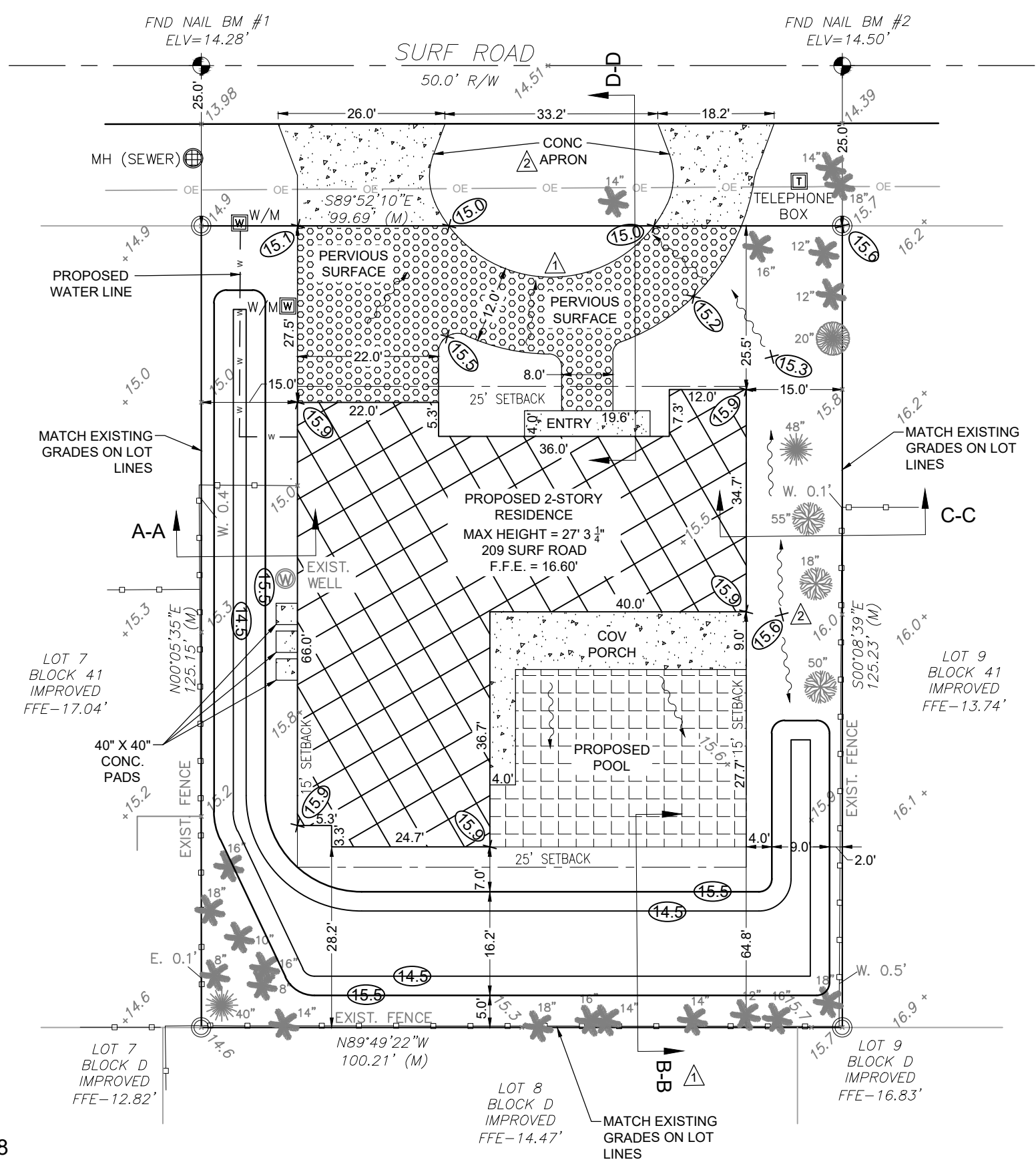
TRUNK SIZES SHOWN IN INCHES



CROSS SECTIONS:



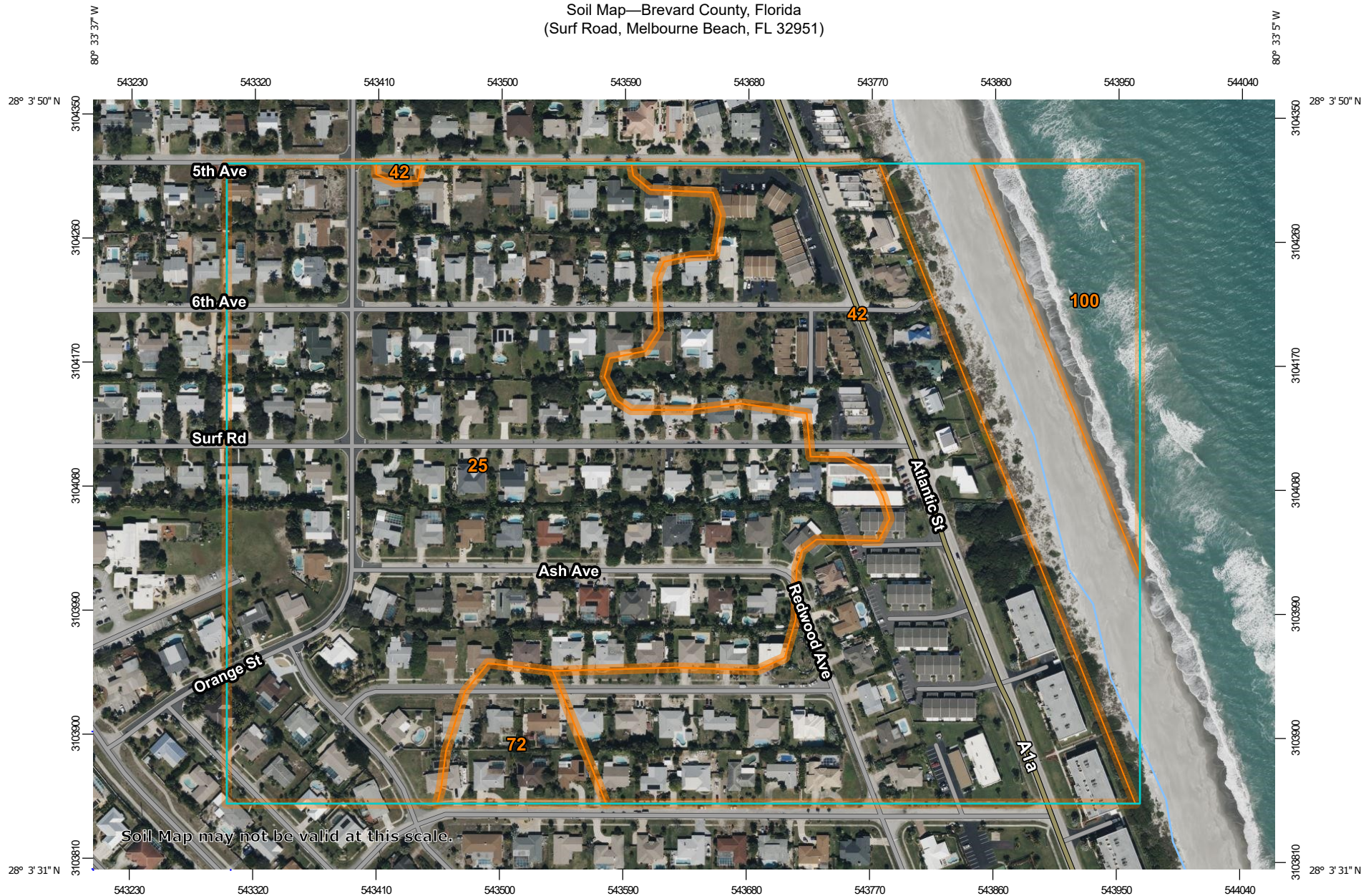
ELEVATIONS BASED ON:	NAVD88
MELBOURNE BEACH BENCHMARK: AK-4032	16.93



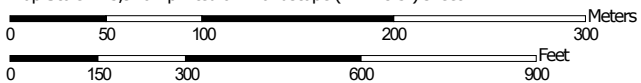
LOT 8
BLOCK 41
ROMAC SUBD

CONTRACT NO.: C2515.68	DATE: 03/25/26	SHEET 4 OF 52
JOB NO.: 25-12-151	DATE: 03/25/26	
DESIGNER: ELIA G. TWIGG, PE	TITLE: LOT DRAINAGE PLAN	
FLORIDA LICENSE NO.: 65711		
PARCEL ID: 28-38-08-FZ-41-8	LOTS / BLOCK: LOT 8	
SCALE: 1" = 20'	SUBDIVISION: ROMAC SUBDIVISION	
	CONTRACTOR: COASTLINE CONSTRUCTION	
PROJECT: PAMELA C GILLETTE REVOCABLE LIVING TRUST 209 SURF ROAD MELBOURNE BEACH, FL 32951		
REVISIONS:		
1/21/26 - MELBOURNE BCH COMMENTS 2/3/26 - MELBOURNE BCH COMMENTS		
355 TORTOISE VIEW DRIVE, SUITE E SATELLITE BEACH, FL 32937 Ph: (321) 413-0027 eliatwigg@lanticsolutions.com		

Soil Map—Brevard County, Florida
(Surf Road, Melbourne Beach, FL 32951)



Map Scale: 1:3,940 if printed on A landscape (11" x 8.5") sheet.




Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 17N WGS84




Soil Map—Brevard County, Florida
(Surf Road, Melbourne Beach, FL 32951)

MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)




















Soils






 Soil Map Unit Polygons

 Soil Map Unit Lines


 Soil Map Unit Points

Special Point Features



-  Blowout
-  Borrow Pit
-  Clay Spot
-  Closed Depression
-  Gravel Pit
-  Gravelly Spot
-  Landfill
-  Lava Flow
-  Marsh or swamp
-  Mine or Quarry
-  Miscellaneous Water
-  Perennial Water
-  Rock Outcrop
-  Saline Spot
-  Sandy Spot
-  Severely Eroded Spot
-  Sinkhole
-  Slide or Slip
-  Sodic Spot

-  Spoil Area
-  Stony Spot
-  Very Stony Spot
-  Wet Spot
-  Other
-  Special Line Features

Water Features

 Streams and Canals

Transportation

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.
Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Brevard County, Florida
Survey Area Data: Version 25, Sep 2, 2025

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jan 19, 2022—Mar 2, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
25	Canaveral-Palm Beach-Urban land complex	38.3	49.9%
42	Palm Beach sand, 0 to 8 percent slopes	25.1	32.7%
72	Welaka sand	2.2	2.9%
100	Waters of the Atlantic Ocean	4.5	5.8%
Totals for Area of Interest		76.8	100.0%

Brevard County, Florida

25—Canaveral-Palm Beach-Urban land complex

Map Unit Setting

National map unit symbol: 1lg35
Landscape: Coastal plains
Elevation: 10 to 20 feet
Mean annual precipitation: 49 to 57 inches
Mean annual air temperature: 68 to 75 degrees F
Frost-free period: 350 to 365 days
Farmland classification: Not prime farmland

Map Unit Composition

Canaveral and similar soils: 31 percent
Palm beach and similar soils: 30 percent
Urban land: 29 percent
Minor components: 10 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Canaveral

Setting

Landscape: Coastal plains
Landform: Ridges on marine terraces, Flats on marine terraces
Landform position (three-dimensional): Interfluve
Down-slope shape: Convex
Across-slope shape: Linear
Parent material: Sandy marine deposits

Typical profile

A - 0 to 6 inches: sand
C - 6 to 12 inches: sand
C - 12 to 80 inches: coarse sand

Properties and qualities

Slope: 0 to 2 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Somewhat poorly drained
Runoff class: Low
Capacity of the most limiting layer to transmit water (Ksat): Very high (19.98 to 50.02 in/hr)
Depth to water table: About 12 to 36 inches
Frequency of flooding: None
Frequency of ponding: None
Calcium carbonate, maximum content: 15 percent
Maximum salinity: Nonsaline to very slightly saline (0.0 to 2.0 mmhos/cm)
Sodium adsorption ratio, maximum: 6.0
Available water supply, 0 to 60 inches: Very low (about 1.4 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 6s

Hydrologic Soil Group: A/D

Ecological site: R155XY170FL - Sandy Coastal Grasslands and Forests

Forage suitability group: Forage suitability group not assigned (G156BC999FL)

Other vegetative classification: Forage suitability group not assigned (G156BC999FL)

Hydric soil rating: No

Description of Palm Beach**Setting**

Landscape: Coastal plains

Landform: Flats on marine terraces

Landform position (three-dimensional): Talf

Down-slope shape: Convex

Across-slope shape: Linear

Parent material: Shells and sandy marine deposits

Typical profile

A - 0 to 3 inches: sand

C - 3 to 80 inches: sand

Properties and qualities

Slope: 0 to 2 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Excessively drained

Runoff class: Negligible

Capacity of the most limiting layer to transmit water (Ksat): Very high (19.98 to 50.02 in/hr)

Depth to water table: More than 80 inches

Frequency of flooding: None

Frequency of ponding: None

Calcium carbonate, maximum content: 30 percent

Maximum salinity: Nonsaline to very slightly saline (0.0 to 2.0 mmhos/cm)

Sodium adsorption ratio, maximum: 4.0

Available water supply, 0 to 60 inches: Very low (about 1.8 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 7s

Hydrologic Soil Group: A

Ecological site: R155XY230FL - Sandy Scrub on Ridges, Knolls, and Dunes of Xeric Uplands

Forage suitability group: Forage suitability group not assigned (G156BC999FL)

Other vegetative classification: Forage suitability group not assigned (G156BC999FL)

Hydric soil rating: No

Description of Urban Land

Setting

Landscape: Coastal plains
Landform: Marine terraces
Landform position (three-dimensional): Interfluve, talf
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: No parent material

Interpretive groups

Land capability classification (irrigated): None specified
Ecological site: R155XY170FL - Sandy Coastal Grasslands and Forests
Forage suitability group: Forage suitability group not assigned (G156BC999FL)
Other vegetative classification: Forage suitability group not assigned (G156BC999FL)
Hydric soil rating: Unranked

Minor Components

Paola

Percent of map unit: 4 percent
Landscape: Coastal plains
Landform: Rises on marine terraces, Flats on marine terraces
Landform position (three-dimensional): Interfluve
Down-slope shape: Convex
Across-slope shape: Linear
Ecological site: R155XY230FL - Sandy Scrub on Ridges, Knolls, and Dunes of Xeric Uplands
Other vegetative classification: Sand Pine Scrub (R155XY001FL), Forage suitability group not assigned (G156BC999FL)
Hydric soil rating: No

Pomello

Percent of map unit: 3 percent
Landscape: Coastal plains
Landform: Rises on marine terraces, Flats on marine terraces
Landform position (three-dimensional): Interfluve
Down-slope shape: Convex
Across-slope shape: Linear
Ecological site: F155XY150FL - Sandy Flatwoods and Hammocks on Rises and Knolls of Mesic Uplands
Other vegetative classification: Sand Pine Scrub (R155XY001FL), Forage suitability group not assigned (G156BC999FL)
Hydric soil rating: No

Welaka

Percent of map unit: 3 percent
Landscape: Coastal plains
Landform: Rises on marine terraces
Landform position (three-dimensional): Interfluve

Down-slope shape: Convex

Across-slope shape: Linear

Ecological site: R155XY180FL - Sandy Scrub on Rises, Ridges,
and Knolls of Mesic Uplands

Other vegetative classification: Sand Pine Scrub (R155XY001FL),
Forage suitability group not assigned (G156BC999FL)

Hydric soil rating: No

Data Source Information

Soil Survey Area: Brevard County, Florida

Survey Area Data: Version 25, Sep 2, 2025

Appendix B

STORMWATER CALCULATIONS



STORMWATER CALCULATIONS

209 Surf Road
Melbourne Beach, FL 32951

SITE INFORMATION	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	TOTAL AREA (SF)
Total Lot			12,500
Proposed House	3,201		
Proposed Porch	432		
Proposed Pool	1,035		
Proposed Entry	78		
Proposed Driveway & Sidewalk		1,260	
Proposed Concrete Pads	33		
Pervious Grass/Swales Area		6,461	
Total	4,779	7,721	12,500
Total	38%	62%	

TOTAL DRY RETENTION VOLUME

Drainage Areas	Top Area (SF)	Bottom Area (SF)	Depth (FT)	VOLUME (CF)
West, Rear and East Area	2,420	1,119	1	1,770
				0
				0
TOTAL	2,420	1,119	1	1,770

Total Dry Retention Vol. ==> V_{drainage} 1,770 CF

TOTAL VOLUME OF WATER TO RETAIN

Requirement = 8" retention for 10 yr/24 hr storm

REQUIREMENT FOR RECOVERY	DEPTH (in.)	DEPTH (FT)	AREA (SF)	VOLUME (CF)
8" X Impervious	8	0.67	4,779	3,186

Total volume to retain ==> V_{retain} = 3,186 CF

UNSATURATED VERTICAL AND SATURATED LATERAL FLOW ANALYSIS

Calcs based on SJRWMD Permit Information Manual
Part X, Section 23.0 - Methodologies & Design Examples

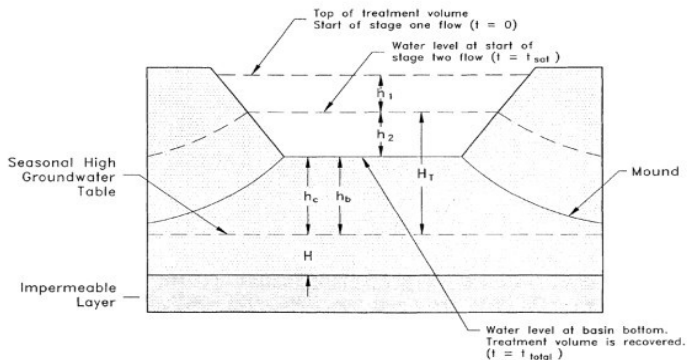


Fig 23-4: Design Parameters for Groundwater Mounding Analysis for Stage 1 & Stage 2 Flow (Source: Andreyev and Wisemand, 1989)

Calculate volume of water infiltrated in unsaturated vertical (Stage 1) flow & time to infiltrate this volume

1. Calculate Volume infiltrated during Stage 1 ==> V_u

Per Equation 23-3 ==> $V_u = (A_b)(h_b)(f)$ CF
 $V_u = 1,511$ CF

A_b = Area of Basin Bottom
 $A_b = 1,119$ SF

V_u is the total volume of water required to saturate the soil below the basin bottom (h_b)

h_b = Height of basin bottom to water table
 $h_b = 4.5$ ft
 f = Fillable porosity
 $f = 0.3$

2. Calculate Unsaturated Vertical Hydraulic Conductivity ==> K_{vu}

Per Equation 23-11 ==> $K_{vu} = (2/3)K_{vs}$ ft/day
 $K_{vu} = 27$ ft/day

K_{vs} = Vertical saturated flow rate
 $K_{vs} = 19.98$ in/hr
 $K_{vs} = 39.96$ ft/day



STORMWATER CALCULATIONS

209 Surf Road
Melbourne Beach, FL 32951

$$K_{vs} = 1.665 \text{ ft/hr}$$

3. Calculate the Design infiltration rate $\Rightarrow I_d$

$$\text{Per Equation 23-1} \Rightarrow I_d = K_{vs}/FS$$

$$I_d = 13.3 \text{ ft/day}$$

FS = Factor of Safety [use 2]

$$FS = 2$$

4. Calculate time to saturate soil beneath the drainage area $\Rightarrow t_{sat}$

$$\text{Per Equation 23-2} \Rightarrow t_{sat} = (f)(h_b)/I_d \text{ Days}$$

$$t_{sat} = 0.10 \text{ Days}$$

$$t_{sat} = 2.4 \text{ Hours}$$

5. Calculate the remaining treatment volume to be recovered under saturated lateral (Stage 2) flow conditions $\Rightarrow V_2$

$$V_2 = V_{retain} - V_u \text{ CF}$$

$$V_2 = 1,675 \text{ CF}$$

V_2 = Treatment volume to be recovered in saturated lateral flow

$$V_{retain} = 3,186 \text{ CF}$$

$$V_u = 1,511 \text{ CF}$$

6. Calculate the elevation of V_2 at start of lateral flow $\Rightarrow h_2$

NOTE: the elevation h_2 is calculated by interpolating. It is assumed that the drainage areas continue up to this elevation.

$$V_{drainage} = 1,770 \text{ CF}$$

$$h_{drainage} (h_u) = 1.00 \text{ ft}$$

$$V_2 = 1,675 \text{ CF}$$

$$h_2 = 0.95 \text{ ft}$$

NOTE: with h_2 at 0.95 feet, that means it will be at the top of the retention areas.

7. Calculate F_y and F_x

NOTE: when the V_{retain} is recovered ($t = t_{total}$), the water level is at the bottom of the drainage area

$$\text{Per Equation 23-8} \Rightarrow H_T = h_b + h_2 \text{ ft}$$

$$H_T = 5.4 \text{ ft}$$

H_T = Height of water above SHWT at start of saturated lateral flow.

$$h_b = 4.5 \text{ ft}$$

$$h_2 = 0.9 \text{ ft}$$

$$\text{Per Equation 23-6} \Rightarrow F_y = h_c/H_T$$

$$F_y = 0.83$$

F_y = Dimensionless representing % water level decline below max level

h_c = height of water above SHWT at time t

$$h_b = h_c = 4.5 \text{ ft}$$

Need length (L) to width (W) ratio of basin bottom since that is when water level will be at bottom at time t

$$L = 214 \text{ ft}$$

$$W = 11 \text{ ft}$$

$$L/W = 19.45 \text{ ft}$$

Determine F_x using figure 23-7 (pg 23-17 or Page 298 of 652)

$$f = 0.3$$

$$L/W = 19.45$$

$$F_y = 0.83$$

$$F_x = 2.0$$

8. Calculate the time (t_2) to recover the remaining treatment volume (V_2) under saturated lateral flow

$$\text{Per Equation 23-7} \Rightarrow D = H + hc/2$$

$$D = 6.8 \text{ ft}$$

D = Average thickness of the aquifer.

H = Initial saturated thickness of the aquifer (ft) - assume to be at the water table

$$H = 4.5 \text{ ft}$$

$$\text{Per Equation 23-9} \Rightarrow t_2 = \frac{W^2}{4(K_{H1})(D)(F_x)^2}$$

$$t_2 = 0.0334 \text{ Days}$$

W = Width of drainage area bottom at water level at time (t)

$$W = 12 \text{ ft}$$

K_{H1} = Average horizontal hydraulic conductivity (ft/day)

$$K_{H1} = 19.98 \text{ in/hr}$$

$$K_{H1} = 39.96 \text{ ft/day}$$

TOTAL RECOVERY TIME

9. Total time to recover the treatment volume (t_{total}) equals the time to recover during unsaturated vertical flow (t_{sat}) and lateral saturated flow (t_2)

$$t_{total} = t_{sat} + t_2$$

$$t_{total} = 3.23 \text{ Hours}$$

Site Plan Review

Applicable Codes:

**Town of Melbourne Beach Land Development Code
Current Florida Building Code**

Date: April 7, 2026
Owner: Pamela C Gillette Revocable Living Trust
Owner Address: 209 Surf Road, Melbourne Beach FL 32951
Site Address: 209 Surf Road, Melbourne Beach FL 32951
Parcel ID: 28-38-08-FZ-41-8
Zoning: 2RS- Single- Family

Proposed Project: Construct New Single-Family Home
References: Town of Melbourne Beach Code of Ordinances:
 7A-32 Single-Family Residential District
 7A-51.1, Site Plan Approval For Single-Family Residential Districts

Request: Site Plan Approval in Accordance with 7A-51.1
Staff Review: The property lies in Zoning District 3RS

- 1) The project involves construction of a new two-story single-family home and will include four (4) bedrooms, four and one-half (4 1/2) baths, living, dining, kitchen, library, laundry and utility rooms, a 2-car garage, a covered porch and swimming pool. Total living area is approximately 3201 square feet plus 432 square foot porch and 78 square foot entry and a total of 3711 square feet of space.
- 2) The Building Lot Zoning District requirements of min. lot area, width and depth.
 Lot area is 12,500 sq. ft. (min. 11,250 sq. ft.)
 Lot width is 100 ft. (min. 90 ft. measured from the front building line)
 Lot depth is 125 ft. (min. 100 ft.)
- 3) Lot coverage has a maximum of 30% for principal structure.
 Lot coverage per plan is 29.69%
 Footprint of Primary Structure is 3711 SF.
 Max allowed for Primary Structure is 3750 sq. ft. for Lot Area of 12,500 sq. ft.
 Minimum pervious area per lot is 30%. Pervious area per plan is 62%. If the “pervious surface” used for the driveway and sidewalk is changed to impervious, the pervious area for this site plan would be 51.7%, and would still comply with the minimum 30% requirement.

- 4) Structure maximum height for zoning district is 28 ft.
 The proposed height provided is 27' 11 5/6" from FFE.
 Flood Zone: X per survey
 FFE: 16.6'. The FFE has been established based on existing grade as allowed by 7A-55 since the crown of the road is at 14.51' but existing elevations on site range between 15' and 16'.
 The proposed building height of 27' 11 5/6" is measured from the FFE of 16.6'.

Zoning District Setback requirements:

- Proposed Primary Structure Front Setback: 25.5' (min. 25'.)
 Proposed Primary Structure Rear Setback: 28.2' (min. 25')
 Proposed Primary Structure West Side Setback: 15' (min. 15')
 Proposed Primary Structure East Side Setback 15' (min. 15')
- 5) Sediment and Erosion control measures shall be met and approved by the Building Official in accordance with the Town of Melbourne Beach Code of Ordinances, Chapter 27 Stormwater, and the current Florida Building Code.
- 6) On-site Storm water Retention Control measures shall be met and approved by the Building Official in accordance with the Town of Melbourne Beach Code of Ordinances, Chapter 27 Stormwater, and the current Florida Building Code.
- 7) Town Engineer will submit a review of the drainage plan per Ordinance 2019-06. The Town Engineer will require a final inspection before a Certificate of Occupancy will be issued. This applies to new home construction and construction values greater than 50% of the existing structure.
- 8) The application did not include a landscape plan, however landscape standards must be met at the time of building permitting.

Based on the above review, I find the proposed site plan for the referenced property is in compliance with The Town of Melbourne Beach Code of Ordinances.

Corey W. O'Gorman
 Town Planner

209 Surf Road

IMPERVIOUS		PERVIOUS	
Primary Structure	3711	Open areas	6461
Pool & Deck	1035	Pervious Driveway	1260
Concrete areas	33		
Total Paved Area	4779	Total Pervious	7721
<hr/>		<hr/>	
Total Lot Area	12,500	Total Lot Area	12,500
<hr/>		<hr/>	
% IMPERVIOUS	38%	% PERVIOUS	62%

Planning and Zoning Meeting

Section: New Business

Meeting Date: April 7, 2026

From: Building Department

RE: Guidance on which site plans should come before the Planning & Zoning Board

Background Information:

Discussion to determine which site plans the Planning & Zoning Board should review.